



THE CORPORATION OF THE CITY OF COURTENAY  
**COUNCIL AGENDA**

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**Meeting #:** R14/2023  
**Date:** July 26, 2023  
**Time:** 4:00 p.m.  
**Location:** CVRD Civic Room, 770 Harmston Ave, Courtenay

We respectfully acknowledge that the land we gather on is Unceded territory of the K'ómoks First Nation, the traditional keepers of this land.

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**8. UNFINISHED BUSINESS**

- 8.1 Dawn Collins - Cycling Without Age (Courtenay Chapter) 188  
Dawn Collins presented to Council at the July 12, 2023 Council meeting regarding a proposed Cycling Without Age program for Courtenay, which uses electric pedal-assisted trishaws and local volunteers to provide trishaw rides to seniors, promoting social connections and emotional well-being. The delegate suggested that Council consider implementing a community model similar to Invermere's, which provides tax receipts, insurance and an annual grant to its local chapter.

**9. BYLAWS**

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**10. ADJOURNMENT**



THE CORPORATION OF THE CITY OF COURTENAY  
**COUNCIL MINUTES**

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**Meeting #:** R13/2023  
**Date:** July 12, 2023  
**Time:** 4:00 pm  
**Location:** CVRD Civic Room, 770 Harmston Ave, Courtenay

**Council Present:** W. Morin, Acting Mayor  
W. Cole-Hamilton, via audio/video conference  
D. Frisch  
D. Hillian  
E. Jolicoeur  
M. McCollum

**Regrets:** B. Wells

**Staff Present:** G. Garbutt, City Manager (CAO)  
A. Langenmaier, Director of Financial Services  
K. Macdonald, Fire Chief  
K. O'Connell, Director of Corporate Services  
S. Saunders, Director of Recreation, Culture & Community Services  
M. Wade, Director of Development Services  
P. Preston, Manager of Building and Administrative Services  
A. Proton, Manager of Legislative Services  
C. Dallamore, Legislative Coordinator

**1. CALL TO ORDER**

Acting Mayor Morin called the meeting to order at 4:01 pm and respectfully acknowledged that the land on which the meeting was conducted is the Unceded territory of the K'ómoks First Nation, the traditional keepers of this land.

Councillor Hillian expressed condolences for the loss of John Higginbotham, a resident who became a champion for accessibility and inclusion in the Comox Valley community, leaving behind a lasting legacy of advocacy and engagement.

Acting Mayor Morin acknowledged that Vancouver Island MusicFest takes place from July 14th to 16th. It is a major cultural and economic event that draws over 10,000

attendees and has contributed an estimated \$100 million reinvestment in the local economy, thanks to the efforts of over 1,300 dedicated volunteers.

Councillor Cole-Hamilton emphasized the importance of National Drowning Prevention Week in BC, aligning with World Drowning Prevention Day, to promote water safety through education, supervision, responsible alcohol use, and the use of lifejackets.

## **2. INTRODUCTION OF LATE ITEMS**

Without objections, Acting Mayor Morin removed Item 10.1 Downtown Courtenay Business Improvement Association - Annual Report and Bylaw, to be considered at a later meeting at the request of the DCBIA.

## **3. ADOPTION OF MINUTES**

### **3.1 Regular Council Minutes - June 28, 2023**

**Moved By** Hillian

**Seconded By** McCollum

THAT Council adopt the June 28, 2023, Regular Council minutes.

**CARRIED**

## **4. TEMPORARY USE PERMIT**

### **4.1 Temporary Use Permit No. 2301 – 1885 Cliffe Avenue (BC Housing)**

**Acting Mayor Morin called the Public Input Opportunity for the Temporary Use Permit No. 2301 – 1885 Cliffe Avenue (BC Housing) to order at 4:46 pm.**

Council received a presentation on the Temporary Use Permit (TUP) No. 2301 – 1885 Cliffe Avenue (BC Housing) from BC Housing representatives Sarah Smith, Director, Regional Development, Vancouver Island, and Jennifer Breakspear, Associate Vice President, Housing, Service Delivery, & Regional Operations, Operations Branch. Other attendees were Jennifer Fox, Regional Director, Operations, Vancouver Island Region, Roberta Randall, Manager, Community & Tenant Affairs, and Maris MacDonald, MacDonald Hagarty Architects Ltd.

**The Acting Mayor and staff read a statement to inform the public of the Public Input Opportunity process.**

**Marshall Fisher, 1985 Cliffe Avenue,** asked questions about the duration of the TUP and future plans for the Travelodge. The speaker is concerned the temporary solution could become permanent or a drop-in service could be added. Other concerns included the potential long-term impact on the neighborhood, citing the example of the Connect Centre's warming centre and the associated garbage and cleanup costs, and the speaker suggested exploring alternative properties in the core of Courtenay.

**Betty Donaldson, 111 20th Street,** raised concerns regarding senior safety and the importance of feeling secure while walking. The speaker shared concerns that the fence might attract graffiti, affecting property values, and suggested that there be monitoring within the TUP period.

**Chris Markevich, 1876 Riverside Lane,** via Zoom, commended the City's housing-first approach. Comments included safety concerns due to people hanging around the Riverway pathway and tents behind the bushes; a request for more information about outreach programs to inform and assist unhoused residents in transitioning into the units; and the importance of maintaining cleanliness, including garbage pickup and providing sharps containers, to ensure that all residents feel safe when walking.

**Clare Stangland, 1775 England Avenue,** expressed concerns about the neighborhood's state, mentioning issues like drug use and stabbings on the street. The speaker inquired about who to contact regarding safety concerns, and whether there will be 24-hour security and staff presence.

**Kyle Arthur, 1885 Cliffe Avenue,** confirmed the presence of 24-hour security and staff available at 1885 Cliffe, describing it as a safe, quiet, and caring environment. The speaker noted that residents contribute to the community by returning shopping carts and picking up garbage, and highlighted that most residents care and look out for the neighborhood beyond the supportive housing site.

**Dave Redpath, 2045 Hemlock Place,** raised concerns about the speed of the consultation process for the current permit and the need to include the community in discussions about housing solutions for unhoused residents. The speaker suggested that the Council grant a shorter-term permit while collaborating with BC Housing to create a long-term plan with further public consultation.

**Daniel Davis, 1775 England Avenue**, has noted an increase in the number of unhoused people and/or people living with food insecurity in the last two years, drawing from firsthand experience as a food bank volunteer, and asked for more information about this increase.

**Eileen Flath, 515 18th Street**, expressed no objections to the TUP. However, the speaker raised concerns about the density and speed of traffic on Cliffe Avenue. The speaker is concerned that even with fencing, this issue could pose a problem.

**Sarah Smith, BC Housing**, confirmed shelter use and drop-in service will not be added at 1885 Cliffe.

**Marianne Wade, Director of Development Services**, clarified that a TUP can only be renewed once but it can be for a shorter term.

The City also received a total of 8 written submissions regarding Temporary Use Permit No. 2301 (1885 Cliffe Avenue).

**Acting Mayor Morin called for additional speakers and waited one minute for additional submissions. There being no further speakers, Acting Mayor Morin closed the Public Input Opportunity for Temporary Use Permit No. 2301 – 1885 Cliffe Avenue (BC Housing) at 5:14 pm.**

**Moved By** Frisch

**Seconded By** McCollum

THAT Council approve Temporary Use Permit No. 2301 and delegate the issuance of Temporary Use Permit No. 2301 to the City Manager (CAO) once the following conditions have been met;

- a) A building permit application has been received that is complete and includes code compliance review to the satisfaction of the Manager of Building Services;
- b) An executed Operator Agreement between BC Housing and Comox Valley Transition Society has been provided to staff;
- c) A fire plan acceptable to the Fire Chief;
- d) A security plan is received to the satisfaction of staff;
- e) A Community Advisory Committee Terms of Reference is received to the satisfaction of staff;
- f) A Good Neighbour Agreement has been received to the satisfaction of staff;

- g) A SRW plan and document for the City's water chamber on the property at 1885 Cliffe Avenue has been received to the satisfaction of staff;
- h) Letter of Indemnity has been received as per Section 502 of the Local Government Act.

**Amendment:**

**Moved By** Hillian

**Seconded By** Frisch

THAT Council amend the motion to add the following condition:

- i) BC Housing meet with Council at one-year and two-year intervals during the 3-year permit period to present on the progress made in addressing housing issues in the City of Courtenay.

**CARRIED**

**Main motion as amended**

**Moved By** Frisch

**Seconded By** McCollum

THAT Council approve Temporary Use Permit No. 2301 and delegate the issuance of Temporary Use Permit No. 2301 to the City Manager (CAO) once the following conditions have been met;

- a) A building permit application has been received that is complete and includes code compliance review to the satisfaction of the Manager of Building Services;
- b) An executed Operator Agreement between BC Housing and Comox Valley Transition Society has been provided to staff;
- c) A fire plan acceptable to the Fire Chief;
- d) A security plan is received to the satisfaction of staff;
- e) A Community Advisory Committee Terms of Reference is received to the satisfaction of staff;
- f) A Good Neighbour Agreement has been received to the satisfaction of staff;
- g) A SRW plan and document for the City's water chamber on the property at 1885 Cliffe Avenue has been received to the satisfaction of staff;
- h) Letter of Indemnity has been received as per Section 502 of the Local Government Act;

i) BC Housing meeting with Council at one-year and two-year intervals during the three-year permit period to present on the progress made in addressing housing issues in the City of Courtenay.

**CARRIED**

**Acting Mayor Morin called a recess at 5:57 pm. The Council meeting resumed at 6:07 pm.**

## **5. DELEGATIONS**

### **5.1 Island Health - Climate Change, Health & Community Planning: Co-benefits of Climate Adaptation**

Dr. Paivi Abernethy, Climate Change & Health Lead, Healthy Communities, Population and Public Health, along with Dr. Charmaine Enns, Medical Health Officer for the North Island, presented on the health effects of climate change, and noted the connections between climate change, health, mental health, community planning, water management, drought, flooding, wildfires, and food security. They highlighted the importance of proactive solutions and providing residents with information on how to adapt to these challenges.

### **5.2 Dawn Collins - Cycling Without Age (Courtenay Chapter)**

Dawn Collins presented to Council regarding a proposed Cycling without Age program for Courtenay, which uses electric pedal-assisted trishaws and local volunteers to provide trishaw rides to seniors, promoting social connections and emotional well-being. The delegate suggested that Council consider implementing a community model similar to Invermere's, which provides tax receipts, insurance and an annual grant to its local chapter.

**Acting Mayor Morin called a recess at 6:56 pm. The Council meeting resumed at 7:20 pm.**

## **6. STAFF REPORTS**

### **6.1 Corporate Services**

#### **6.1.1 Resident Survey - Your Courtenay, Your Voice – Unique Questions Selection**

**Moved By** Hillian

**Seconded By** Jolicoeur

THAT Council direct staff to develop survey questions for inclusion in the 2023 Resident Survey, Your Courtenay, Your Voice to solicit feedback on the following objectives:

- public alignment with current City crest and community identity
- improvements or changes, if any, residents would like to see in the City's image
- how residents become aware of City initiatives, decisions and services
- specific initiatives or programs residents would like to see that would enhance the quality of life in our community
- perspective on the City's current efforts in promoting diversity, equity, and inclusion within the community.

**CARRIED**

### **6.2 Development Services**

#### **6.2.1 Change in Legislation – Request for Reconsideration**

**Moved By** Hillian

**Seconded By** McCollum

THAT Council rescind the following motion in accordance with section 40 of the Council Procedure Bylaw:

THAT Council give First and Second Readings to “Zoning Amendment Bylaw No. 3063” (1814 Grieve Ave) subject to the following conditions prior to adoption;

- a. 219 Covenant for Community Amenity Contributions; and
- b. 219 Covenant to ensure a 3m vegetation buffer is installed

along the northeast and southeast property lines.  
c. A Preliminary layout Plan be issued.

THAT Council not hold a public hearing as per section 464(2) (b) of the Local Government Act as “Zoning Amendment Bylaw No. 3063” (1814 Grieve Ave) consistent with the City’s Official Community Plan; and

THAT Council direct staff to issue public notice as per section 467 of the Local Government Act that a public hearing will not be held for “Zoning Amendment Bylaw No. 3063” (1814 Grieve Ave).

**CARRIED**

**Moved By** Hillian

**Seconded By** Frisch

THAT Council consider first, second and third readings of “Zoning Amendment Bylaw No. 3063” (1814 Grieve Ave) at the July 26, 2023 Council meeting;

THAT Council not hold a public hearing as per section 464(2) (b) of the Local Government Act as “Zoning Amendment Bylaw No. 3063” (1814 Grieve Ave) consistent with the City’s Official Community Plan; and

THAT Council direct staff to issue public notice as per section 467 of the Local Government Act that a public hearing will not be held for “Zoning Amendment Bylaw No. 3063” (1814 Grieve Ave).

**CARRIED**

**Opposed: Councillor Jolicoeur**

**Moved By** Frisch

**Seconded By** Hillian

THAT Council rescind the following motion in accordance with section 40 of the Council Procedure Bylaw:

THAT Council give First and Second Reading to “Zoning Amendment Bylaw No. 3095” to amend Zoning Bylaw No. 2500, 2007, Part 24 – Industrial Two Zone (I-2), section 8.24.1 Permitted

Uses to add day care use in Unit A of Strata Lot 5, District Lot 236, Comox District, Strata Plan VIS5235 (4655a Madrona Place); and

THAT Council not hold a public hearing as per section 464 2 (b) of the Local Government Act as the proposed zoning is consistent with the Official Community Plan; and

THAT a public notice is given as per section 467 of the Local Government Act.

**CARRIED**

**Moved By** Frisch

**Seconded By** McCollum

THAT Council consider first, second and third readings of “Zoning Amendment Bylaw No. 3095” (4655a Madrona Place) at the July 26, 2023 Council meeting;

THAT Council not hold a public hearing as per section 464 2 (b) of the Local Government Act as the proposed zoning is consistent with the Official Community Plan; and

THAT a public notice is given as per section 467 of the Local Government Act.

**CARRIED**

### **6.3 Financial Services**

#### **6.3.1 2024/2025 RCMP Municipal Policing Contract: Approval in Principle**

**Moved By** Frisch

**Seconded By** McCollum

THAT Council provide approval in principle for an RCMP expenditure cap of \$7,491,284 (90%) representing 31.4 member strength for the 2024/2025 Municipal Policing Contract.

**CARRIED**

### **6.3.2 Council Remuneration Policy**

**Moved By** Jolicoeur

**Seconded By** Frisch

THAT Council adopt Council Remuneration Policy 1920.00.01,

AND THAT Council proceed with Council Remuneration Repeal Bylaw No. 3103.

**CARRIED**

**Opposed: Councillor Hillian**

## **7. INTERNAL REPORTS AND CORRESPONDENCE**

### **7.1 Comox Valley Aquatic Service Needs Strategy Update**

**Moved By** Frisch

**Seconded By** Hillian

THAT Council receive the “Comox Valley Aquatic Service Needs Strategy Update” briefing note.

**CARRIED**

### **7.2 Renaming 150 Year Grove to Stan Hagen Nature Park**

**Moved By** Hillian

**Seconded By** Frisch

THAT Council receive the “Renaming 150 Year Grove to Stan Hagen Nature Park” briefing note.

**CARRIED**

## **8. COUNCIL REPORTS**

### **8.1 Councillor Cole-Hamilton**

No report provided.

## **8.2 Councillor Frisch**

Councillor Frisch submitted a report of activities, see agenda.

## **8.3 Councillor Hillian**

Councillor Hillian submitted a report of activities and acknowledged the following events:

- Councillor Hillian acknowledged a successful Canada Day celebration and expressed appreciation for staff and volunteer efforts.
- Councillor Hillian also recognized that the community application for a Comox Valley peer-assisted care team has been approved, and thanked the Comox Valley Coalition to End Homelessness and others for their local engagement and collaborative effort.

## **8.4 Councillor Jolicoeur**

Councillor Jolicoeur acknowledged the following event:

- The Comox Valley Community Action Team (CAT) has scheduled an event on August 31, the International Day of Awareness, which will include music, resiliency-focused activities, and an appearance by "Surreal," a nationally renowned artist who will share his personal experiences with toxic drugs.

## **8.5 Councillor McCollum**

Councillor McCollum submitted a report of activities, see agenda.

## **8.6 Councillor Morin**

Councillor Morin submitted a report of activities and acknowledged the following event:

- Councillor Morin acknowledged the successful community application for funding to establish a peer-assisted care team that was announced on July 7, and is grateful to the staff and the Comox Valley community for their recommendations. PACT teams may be operational before the end of this year or early next year.

**8.7 Mayor Wells**

Mayor Wells submitted a report of activities, see agenda.

**9. COUNCIL RESOLUTIONS**

**9.1 2023 Regional Housing Summit Coordination - Councillor Evan Jolicoeur**

**Moved By** Jolicoeur

**Seconded By** McCollum

WHEREAS the Comox Valley is experiencing a housing and homelessness crisis; and,

WHEREAS the regional municipal and First Nation government leadership have committed to supporting a regional housing summit to bring together housing and homelessness sector partners;

THEREFORE BE IT RESOLVED that Council allocate up to \$7,500 from the "Other Council Initiatives" budget for the purposes of contracting an event producer to support the coordination, organization and facilitation of a regional housing summit.

**Moved By** McCollum

**Seconded By** Hillian

THAT Council defer Council Resolution "2023 Regional Housing Summit Coordination - Councillor Evan Jolicoeur" to the next meeting or until more information is available regarding regional commitment and summit agenda.

**CARRIED**

**10. BYLAWS**

**10.1 For First, Second and Third Readings**

**10.1.1 Council Remuneration Repeal Bylaw No. 3103**

**Moved By** Frisch

**Seconded By** Jolicoeur

THAT Council give first, second and third readings to "Council Remuneration Repeal Bylaw No. 3103."

**CARRIED**

**Opposed: Councillor Hillian**

**10.2 For Adoption**

**10.2.1 Council Procedure Amendment Bylaw No. 3102**

**Moved By** McCollum

**Seconded By** Hillian

THAT Council adopt "Council Procedure Amendment Bylaw No. 3102, 2023."

**CARRIED**

**11. ADJOURNMENT**

Acting Mayor Morin terminated the meeting at 8:30 pm.

**CERTIFIED CORRECT**

Adopted by Council July 26, 2023

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Acting Mayor Morin

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Adriana Proton, Corporate Officer



THE CORPORATION OF THE CITY OF COURTENAY  
**PUBLIC HEARING MINUTES**

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**Meeting #:** PH1/2023  
**Date:** July 19, 2023  
**Time:** 4:00 pm  
**Location:** CVRD Civic Room, 770 Harmston Ave, Courtenay

**Council Present:** W. Cole-Hamilton  
D. Hillian  
E. Jolicoeur, via video/audio conference  
M. McCollum  
W. Morin

**Regrets:** B. Wells  
D. Frisch (previously declared conflict of interest)

**Staff Present:** M. Wade, Director of Development Services  
N. Gothard, Manager of Community and Sustainability Planning  
A. Proton, Manager of Legislative Services  
R. Matthews, Deputy Corporate Officer

**1. HOW TO PARTICIPATE**

The public hearing was conducted in a hybrid electronic/in-person format and live-streamed on the City of Courtenay YouTube channel.

**2. CALL TO ORDER**

Acting Mayor Morin called the public hearing to order at 4:00 pm and respectfully acknowledged that the land on which the meeting was conducted is the Unceded traditional territory of the K'ómoks First Nation. Planning staff provided an overview of the application, and Acting Mayor and staff read a statement to inform the public of the public hearing process.

**3. BYLAWS**

**3.1 Zoning Bylaw Amendment No. 3037 - 1590 Piercy Ave**

Bylaw No. 3037 proposes an amendment to Zoning Bylaw No. 2500, 2007 for the property legally described as That Part of Lot 3, Section 41, Comox District, Plan 4764, shown outlined in red on Plan 1402 R. The property owner(s) have applied to rezone the above noted property from Residential Two Zone to a new site-specific Comprehensive Development Zone (CD-39) to allow a nine-unit multi-residential development.

**Megan Ardyche, 1670C Piercy Avenue** asked whether the electric vehicle (EV) charging stations are going to be at every parking stall. The speaker also asked about the cottonwood and alder trees to be removed and if there is a requirement for the 32 trees to be planted to be native species.

**Nancy Gothard, Manager of Community and Sustainability Planning** confirmed that each stall will have an EV charging station. Also confirmed that some trees on the property will have to be removed; regarding the trees to be planted, the Tree Bylaw requires a minimum of ten trees be planted and 50% of the trees shall be required to be native species, and the Development Permit Landscape guideline says native species are encouraged to be planted.

**Fred Muzin, 1031 16<sup>th</sup> Street** expressed concern regarding the date of the development's community meeting (mailout distributed May 28, 2021) as new residents have moved to the neighbourhood since. The speaker feels another community meeting should be held. Additional concerns include: parking stalls may be insufficient; there will be one access point to the development; there will be increased traffic impact at the intersection of Piercy Avenue and Cumberland Road and intersection of Piercy Avenue and 17<sup>th</sup> Street; transit may not be reliable or sufficient; this development is not affordable housing. Is interested to know whether there is enforcement for planting the 32 trees.

**Nancy Gothard, Manager of Community and Sustainability Planning** confirmed there are 32 trees to be planted as per the landscape plan. The City requires landscape securities at the time of building permit issuance to ensure landscaping is installed and a 3-year holdback of 20% to make sure the landscaping becomes established.

**Julia McKenzie, 1580 Piercy Avenue, via Zoom** is concerned about smell and animals around the garbage bin, to be installed next to their property. Asked if the garbage bin for the nine units is going to be put at the curb. Also asked if the developer will be building their own fence along their shared property line. Supports the planting of new trees and removal of the cottonwood trees as they have been leaning dangerously towards their property.

**Nancy Gothard, Manager of Community and Sustainability Planning** advised that the garbage bin will have a garbage enclosure standard to multi-residential buildings and is placed at one of the only possible locations for the property.

**George Slomp, Proponent, Prospective Design Build LTD** advised that the garbage bins will be enclosed on all three sides with cinder block construction, roof and gate. The majority of the adjacent fence line to 1580 Piercy Avenue is on a retaining wall and the current fence is in good shape so there will be no additional fence.

**Julia McKenzie, 1580 Piercy Avenue** asked the Proponent if the garbage enclosure could be placed along the property line opposite to 1580 Piercy Avenue (at 1620 Piercy Avenue).

**George Slomp, Proponent, Prospective Design Build LTD** advised that Emterra's waste management vehicles would not be able to achieve the required turning radius on that property line.

**Megan Ardyche, 1670C Piercy Avenue (second time)** sought clarification regarding the development's affordable housing component: will they be rental units and if considered affordable housing, what is the criteria and how is it enforced.

**Nancy Gothard, Manager of Community and Sustainability Planning** advised that these will be strata units. The Official Community Plan provides for a monetary option with funds per unit contributed to the City's affordable housing fund; given the scale of this proposal, a financial contribution to affordable housing is appropriate rather than price restrictions within the development.

**Fred Muzin, 1031 16<sup>th</sup> Street (second time)** asked who the owners of the development are.

**George Slomp, Proponent, Prospective Design Build LTD** advised that the owners are George Slomp and Peter Bain, of Prospective Design Build LTD.

**Fred Muzin, 1031 16<sup>th</sup> Street** advised that they would have liked to see what the impact of the development will be on the area's water supply.

**Megan Ardyche, 1670C Piercy Avenue (no objection from Council to speak for a third time)** is concerned about the traffic along Piercy Avenue at the intersections of 17<sup>th</sup> Street and Cumberland Road as it is densely housed and challenging to cross at these intersections. Asked whether a traffic study has

been done and if there will be another traffic study after this development and the Habitat for Humanity development are complete.

**Nancy Gothard, Manager of Community and Sustainability Planning** confirmed that the City would have asked for a traffic study to see if the development would trigger any upgrades to intersections; the report does not note that any upgrades are required.

**Councillor Jolicoeur** asked for details around the requirements for future traffic impact assessments.

**Acting Mayor Morin** commented that Council is here to listen to the public but requested clarification from staff.

**Marianne Wade, Director of Development Services** advised the City and Ministry of Transportation and Infrastructure have criteria for when traffic impact assessments (TIAs) are required for developments. If required, TIAs are reviewed at the preapplication zoning process and often at subdivision, depending where the property is located. The City also relies on its Transportation Master Plan.

The City also received one written submission (see agenda) regarding Bylaw No. 3037.

#### **4. ADJOURNMENT**

Acting Mayor Morin called three times for speakers and waited one minute for additional submissions. There being no further speakers, Acting Mayor Morin closed the public hearing at 4:42 pm.

#### **CERTIFIED FAIR AND ACCURATE:**

Adopted by Council July 26, 2023

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Acting Mayor Wendy Morin

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Adriana Proton, Corporate Officer



## STAFF REPORT

**To:** Council

**File No.:** 7900-01

**From:** Director of Recreation, Culture, and Community Services

**Date:** July 26, 2023

**Subject:** Courtenay and District Memorial Outdoor Pool – Free Public Admission Pilot

**PURPOSE:** To request Council's approval to proceed with offering free public admission to the Courtenay and District Memorial Outdoor pool as a pilot program for the 2023 operating season beginning August 8, 2023.

### BACKGROUND:

The draft Comox Valley Aquatic Needs strategy, presented to Council in January 2023, identifies the tremendous community and individual benefits public pools provide. In addition to water safety and drowning prevention, public swimming pools offer opportunities for social connection, health and fitness, rehabilitation, skill development, and recreation and leisure. The draft strategy also articulates the unique activities that outdoor pools, wading pools, and spray parks provide which include water introduction for toddlers and young children and respite from summer heat.<sup>1</sup>

Due to the unique benefits outdoor pools provide to community in addition to the community and social value they offer as informal and low barrier gathering places, some cities across Canada provide free public admission to their outdoor swimming pools, including but not limited to:

- Surrey's eight (8) outdoor pools are free for public admission
- Campbell River's Centennial Pool is free for those up to 18 years old
- Port Coquitlam is piloting free public admission for the 2023 season
- Halifax's recently opened new outdoor pool is free for public admission
- Winnipeg provides free admission to four (4) unheated outdoor pools (of a total of eight (8) outdoor pools)
- Kitchener provides free admission at two (2) of its four (4) outdoor pools

Please see Attachment 1 for current fees and charges and schedules for the outdoor pool.

### DISCUSSION:

In light of the social and community benefits provided by outdoor pools and the actions of other municipalities offering free admission, staff began investigating the option to pilot free public admission at the Courtenay and District Memorial Outdoor Pool for the remainder of the 2023 season.

Of the outdoor pool's aquatic offerings, recreational swimming has the fewest barriers to participation and appeals to the broadest cross-section of the public. Recreational and leisure swimming is often a user's introduction to aquatic services and should therefore be considered essential in aquatic service provision.

<sup>1</sup> [2023-02-03 DRAFT Comox Valley Aquatic Needs Strategy.pdf \(courtenay.ca\)](#)

Additionally, the outdoor pool provides respite from the heat which is especially important during lengthy hot, dry conditions, as it provides a safe alternative to non-lifeguarded swimming in natural water ways, which accounts for 81% of drownings in B.C.<sup>2</sup>

Staff are recommending that the City pilot free public admission for the Courtenay and District Memorial Outdoor Pool for public swim times beginning August 8, 2023 until September 1, 2023.

The free public admission will apply to all ages during the following aquatic offerings:

- Open Swim
- Family Swim
- Adapted Swim
- Lengths Swim (including Early Bird and Evening Lanes)

Participants will continue to be required to pay for admission to aquatic programs where an instructor or additional staff is required to deliver the program, or other additional costs are incurred. This includes:

- AquaFit
- Lessons (group and private, Kayak)

All rentals and bookings are still required to pay appropriate fees and charges including birthday parties, private or club rentals, and other bookings.

Patrons who have purchased pool specific passes or punch cards will be eligible for a prorated refund or credit, depending on preference. Punch cards do not have an expiry date so can be saved for future use if a prorated refund isn't requested.

The maximum capacity of the outdoor pool is 200 persons. While it is rare to reach this capacity, it does occur occasionally when multiple day camps are in attendance in the early afternoon portion of public swim. During the first two weeks of July the outdoor pool averaged 135 attendees during the Monday to Friday public swim from 1:30pm – 4:30pm. Weekend public swims averaged 85 in attendance. The number of lifeguards on duty during Open Swim is already at its maximum due to current high attendance and as such no additional staffing expenses are expected to be incurred as a result of this pilot. The remaining public swim programs are not expected to see participation numbers rise to a level that require additional lifeguards.

If approved, staff will prepare communication materials to ensure the public is aware of the pilot program, what aquatic services it applies to, as well as highlighting peak times to encourage the public to attend at quieter times. Staff will continue to track attendance to public swim times in order to report back on the pilot in the Fall.

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<sup>2</sup> 81% of drownings in B.C. occur in lakes, ponds, rivers, and oceans. [The Lifesaving Society | Water Safety Training & Education](#)

**FINANCIAL IMPLICATIONS:**

The annual operating budget projects \$31,000 in public swimming admission revenue, however in 2022 the actual public swimming revenue was \$65,795. The financial impact of the free public admission pilot program will range from \$15,000 to \$30,000 in foregone revenue as it would be initiated half way through the season. Public admission revenue is most significantly impacted by weather and as such can be unpredictable year over year.

The impact of reduced revenue will likely be absorbed by the Recreation, Culture, and Community Services (RCCS) department budget if it produces a surplus at year end which is consistent with historical performance. However, if the RCCS operating budget has revenue shortfalls resulting from the pilot program, staff recommend the use of gaming funds to balance the outdoor pool operating budget.

Table 1: Outdoor Pool Annual Operating Budget

<b>Outdoor Pool Annual Budget</b>			
<b>Revenue</b>	<b>2022 Budget</b>	<b>2022 Actual</b>	<b>2023 Budget</b>
Public Swimming	\$ 35,000	\$ 65,795	\$ 31,000
Lessons	\$ 30,000	\$ 15,296	\$ 49,000
Misc. Revenue	\$ 500	\$ -	\$ 500
Pool Rental	\$ 11,000	\$ 11,873	\$ 12,000
CVRD Operating Grant	\$ 96,700	\$ 96,700	\$ 101,500
<b>Total Revenue</b>	<b>\$ 173,200</b>	<b>\$ 189,664</b>	<b>\$ 194,000</b>
<b>Expenses</b>			
Program Expenses & Supplies	\$ 217,600	\$ 142,712	\$ 231,200
Pool Repair & Maintenance	\$ 92,300	\$ 60,134	\$ 109,400
<b>Total Expenses</b>	<b>\$ 309,900</b>	<b>\$ 202,846</b>	<b>\$ 340,600</b>
<b>Total Surplus (Deficit)</b>	<b>\$ (136,700)</b>	<b>\$ (13,182)</b>	<b>\$ (146,600)</b>

As identified in Table 1, the City receives an operating grant from the CVRD annually. Staff have confirmed that a decision to provide free public swimming admission will not adversely affect this operating grant.

**ADMINISTRATIVE IMPLICATIONS:**

Recreation, Culture, and Community Services (RCCS) will lead the implementation of the pilot project if approved by Council. Free public admission will result in temporary increase in administrative support to process prorated refunds and credits for pass and punch card holders, as well as tracking of participation. Support will be required from Communications to ensure public notification and information is provided, as well as Finance to support analysis of the impact of the pilot.

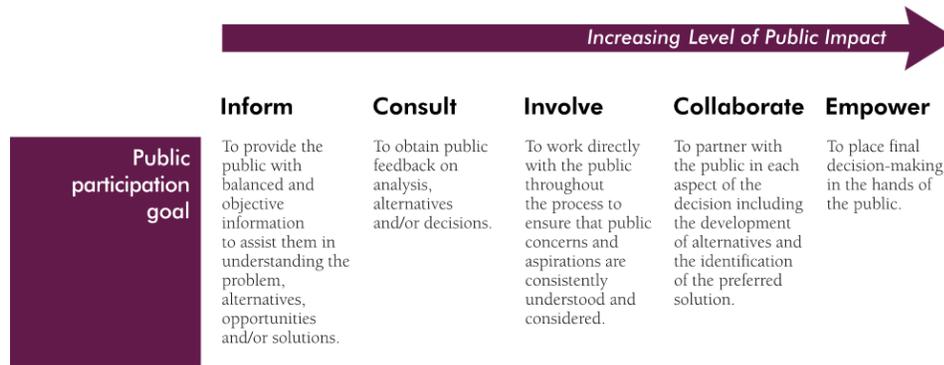
**STRATEGIC PRIORITIES REFERENCE:**

This initiative addresses the following strategic priorities:

- Parks and Recreation - Review recreation programs and engage with community on current and future needs, changing demographics

**PUBLIC ENGAGEMENT:**

Staff would inform the public based on the IAP2 Spectrum of Public Participation:



© International Association for Public Participation [www.iap2.org](http://www.iap2.org)

**CONCLUSION:**

The Courtenay and District Memorial Outdoor pool offers unique benefits to residents, in addition to the community and social value it offers as an informal and low barrier gathering place. Staff recommend that Council consider the proposal to provide free public admission for the remainder of the outdoor pool 2023 season to encourage increased use, enhance access to low barrier recreational activities, and provide additional options for respite from the summer heat.

**OPTIONS:**

1. THAT Council direct staff to implement a pilot program offering free public admission at the Courtenay and District Memorial Outdoor Pool from August 8, 2023 to September 1, 2023 and that staff report back in the fall on the results of the pilot program.
2. THAT Council provide alternative direction to staff.

**ATTACHMENTS:**

1. Current Fees and Charges and Schedules for the Outdoor Pool

Prepared by: Susie Saunders, Director of Recreation, Culture, and Community Services

Reviewed by: Kathy Collins, Manager of Recreation Programming  
Adam Langenmaier, Director of Financial Services

Concurrence: Susie Saunders, Acting City Manager (CAO)

**ATTACHMENT 1:** Current Fees and Charges and Schedules for the Outdoor Pool

**May 29 - July 2** *schedule subject to change*

**Pool Schedules**

COURTENAY OUTDOOR POOL

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Early Bird Lengths 5:30 - 10:00 am	Early Bird Lengths 5:30 - 6:30 am					
	Early Bird Lengths 8:00 - 10:00 am					
Private Swim Lessons 8:30 - 9:30 am						Swim Fit 8:30 - 9:30 am
Aquafit 10:00 - 10:45 am	Lanes 8:00 - 10:45 am	Aquafit 10:00 - 10:45 am	Lanes 8:00 - 10:45 am	Aquafit 10:00 - 10:45 am	Family Swim 8:30 - 9:30 am	
Open Swim 2:00 - 4:30 pm/Lanes					Private Lessons 9:30 - 11:30	
Kayaks when booked 7:30 - 9:00 pm	Kayaks when booked 7:30 - 9:00 pm	Evening lanes 7:30 - 8:30 pm	Evening lanes 7:30 - 8:30 pm		Lengths & Water Jogging 9:30 - 1:30	
					Open Swim 1:30 - 4:30 pm	

Please note: pool closed June 17 - 18

**July 3 - August 13** *schedule subject to change*

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Early Bird Lengths 5:30 - 8:45 am	Early Bird Lengths 5:30 - 7:30 am				Swim Fit 8:30 - 9:30am	Family Swim 8:30 - 9:30 am
Lessons 9:00 - 11:30 am						
Lengths Swim 11:45 - 1:30 pm (½ pool 12 - 1:30 pm)					Private Lessons 9:30 - 11:30 am	
Aquafit 12:15 - 1pm	Adapted Swim 12-1:30pm	Aquafit 12:15 - 1pm	Adapted Swim 12-1:30pm	Aquafit 12:15 - 1pm	Lengths & Water Jogging 9:30 am - 1:30 pm	
Open Swim 1:30 - 4:30 pm						
Evening Lanes 7:30 - 8:30pm	Evening Lanes 7:30 - 8:30pm	Evening Lanes 7:30 - 8:30pm	Kayaks when booked 7:30 - 9:00 pm	Splash Birthdays 6-7pm		

**August 14 - September 1** *schedule subject to change*

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Early Bird Lengths 5:30 - 8:30 am					Swim Fit 8:30 - 9:30am	Family Swim 8:30 - 9:30 am
Lessons 9:00 - 11:30 am						
Lengths Swim 11:30 - 1:30 pm (½ pool 12-1:30 pm)					Private Lessons 9:30 - 11:30 am	
Aquafit 12:15 - 1pm	Adapted Swim 12-1:30pm	Aquafit 12:15 - 1pm	Adapted Swim 12-1:30pm	Aquafit 12:15 - 1pm	Lengths & Water Jogging 9:30 am - 1:30 pm	
Open Swim 1:30 - 7:00 pm						Open Swim 1:30 - 4:30 pm
Evening Lanes 7:30 - 8:30pm	Evening Lanes 7:30 - 8:30pm	Evening Lanes 7:30 - 8:30pm	Kayaks when booked 7:30 - 9:00 pm	Splash Birthdays 6-7pm		

Admission	Single Admission	Children 3 - 12 yrs	Youth 13 - 18 yrs	Adult (19+)	Older Adult (55+)	PWD	<b>Please note:</b> • Children under 7 years must be accompanied by someone 16 years or older & be within arm's reach. • Length swim is for ages 12 & up * Friday September 1 Open Swim closes at 4:30 pm
		\$3.25	\$4	\$6.25	\$5.25	\$3.25	
	10-Use Card	\$30	\$35	\$55	\$46.50	\$30	
	Season Pass	\$100	\$117	\$187	\$158	\$100	

Debi Lister  
[REDACTED]  
Courtenay, BC  
V9N 2G8  
July 11, 2023

Courtenay Council  
City of Courtenay  
830 Cliffe Avenue  
Courtenay, BC  
V9N 2J7

**Re: Bylaw No. 1664, Item 10; erection of a sign within the limits of a park**

Dear Courtenay Council,

I am writing in regards to Bylaw No. 1664 (a bylaw to establish regulations and control of parks and park property), Item 10 which reads:

- 10. No person shall place or erect any structure, sign, bulletin board, post, pole or advertising device whatever or distribute, post, paint or affix any advertisements, bills or other article of any advertising nature within the limits of a park, unless written permission is granted from Council.**

I would like to erect six "Lost Cat" signs (see attached sign) within a short portion of 1<sup>st</sup> Street Trail that is located within Condensory Park. Annie the cat was at my home at [REDACTED] for 1 day before escaping under the fence leading to the park. She is not likely to know where her new home is located, and I doubt she will be able to find her way back. I therefore rely on the eyes and ears of park visitors to inform me if they see or hear this cat along this portion of the trail.

The signs will be posted on the park trailhead sign at Anderton Ave., the park boundary sign on the northeast side of the park, and four trees behind the condo building at the said address (where I live). Please see attached map.

The signs are 8.5x11 inches, paper, and attached by paper staples. I would like the signs to remain in place until end of November 2023. At that time I will remove the signs and the paper staples.

Once it starts raining the signs will be printed on waterproof paper. The signs will be checked regularly and replaced if damaged. Condensory Park experiences habitation and vandalism by the homeless population.

Thank you for considering my request to post these "Lost Cat" signs. If you have any further questions please feel free to contact me at my email address at [REDACTED] or my cell number at [REDACTED]

Sincerely,

Debi Lister

Map of "Lost Cat" Sign Locations – extracted from City of Courtenay, GIS interactive parks map



# Still Lost

**Frightened and in hiding!**



**Annie the cat is still missing from Parkside Condos at 44 Anderton Ave., near the Condensory Road bridge. Might be hiding along the Riverside Trail. If you see or **HEAR A CAT CALLING** please call **250-334-4818.****

# Parks and Recreation Advisory Commission Meeting

Date: April 6, 2023 at 6:30 pm

Location: Council Meeting Room - City Hall

*We respectfully acknowledge that the land on which we gather is the  
Unceded traditional territory of the K'ómoks First Nation, the traditional  
keepers of this land.*

*Attendance: Michael Lynch, Allan Douglas, Erik Eriksson, Carolyn Janes, Mary  
Crowley, Bill Green, Susie Saunders, Councillor McCollum, Tom Demeo*

*Regrets: Iris Churchill*

## Agenda

### Adoption of Minutes

- Adopt January 12, 2023 meeting minutes

### New Business

#### **Welcome back Susie!!!**

- **Hurford Hill Park**

Discussion regarding dogs off leash at Hurford Hill Park, and owners not cleaning up after dogs. People are experiencing concerns with unleashed dogs. Staff will review signage protocols and standards. Parks Bylaw restricts off leash dogs. City is updating parks and open spaces bylaw and will include items such as sheltering, dogs, smoking etc.

Requesting signs that indicate that dogs must be on a leash.

- **Comox Valley Accessibility Forum (Nancy/ Susie)**

Nancy is working with City committees re: accessibility at public facilities and parks in Courtenay and the region. Consultation meetings on 4 dates will be held. Allan will forward PRAC the info.

- **Strategic Cultural Plan (Susie)**

City has hired a consultant lead development of Cultural Strategic Plan for City. Engagement with community groups will begin in May and also public consultation. Plan complete by end of the year.

- **Outdoor Court Usage motion (Susie). – motion passed by Council**

*THAT Council direct staff to prepare a report assessing current usage, and outlining options which would make optimal use of our outdoor courts.*

- **Sports Field Study update (Susie)**

Draft has been presented to CVRD. Artificial turf is one of the recommendations, priority is to have a second turf field at Vanier because tournaments can be hosted with 2 fields. Staff agree with that recommendations. Allocation of fields is a key issue. Studies indicate that we have enough fields, but allocation is an issue.

CVRD will host a Community discussion in June re: ice rinks, aquatics etc.

- [z3 20230210 SR Recreation Sports Field Strategy Final Report UPDATED.pdf \(comoxvalleyrd.ca\)](#)
- [Comox SFS Technical Appendix.pdf \(comoxvalleyrd.ca\)](#)

-

- **2023 Budget (Susie), April 12 Council meeting**

City budget that will be presented April 12.

- **CVRD Recreation Commission Capital Planning**

Melanie McCollum:CVRD Plan re: Rec and Aquatics (relocation/outdoor pool etc.) At this point, developing timelines and potential options. E.g. close the Sports Pool at Vanier? Current aquatic capacity in Valley is about 40% despite low user costs. Shorter term concern re: shortage of ice. Sports pool near Vanier has been repaired at a reasonable cost.

Discussion about reinstating the School District Swim Program...costs (transportation etc.) have become a real challenge for District and schools.

- [Microsoft Word - Rec Commission Strategic Planning report out 2023.docx \(comoxvalleyrd.ca\)](#)

## **Old Business**

- **Outdoor Pool & Aquatic Services Review (with CVRD)**

Concerns expressed about a low response to the draft report, perhaps due to the length of the report. There will be another opportunity for public input and the final report will be taken back to Council in next couple of months. . Erik added that consultation with First Nations would be a good idea.

- **Regional Parks Study (with CVRD)**

No updates

- **Initiatives for increasing diversity of the committee such as engaging with youth**

Previous discussion re: our PRAC Committee including a more diverse demographic group with different perspectives (students, parents with young kids, Indigenous etc.). Perhaps include Focus groups that focus on specific items. Look at length of PRAC Committee terms of appointment.

**Stan Hagen Park naming**

No date yet

- **Lawrence Burns Park -**

Land has been cleared but no future planning direction at this point

Next meeting – July 6, 2023, location to be determined.



## BRIEFING NOTE

To: Council

File No.:3360-20-1911/ OCP00007

From: Director of Development Services

Date: July 26, 2023

Subject: Update to Zoning Amendment Bylaw No. 2973 – Lannan Road

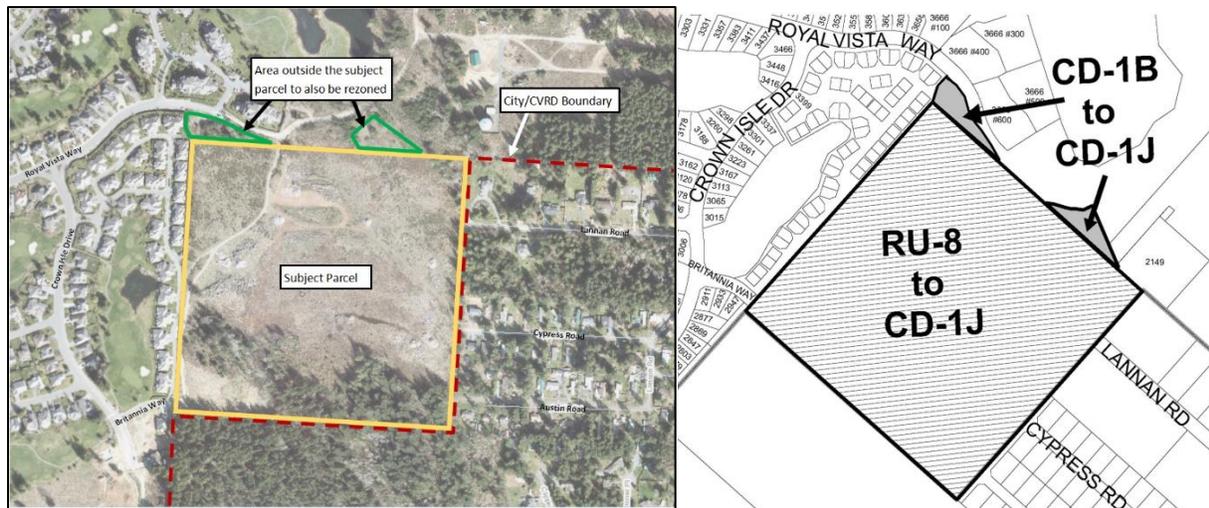
### PURPOSE:

To provide Council with an update on the status of Zoning Amendment Bylaw No 2973 and OCP Amendment Bylaw No. 2072 and outline next steps.

### BACKGROUND:

This application to rezone the subject property was originally received in June 2019 and included both an OCP amendment (from undesignated land use to mixed use) and Zoning Bylaw amendment from CD-1 J from CVRD RU-8 zone given the lands had been annexed into the City of Courtenay in 2013 (see Figure 1).

Figure 1 Subject Property



Council adopted first and second readings of Zoning Amendment Bylaw No. 2973 and OCP Amendment Bylaw No 2072 - Lannan Road at the January 6, 2020 regular Council meeting and both amendments proceeded to a public hearing on January 20, 2020.

Upon the termination of the public hearing, staff presented a report at the February 18, 2020 Council meeting, requesting third reading of the bylaws. Council did not adopt Third reading of either bylaw, deferring consideration as per the following resolution:

*THAT Council defer a decision on the main motion (OPTION 1) of the February 18th, 2020 staff report "Third Reading Report - Official Community Plan (OCP) Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 - Lannan Road" to allow staff to present the report to Council and give Council the opportunity to review and consider the other options available listed on pages 5 and 6 of the staff report.*

At the Regular Council Meeting held on April 6, 2020 at the staff brought forward a Follow up Report for Council's consideration. The following resolution was carried:

*THAT based on the April 6th, 2020 staff report "Follow Up Report - OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 - Lannan Road" Council approve OPTION 1 and require the applicant to make revisions to the proposal and supply the information listed below prior to proceeding with the bylaw amendments:*

- 1. All remaining trees within the area identified generally on Schedule No. 1 are to be protected with the exception of tree removal necessary to allow for the extension of the Britannia Place strata as well as the extension of Britannia Way.*
- 2. Require that the location of any proposed stormwater management facility is identified to the satisfaction of all relevant authorities but in no case can the facility be located within the area identified on Schedule No. 2.*
- 3. The development's stormwater management design must be completed to the satisfaction of the City and any other agencies which may be affected depending on the facilities' location.*
- 4. An appraisal is to be provided to the City determining the current property value and the value realized once the subject property is rezoned to help inform Council's decision on amenities.*
- 5. Additional consideration of transportation modes must be provided and integrated into the proposal to reduce the dependence on automobile trips.*

Upon further review, staff have determined that if undertaken, the request for an appraisal would be considered new information (item 4 of the aforementioned resolution) and would trigger a new public hearing. Additionally, the original intent of the request for an appraisal to determine the lift value of the property was not a policy within the 2005 OCP Bylaw which applies to this rezoning application.

It is important to note that from January 6, 2020 to February 18, 2020, a number of requirements were identified in the staff reports and amenity contributions were volunteered by the applicant which form the public record of Zoning Amendment Bylaw No. 2973.

#### **DISCUSSION:**

Since the original application and the April 6, 2020 resolution, the City adopted a new Official Community Plan (OCP) Bylaw No. 3070, 2022. The 2022 OCP designates the subject property as Urban Residential which supports the zoning amendment. Given this context, the 2020 OCP Amendment Bylaw is no longer required. It is also important to note that given this application has had a public hearing, commitments and requirements of the day are legislatively required to move forward through to adoption. Substantive changes to the rezoning application or the addition of new information received or considered after the termination of the January 20, 2020 Public Hearing would likely require the City to hold a new public hearing. In this situation OCP Bylaw No.2387, 2005 should guide the discussion at all future readings.

#### ***Phased Development Agreement***

Staff have reviewed the comments regarding a Phased Development Agreement and have identified a more streamlined legislative tool, a Development Agreement which is registered on the title of the parcel of land by a Section 219 covenant prior to adoption of the Bylaw. The Development Agreement will outline the phases of development and the requirements that must be met prior to a subdivision being approved for a

particular phase. As such the lands cannot be constructed upon until these requirements have been met to the satisfaction of the City.

The City and the applicant have commenced working on this document and this would form part of the staff report for the consideration of Third Reading of the Zoning Amendment Bylaw No. 2973. Staff are satisfied this Development Agreement meets the intent to manage construction and development by phases as outlined in the staff reports.

Status of Issues for Consideration Prior to Adoption of Bylaws

**Land Use, Housing Form, and Density**

The CD-1 J zoning limits total number of units to 330. The split is 122 Single residential dwellings units that are permitted to have secondary suites and 208 duplex or multi-family residential dwelling units. Minimum lot size was decreased from 465m<sup>2</sup> to 400 m<sup>2</sup>. The Developer will have a section 219 covenant that will outline construction details that will include Step Code 3 or better, and will coordinate with infiltration designs for house and road ways to address stormwater management plan. This will include solar panels, EV chargers, bio-swales, infiltration trenches, drought resistant landscaping and native plants. See Figure 2 Conceptual Development Layout. Staff are satisfied that building Performance Standards are in alignment with recent changes to the BC Building Code which requires Step Code 3 for all Part 9 Buildings. The applicant has committed to encompass Step Code 3 or better specifications in the section 219 covenant. Staff are satisfied this resolution has been addressed and it will be addressed in the Development Agreement.

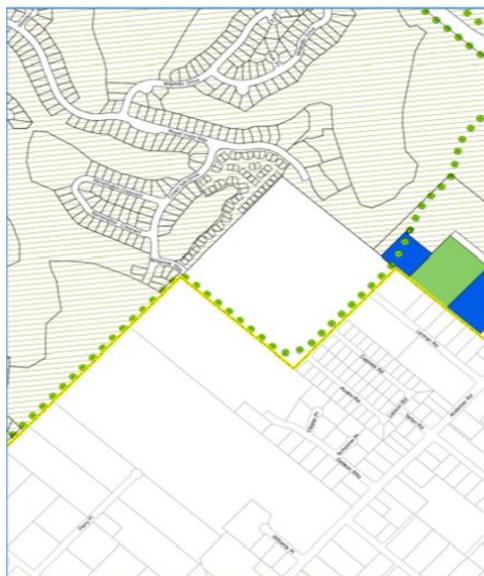
Figure 2 Conceptual Development Layout



### ***Trails and Greenway Connections***

The pathway identified in Figure 3 aligns with the Parks and Recreation Master Plan (September 30, 2019) and OCP (Bylaw No.2387, 2005). These were the documents that formed the public records for First and Seconding Reading of Zoning Bylaw Amendment No.2973, the public hearing held on January 20, 2020, the consideration of third reading on February 18, 2020, and update report on April 6, 2020. The Greenway trail is noted in the conceptual Development Layout (Figure 2).

Figure 3 Greenway Trail



The OCP Bylaw No. 2387, 2005 policies required integration of greenways and the inclusion of pedestrian walkways with any subdivision and developments to link residences to public facilities, transit, parks, and neighbourhood amenities. Dedication of buffer strips within properties prior to rezoning of land and/or use of section 219 covenants to provide for pedestrian trails and landscaped areas were required in addition to the 5% parkland dedication requirement under subdivision.

The reports indicate that this Greenway trail could be secured in a Development Agreement and the intent was to have this secured prior to adoption of the bylaw. The applicant has been discussing the design of this trail with the Brooklyn Creek Watershed Society and City staff. Staff will require this Greenway Trail conceptual design and construction specifications be secured in the Development Agreement.

In addition, buffer areas will be identified based upon the Conceptual Development Layout (Figure 2) and incorporated into the Development Agreement.

### ***Park***

As part of the development phasing and associated subdivision approval process, park dedications of 5% of the land area are required under the *Local Government Act*. Staff have been working with the applicant to identify types of parks along with area and location based upon the Conceptual Development Layout (Figure 2). In the reports to date the City has highlighted the desire for parks to come earlier in the development

process and align with the Parks and Recreation Master Plan (September 30, 2019), and is working with the applicant to address this in the Development Agreement.

### Environmental Considerations

The Strategic Lannan Development Site Wetland Assessment dated May 14, 2019 was submitted to staff and informed the Zoning Amendment Bylaw No. 2973. The staff reports to date indicate the City's requirement for a registered professional biologist to undertake an environmental assessment with each phase of development. The recommendation for this will be a requirement in the Development Agreement.

Concern over the existing trees and protecting them was identified in staff reports and Council resolutions. This area has been defined as per Council Resolution on April 6, 2020 and is noted in Figure 4 Tree Protection Area. This protected area will be addressed in the Development Agreement as a section 219 covenant.

Figure 4 Tree Protection Area from April 6, 2020



### Stormwater Management

The applicant and the City have been working on the stormwater management design with other relevant authorities and have arrived at a conceptual design which received "approval in principle from MOTI". The applicant has worked with the Brooklyn Creek Watershed Society who have provided the City with a letter acknowledging the information sharing on the Koers & Associates Engineering Ltd Proposed Residential Subdivision Drainage Study dated September 1, 2022 Rev 1 and the Town of Comox Anderton Corridor Servicing Study draft report, which employs a water balance approach, that offers more downstream

protection than the City of Courtenay standards in our Subdivision and Development Servicing Bylaw No. 2919.

Staff have reviewed this plan with the applicant and will be providing comments on the draft study and design, both the study and design will be required as part of the Development Agreement. Detailed Designs will be required at each phase of development and the required off site construction will be required at the early phase of the development.

As per the April 6, 2020 resolution the pond is not placed in the lands noted in Figure 5 and the pond is located on lands owned by Crown Isle which consist of an executive golf course. It is proposed that this pond be incorporated into the existing golf course use.

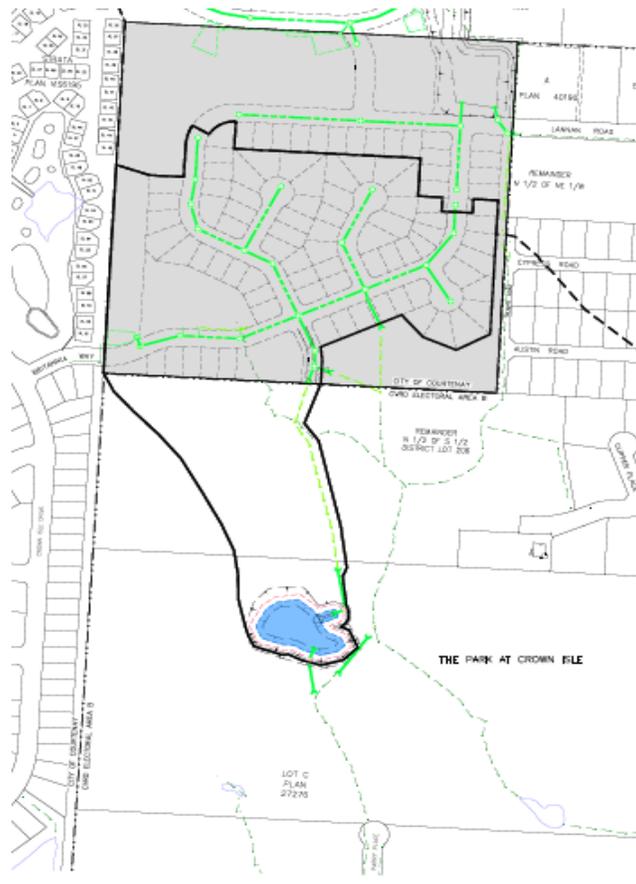
Once the Proposed Residential Subdivision Drainage Study has been finalized and associated designs are acceptable for a MOTI application submission, the City will be making an application to MOTI to convey the stormwater that is currently not managed in the area south of the proposed Lannan development into a pipe located in the MOTI roadway. According to the applicant's engineer, the pipe will discharge to Brooklyn Creek as it does now, and it is to be designed to accommodate existing flows. The Proposed Residential Subdivision Study includes the use of infiltration systems, control mechanisms at the pond, and maintains the baseflow required to maintain the health of the trees and vegetation. According to the applicant's engineer, stormwater generated with the Lannan development is intended to be address on site and through the stormwater pond. This conceptual plan is illustrated in Figure 5 below.

Staff will continue to work with the applicant's engineer and with relevant agencies through the design and construction period. The finalized report will be incorporated into the Development Agreement.

Figure 5 Protect Area from Stormwater Pond from April 6 2020



Figure 6 Koers & Associates Engineering Ltd September 1, 2020 Rev.1



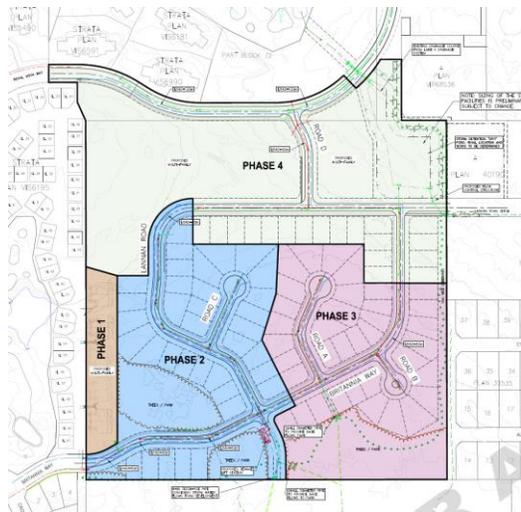
**Servicing**

Koers & Associates has submitted a Technical Memorandum No. 1 dated May 9, 2019 for the proposed Lannon Conceptual Development Layout in support of the Zoning Amendment Bylaw No. 2793, Technical Memorandum No.2 dated May 24, 2019 and Technical Memorandum No.2 Revision 1 dated August 10, 2021 for the proposed Britannia Development, and Technical Memorandum No.3 dated June 30, 2023 an updated conceptual servicing report for the proposed Lannon Road development.

The Consultant's report notes the need for a sanitary lift station to be located near Lannon and Britannia Way which will require a SRW or dedication of land for utilities. In addition, the Consultant notes that a water system network analysis by the City's modelling consultant will be required to confirm water capacity and fire flow demand. Staff are reviewing Technical Memorandum No. 3 and will provide comments to the applicant to inform the Development Agreement.

This report outlines the proposed development phasing plan that will inform the Development Agreement and the proposed development phasing plan provided by Koers is illustrated below (see figure 7) :

Figure 7 Koers & Associates Engineering Ltd Proposed Development Phasing



### Amenities

Regarding the April 6, 2020 resolution requiring an appraisal to be provided to the City to determine the current property value and the value realized once the subject property is rezoned, this is challenging for the City to request given we have no policy or requirements for this in the OCP Bylaw No. 2387, 2005 which guided these amenity contributions made by the applicant.

There is substantial public record on the amenities offered by the applicant which include:

- Contribution of \$225,000 to Affordable Housing Fund as per section 7.6 (c) of Bylaw 2387, 2005 but is subject to change based on the final lot sizes and the final number and area of multifamily units
- Contribution to Parks, Recreation, Cultural and Senior's Facilities Amenity Reserve Fund of \$225,000 section 7.5 of Bylaw 2387 but subject to change based upon the final lot sizes and other variables such as the final area of multifamily units and the location of stormwater management facilities.
- Park improvements to 2600 Crown Isle as per specifications provided in February 18, 2020 staff report, staff will confirm completion as construction had commenced
- As per February 18, 2020 staff report provision of a furnished modular house for those on the verge or experiencing homelessness somewhere in the City as outlined in the letter provided
- Other amenities that upon staff review of the public records may have to be incorporated into the Development Agreement

Given that these contributions to date form the public hearing record it is suggested that these amenities are documented in the development agreement. As Community Amenities are voluntary the applicant can volunteer to contribute more if they desire to do so.

### Next Steps

Staff will work with the applicant to draft a Development Agreement which would form the staff report for consideration of third reading of Zoning Amendment Bylaw No.297s Lannan road.

**ATTACHMENTS:**

Attachment 1 January 6, 2020 Staff Report OCP Amendment Bylaw 2972 and Zoning Amendment Bylaw 2973 – Lannan Road

Attachment 2 February 18, 2020 Staff Report Third Reading Report OCP Amendment Bylaw 2972 and Zoning Amendment Bylaw 2973 – Lannan Road

Attachment 3 March 16, 2020 Staff Report Follow Up Report OCP Amendment Bylaw 2972 and Zoning Amendment Bylaw 2973

Prepared by: Marianne Wade, Director of Developments Services

Concurrence: Kate O’Connell, Acting City Manager



THE CORPORATION OF THE CITY OF COURTENAY

## STAFF REPORT

**To:** Council

**File No.:** 6480-20-1902 and 3360-20-1911

**From:** Chief Administrative Officer

**Date:** January 6, 2020

**Subject:** OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 – Lannan Road

### PURPOSE:

The purpose of this report is for Council to consider an Official Community Plan and Zoning Bylaw amendment application to change the land use designation and rezone the property legally described as Lot 1, District Lot 206, Comox District, Plan VIP76495 (Lannan Road). The proposed amendments will 1) designate the parcel "Mixed Use", 2) create a new CD1-J subsection of the CD-1 Zone, and 3) rezone the subject parcel and portions of an adjacent parcel to CD1-J.

### CAO RECOMMENDATIONS:

That based on the January 6, 2020 staff report entitled "OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 – Lannan Road." Council approve Option No. 1 and complete the following steps:

1. That Council give First and Second Reading of "OCP Amendment Bylaw No. 2972" to designate the subject property as "Mixed Use";
2. That Council give First and Second Reading of "Zoning Amendment Bylaw No. 2973" to create a new CD1-J subsection of the CD-1 Zone and rezone the area shown on the attached bylaw to CD1-J;
3. That Council direct staff to schedule and advertise a statutory Public Hearing with respect to the above referenced bylaws on January 20, 2020 at 5:00 p.m. in City Hall Council Chambers; and,
4. That Final Reading of the bylaws be withheld pending the registration of a Section 219 covenant registering a Phased Development Agreement on the subject property.

Respectfully submitted,

David Allen, BES, CLGEM, SCLGM  
Chief Administrative Officer

### BACKGROUND:

The subject property is 16.3ha (40.2ac.) in area and located on the edge of East Courtenay adjacent to the Comox Valley Regional District (CVRD) and the Crown Isle golf course/residential community. The subject property was annexed by the City in 2013 and has since remained vacant. Prior to annexation the parcel was logged in 2010 with limited tree cover remaining on the south edge.



Figure 1: Subject Property and Context

The Comox Valley Regional Growth Strategy (RGS) identifies the subject property as a “Settlement Expansion Area”. The plan was adopted in 2011, prior to the parcel being annexed into the City. As applied to the subject property, Settlement Expansion Areas are identified as lands which:

*“have the long-term potential to accommodate future growth subject to boundary extensions and the provision of publicly-owned water or sewer services, provided that appropriate phasing policies are established, new development does not detract from compact growth options within Municipal Areas and that infrastructure capacity is available and financially sustainable. Any growth in Settlement Expansion Areas will occur in a phased and orderly manner and will undergo a public planning process in order to determine the appropriate scale and form of development.”*

The City’s Official Community Plan (OCP) does not currently assign a land use designation to the subject property which has been the case since it was annexed. As a result, any development proposal would require an OCP amendment to designate the property prior to it being zoned. The surrounding area, within the City, is designated “Mixed Use” with the exception of one small area to the north which is “Public/Institutional” and “Parks” uses associated with a City water facility and potential future school site. The surrounding community, despite being a multi-phase, master planned development, is not subject to any local area plan.

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Since annexation the subject parcel has retained the CVRD “Rural Eight” (RU-8) zone. This zone permits large rural and agricultural lots and associated uses. The surrounding area, within the City, is zoned Comprehensive Development One Zone (CD-1), a zone which was created for the entire Crown Isle development when the community was first conceived in the early 1990s. This zone is broken into sub categories which correspond to different phases and areas within the overall development. Within the CVRD the adjacent lands are zoned Country Residential One (CR-1) which is intended for large lot, rural residential style development. The adjacent uses within the CVRD include an 18-hole par three golf course, manufactured home dwellings on small lots along Austin and Cypress Roads and larger single family homes and lots on Lannan Road.

Proposed is an amendment to the OCP and zoning bylaw to facilitate the future subdivision of the subject property to permit 330 residential units. The development will function as an extension of the adjacent Crown Isle community. The applicant’s plans for the property are summarized in **Schedule No. 1**. They seek to develop the property for residential purposes with a similar intensity and style found elsewhere in Crown Isle but with greater diversity of housing types, densities and improved building performance standards.

**DISCUSSION:**

The applicant has proposed designating the subject property “Mixed Use” for consistency with the rest of the Crown Isle community (see **Schedule No. 2** for two letters and one email describing the project in additional detail). This is a logical extension of the “Mixed Use” designation; however, the policy for this designation is brief and does not contain the detail or reflect many of the elements such as housing diversity and building performance promoted by the applicant (as detailed in **Schedule No. 1 and 2**).

Typically, across Western Canada, for large, multi-phased developments such as Crown Isle, high level elements such as density, unit composition, green space networks, transportations networks and other area specific policy are delineated through a Local Area Plan (or equivalent). In the Courtenay experience, “The Ridge” provides a local example where a Local Area Plan process (South Courtenay LAP) created area specific guidelines and policy which informed the layout, transportation network and green space networks for the community. This vision was, and continues to be, implemented through the subdivision process while land uses, housing forms and density were implemented when the overall community was rezoned.

This has not been the case with Crown Isle since it was initially proposed and approved in the early 1990s. As discussed, there is no Local Area Plan guiding the community’s phases of development. Instead, elements such as transportation network, green space network, and neighbourhood layout are dealt with incrementally at the subdivision approval level with limited, high level direction in the OCP. Further flexibility is then allotted by the CD-1 zone which provides many options for different types of land uses and the total number of units but does not prescribe the form of housing. For example, within one provision of the CD-1B zone a maximum of 670 units is allowed and these units can be either single family residential or duplexes or multi-residential dwellings.

Once zoned there is no policy, plan or any other power the City has to stipulate unit mix and limited powers through subdivision approval around elements such as transportation and green space connectivity and layout. Ensuring these elements are prescribed for the subject property and securing them through the rezoning process and Phased Development Agreement, is the key element of this bylaw amendment process. Ideally, this would be achieved through a Local Area Plan. As detailed below there is policy supporting this path. However, as an alternative, and recognizing that Crown Isle is substantially built-out, delineating and regulating these elements through a Phased Development Agreement is proposed.

### Land Uses, Housing Form, and Density

The applicant proposes a 330 unit, residential community. This was increased from the original proposal of 300 unit based on staff comments regarding the need to enhance the mix of unit types. To enable the proposed number of units, the applicant has proposed to rezone to a new CD-1J zone (see **Schedule No. 3** for the applicant’s proposed zone). The zone permits a range of residential land uses and continues the approach used for the rest of Crown Isle where there is a density limit of 330 units but the units can be any of the permitted uses (single residential dwelling, duplex dwelling, or multi-residential dwellings). A significant change, however, is that the applicant is committing to a cap on the maximum number of single family units at 122 out of the 330 units. In addition, for single family lots, the proposed zone also significantly decreases the minimum lot size to 400m<sup>2</sup> which is smaller than elsewhere in the community (most other areas have a minimum lot size of 465m<sup>2</sup>). Secondary suites will also be a permitted use in all of the proposed single family lots. Proposed limits on the number of single family lots and lot sizes are translated into the proposed zoning bylaw.



Figure 2: Conceptual Development Layout

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### *Trails and Parks*

As shown on Figure 2 there is a pathway proposed around the edge of the subject property (green dotted line) along with park areas. This pathway reflects a general future trail link identified through the subject property in both the Parks and Recreation Master Plan and the OCP Land Use Map. The trail provides an amenity for the development and the surrounding community and, based on the Parks and Recreation Master Plan, will eventually link with the network on Ryan Road. The conceptual park network also corresponds with much of the remaining tree cover enabling protection of this amenity. Staff recommend that the trail connection and green space network are secured as part of the rezoning process through a Phased Development Agreement. The applicant has also offered amenities in the form of contributions to the *Parks, Recreation, Culture and Senior's Facilities Amenity Reserve Fund* as well as improvements to the Park Dedication at 2600 Crown Isle Boulevard. Again staff recommend this offer is secured through a Phased Development Agreement.

### *Environmental Considerations*

There is a mapped wetland on the property which appears on CVRD mapping. This area was not logged in 2010 and remains treed. In support of this application, the applicant's biologist has provided a report assessing these areas (see **Schedule No. 4**). The report assesses the identified wetlands and concludes they are wetted areas, not wetlands and are not classified as a "stream" under the *Riparian Areas Regulation*. They do emphasize that these areas drain towards the headwaters of Brooklyn Creek and that the storm water management design for any development of the subject property needs to maintain this drainage pattern. This is discussed in additional detail below.

As part of the application process the proposal was circulated to concerned City departments and external agencies. Comox Valley Conservation Partnership has provided a letter in response (see **Schedule No. 5**). The applicant has updated the storm water management concept to reflect concerns expressed by the CVCP and Brooklyn Creek Stewardship Group. The applicant has met on-site with both of these stakeholders to review the development concept.

### *Storm water Management*

Storm water management is a key concern of any development of the subject property. Currently the majority of rain water runoff travels through drainage courses and into the Brooklyn Creek system in an unmanaged system which area residents have indicated is prone to seasonal flooding. The applicant proposes to detain storm water in a newly created storm water facility on property immediately south within the CVRD which the developer also owns.

This creates a jurisdictional issue as storm water within the City is controlled and regulated by the City. Within the CVRD, storm water is managed and controlled by the Ministry of Transportation. Conceptually, the storm water management plan makes sense, helps address environmental concerns and may help with downstream flooding issues. The applicant has accepted the risk that should the Ministry not permit the storm facilities in their jurisdiction, or the City not be agreeable to the terms of any agreement with the Ministry, then the storm facilities must move onto the subject property which will impact the conceptual layout and unit yield.

### *Building Performance Standards*

As detailed by the applicant in the two letters provided in **Schedule No. 2**, building performance standards such as being solar ready, units being built to Built Green Standards and the provision of car charging infrastructure will be required through the Phased Development Agreement. It is noteworthy that the City

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is currently in the process of implementing the Energy Step Code as a building requirement. Should this be approved it would override the proposed Built Green Standards.

#### *Amenity Contributions*

As part of the zoning process the developer has the option to offer amenity contributions to the City's *Parks, Recreation Culture and Senior's Facilities Amenity Reserve Fund* (detailed above), and the *Affordable Housing Amenity Reserve Fund*. The offer to the *Affordable Housing Amenity Reserve Fund* is outlined in **Schedule No. 2** and includes the sums in section 7.7(6)(c) of the OCP in addition to an offer of a modular housing unit to a local organization focussed on housing homeless people.

#### **Other Related Regulations**

##### ***Local Government Act – s.477 (3)***

The proposed OCP amendment has been reviewed in relation to the City's Financial Plan and the Regional Waste Management Plan. Staff have found the bylaw to be complementary to these plans.

#### *Phased Development Agreement*

The development's approval is subject to a Phased Development Agreement. The elements within this agreement are discussed above. Phased Development Agreements are adopted through bylaw which will happen subsequent to the OCP and Zoning Bylaw amendment process. As outlined and recommended, the OCP and Zoning bylaws will proceed through First and Second Readings and Public Hearing but prior to Final Readings the Phased Development Agreement process must be completed.

#### *Environmental Development Permit*

The development is subject to an environmental development permit concerning a buffer of a stream touching northeast edge of the subject property. A biologist's report and development permit will be required prior to any land development or subdivision within this area.

#### *Form and Character Development Permit*

Multi-family development and duplexes within the eventual development will be subject to a form and character development permit.

#### *Subdivision*

The development requires subdivision to create the new lots. New road and infrastructure requirements around site servicing and storm water management undergo detailed design and approval at this time.

#### *Tree Cutting Permit*

The applicant will require a tree cutting permit in advance of any tree removal on the property.

#### **FINANCIAL IMPLICATIONS:**

The development is subject to City and the Regional District Development Cost Charges.

#### **ADMINISTRATIVE IMPLICATIONS:**

Processing zoning bylaw amendments is a statutory component of the corporate work plan. Staff has spent 40 hours processing and reviewing this application. Should the proposed bylaws receive First and Second Readings, staff will spend an additional 20 hours in preparation for the public hearing, drafting and registration of a Phased Development Agreement and covenant, final reading of the bylaw, and updating the bylaws and maps.

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**ASSET MANAGEMENT IMPLICATIONS:**

As part of subdivision the City will inherit new roadway, park and other infrastructure built to current City standards. These will be incorporated to the City’s asset registers for ongoing maintenance.

**2019 – 2022 STRATEGIC PRIORITIES REFERENCE:**

- Communicate appropriately with our community in all decisions we make
- ▲■ Support actions to address Climate Change mitigation and adaptation
- ▲ Explore opportunities for Electric Vehicle Charging Stations
- ▲■ Identify and support opportunities for lower cost housing and advocate for senior government support
- ▲ Encourage and support housing diversity

The November 2019 Strategic Priorities Check-in also identified the following references under the “Next Council Priorities” subsection:

- ▲ Greenway Connectivity Study
- Housing Need Assessment

**OFFICIAL COMMUNITY PLAN REFERENCE:**

**Official Community Plan**

**3.1 Growth Management:**

3.1.2 Goals

1. provide for managed growth
2. ensure equitable taxation for services provided and received
3. support efficient infrastructure development
4. protect environmentally sensitive areas
5. support sustainable development practices

**4.4 Residential**

4.4.2 Goals

1. Optimize the use of existing lands in the City with a long term consideration to expand boundaries and protect adjoining lands from further development to meet the future needs of the City.
2. To encourage multi residential development in the Downtown area of the City, and in areas identified through the Local Area Planning process.

- 
3. Support the development of housing options for seniors.
  4. Ensure the provision and integration of special needs and affordable housing.
  5. Encourage housing opportunities and convenient community services for individuals having special housing requirements.
  6. Ensure new housing projects introduce innovative and creative design and streetscapes.
  7. Preserve the integrity and character of existing residential areas with any redevelopment proposal.
  8. Ensure all new development includes the provision of amenities including buffer areas along major roads, neighbourhood parks, sidewalks and trails, and public facilities.

#### 4.4.3 Policies

Crown Isle Crown Isle is a comprehensive development consisting of a golf course, residential, commercial and light industrial uses. This project started in 1990 and is governed by the comprehensive development zone in the Zoning Bylaw. It is timely to review the overall concept plan for this development and to maintain a degree of flexibility as originally envisioned. There is a need to review the existing provisions in the zoning of this development for existing and future residents and to bring the existing provisions in line with improvements introduced to the existing Official Community Plan and Zoning Bylaw.2596 The development projected could allow for up to 2784 residential units, golf course, hotel, motel, clubhouse, 124,486 m2 of commercial floor area

### 4.6 Parks and Open Space

#### 4.6.3 Goals

1. to continue to develop a strong system of community services, parks and recreation facilities which can reasonably be provided within the financial means of the municipality
4. to reinforce and enhance the recreational and environmental values of the natural and open space systems as a link in defining neighbourhood areas
5. to ensure that parks, both active and passive, are distributed throughout the community in an equitable manner
6. to continue to develop a strong community image through park development
8. to work with the Comox Valley Land Trust and other conservancy associations to identify and protect environmentally sensitive areas, wildlife areas, streams and riparian areas.

#### 4.6.4 Policies

6. The City will examine the possibilities of consolidating parkland dedication in order to achieve larger parcels of parkland where appropriate.
9. Future nature parks or ecological parks will be considered for possible acquisition or support on the basis of the following criteria:
  - representative of Courtenay’s natural diversity, wildlife or plant protection;
  - to protect wildlife and riparian habitat;
  - ability to support a variety of outdoor recreation activities including walking, cycling, swimming, picnicking, bird and wildlife watching;
  - presence of viewpoints and vista appreciation;
  - equitable distribution of open space to all parts of the City;

- current status in terms of ownership and zoning;
- opportunities for acquisition, including cost of the land, willingness of the owner to sell community interest in the area and availability of funding sources; and
- protection of donated land through park dedication and covenants.

11. Park dedication and development should occur in the first few phases of a development where applicable. By providing the park early, the future residents know what park amenities they are getting.

12. The majority of the park perimeter should be open to the street. This allows for increased visual enjoyment of the park. It also provides better visual security and reduces conflicts between park users and neighbours that back onto the park.

#### 4.6.5 Greenway Strategy

1. The City will require the integration of greenways and the inclusion of pedestrian walkways within any new subdivision and developments.

2. The City will require safe, continuous and convenient pedestrian routes that link residences to public walkways, transit, public facilities and parks and neighbourhood amenities as part of all subdivision.

3. The Greenway strategy, as outlined on Map #2 Long Range Plan, is designated to serve recreation, transportation and conservation functions by providing for connections between main destinations, parks and residential areas. The use of natural corridors such as waterways and ridges and the use of the road network, pedestrian walkways and greenway systems through the City will help achieve this objective.

The Greenways include the following:

- Crown Isle Greenway through Crown Isle from Anderton Road to Lerwick Road which shall be a minimum of 15 metres wide and from Waters Place to Mission Road shall have a minimum of 10 metres.

4. The City will require pedestrian connections at the end of cul-de-sacs and other roads to provide pedestrian connectivity throughout neighbourhoods.

6. Native vegetation should be preserved, protected and retained within the greenway areas and replaced where feasible. Where Greenways include estuarial, foreshore and riparian habitat areas, care will be taken to respect the foreshore and habitat features and to respond to the sensitivity of these areas.

8. Development of any greenway will depend on the availability of funds to develop and maintain the defined corridors with a right-of-way width of a minimum of 10 metres.

9. Dedication of buffer strips within properties prior to any rezoning of land and/or the use of covenants under Section 219 of the Land Title Act to provide for pedestrian trails and landscaped areas will be required in addition to the 5% parkland dedication requirement.

10. The City will work with other supporting agencies and interested community groups to promote and develop the Greenways Concept and to ensure co-ordination between jurisdictions.

11. Local Area Plans will be prepared for all new development areas in order to determine greenways, parks and applicable school sites. The appropriate mechanisms to acquire such lands will also be identified.

13. The City will incorporate a balanced approach in designing trails to include paved and natural trails and to consider safety and user compatibility for multi-use by all residents.

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## 4.10 Environment

### 4.10.2 Goals

1. To preserve and protect environmentally sensitive and unique natural areas, particularly areas along the rivers, streams, and shorelines.
2. To preserve and protect riparian areas.
3. To protect and enhance fish and wildlife habitats.
4. To protect the crucial hydrological functions of the area.
5. To protect residents and property from hazards which may be associated with such environmental conditions as steep slopes (greater than 30%), floodplains, unstable soils and fire hazard lands (urban/wildland interface).
6. To work with watershed and stream stewardship groups on environmental related matters.

### 4.10.4 Environmentally Sensitive Areas

- Environmentally Sensitive Areas (ESA) within the City include:
- watercourses including the sea, ponds, lakes, rivers, streams, natural drainage courses and wetlands
- riparian and wildlife habitat
- any significant geographical feature and are generally outlined on Map #6, Environmental Development Permit Areas

1. The City will protect ESA through the application of the following:-development permits-Tree Protection and Management Bylaw-acquisition/dedication of applicable lands-conservation covenants-joint ownership/management-increased buffer areas or leave strips-amenity provisions through zoning
2. The City will use the Comox-Strathcona Sensitive Habitat Atlas (3rd Edition 2004) and subsequent revisions as a tool to identify wetland and watercourse ESA's.
3. The City will also require the preparation of environmental reviews when considering new developments to determine the location, extent and features of a site and the necessary measures to be implemented to mitigate any environmental impact or rehabilitation opportunities.

### **REGIONAL GROWTH STRATEGY REFERENCE:**

The development proposal is consistent with the RGS Housing Goal to “ensure a diversity of affordable housing options to meet evolving regional demographics and needs” including:

#### **Objective 1-A: Locate housing close to existing services;**

1A-1 Based on RGS growth management strategy locate housing close to existing services and direct 90 percent of new, residential development to Core Settlement Areas.

1A-2 The focus of higher density and intensive developments shall be within the existing Municipal Areas. Within the Municipal Areas densification and intensification of development is required including infill and redevelopment.

1A-3 Identify specific Town Centres in Municipal Areas through the OCP review process. These Town Centres are to be developed as walkable and complete communities, providing for a range of

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housing types focusing on medium and high density housing, employment and commercial uses. There will be a minimum of one Town Centre in the City of Courtenay, one Town Centre in the Town of Comox and one Town Centre in the Village of Cumberland.

1A-6 Increase housing opportunities in existing residential areas in Core Settlement Areas by encouraging multi-family conversions, secondary suites, and small lot infill.

**Objective 1-B: Increase affordable housing options**

1B-2 Encourage residential multi-unit or multi-lot developments to contribute to affordable housing options including, but not limited to a range of unit sizes and types, lot sizes, multifamily or attached-unit buildings, rental units, and secondary suites. These contributions could take the form of land, cash, buildings or other such items as supported by the local governments.

**Objective 1-C: Develop and maintain a diverse, flexible housing stock.**

1C-1 Provide a diversity of housing types in the Municipal Areas using the following housing type targets for new development by 2030: These targets are for all Municipal Areas in aggregate.

- 40% Low Density Single unit residential, town homes, semi-detached, secondary suites, 4-24 units per hectare
- 30% Medium Density Low-rise multi-unit up to four storeys, 24-74 units per hectare
- 30% High Density Over four storey multi-units minimum, 74 units per hectare

1C-4 Encourage infill units and secondary suites in residential zones in the Core Settlement Areas.

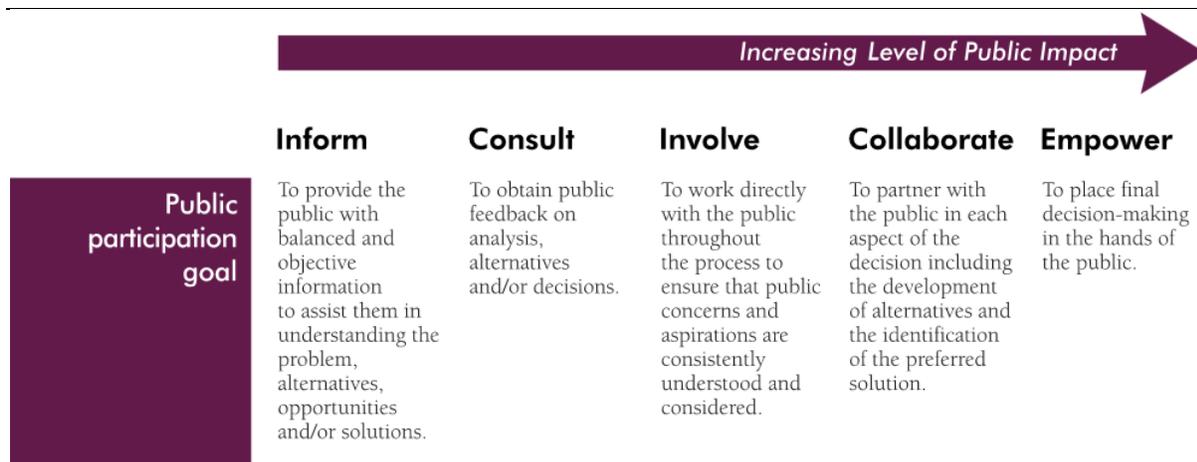
**Objective 1-D: Minimize the public costs of housing**

1D- 1 Direct the majority of new housing to areas that are or will be serviced through publicly owned water and sewer systems.

1D-4 Encourage green building design through green building standards for new residential development that include water and energy efficiency practices.

**CITIZEN/PUBLIC ENGAGEMENT:**

Staff will “Consult” the public based on the IAP2 Spectrum of Public Participation:



Should OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 receive First and Second Readings, a statutory public hearing will be held to obtain public feedback in accordance with the *Local Government Act*.

Prior to this application proceeding to Council, the applicant held a public information meeting on July 25, 2019 at the Crown Isle Resort Clubhouse. According to the information provided by the applicant, 58 people attended the meeting. All written comment sheets are included with the meeting summary in **Schedule No. 6**.

Section 475 of the *Local Government Act* requires the City to consider the consultation requirements for adoption, repeal or amendment of an OCP. Staff recommend the public information meeting held by the applicant and the public hearing are sufficient. Should Council desire additional consultation it would be appropriate to add it to the resolution.

**OPTIONS:**

**OPTION 1: (Recommended)**

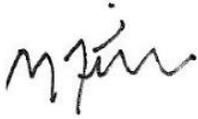
That based on the January 6, 2020 staff report entitled “OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 – Lannan Road.” Council approve Option No. 1 and complete the following steps:

1. That Council give First and Second Reading of “OCP Amendment Bylaw No. 2972” to designate the subject property as “Mixed Use”;
2. That Council give First and Second Reading of “Zoning Amendment Bylaw No. 2973” to create a new CD1-J subsection of the CD-1 Zone and rezone the area shown on the attached bylaw to CD1-J;
3. That Council direct staff to schedule and advertise a statutory Public Hearing with respect to the above referenced bylaws on January 20, 2020 at 5:00 p.m. in City Hall Council Chambers; and,
4. That Final Reading of the bylaws is withheld pending the registration of a Section 219 covenant registering a Phased Development Agreement on the subject property.

**OPTION 2:** That Council postpone consideration of Bylaws 2972 and 2973 with a request for more information.

**OPTION 3:** That Council not proceed with Bylaws 2972 and 2973.

Prepared by:



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Matthew Fitzgerald, RPP, MCIP  
Manager of Development Planning

Reviewed by:



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Ian Buck, RPP, MCIP  
Director of Development Services

*Attachments:*

1. *Schedule No. 1 – Applicant’s Project Description*
2. *Schedule No. 2 – Project Description and Rationale*
3. *Schedule No. 3 – Applicant’s proposed Zone*
4. *Schedule No. 4 – Biologist’s Report*
5. *Schedule No. 5 – Circulation Response from CVCP*
6. *Schedule No. 6 – Public Information Meeting Summary*
7. *Schedule No. 7 – Draft OCP Amendment Bylaw 2972*
8. *Schedule No. 8 – Draft Zoning Amendment Bylaw 2973*

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## Schedule No 1: Applicant's Project Description



Tel: (250) 703-5050    Toll Free: (888) 338-8439  
Fax: (250) 703-5051    info@crownisle.com

399 Clubhouse Drive, Courtenay, BC Canada V9N 9G3

October 7, 2019

City of Courtenay  
830 Cliffe Avenue  
Courtenay, B.C.  
V9N 2J7

**Attention: Ian Buck**

**RE: Extension of Crown Isle Mixed Use Plan to Lannan Annexation Lands**

We are pleased to summarize key features of the Lannan lands rezoning application, which is an innovative proposed 300-unit extension to the larger Crown Isle mixed-use community, one of Vancouver Island's premier destinations for live, work and play and a proud Courtenay icon for nearly 30 years.

The project is being developed by the Crown Isle planning team, and will carry Crown Isle's signature master planning into a new dimension for the Lannan site. The Lannan lands (Fig. 1 Location Plan) are immediately adjacent to townhomes and apartment units in the northeast quadrant of the Crown Isle community, so extending these higher density unit types into Lannan is a natural response to both evolving social and environmental needs, part of the Crown Isle vision for the 2020s.

The Lannan development concept has been carefully crafted to respond to emerging trends in the Courtenay residential market, and hence we seek to appeal to a wider range of housing consumers with a considered mix of housing types from townhomes to coach homes, smaller and larger single detached units, as well as duplexes and apartments intended to broaden the affordability and lifestyle choice matrix at Crown Isle.

Environmental integrity has always been a hallmark at Crown Isle and the Lannan lands are no exception. We have worked carefully with local conservation groups to respect the site's natural features, and we are pleased to be extending the continuous web of green space which the larger Crown Isle master planning has pioneered in Courtenay. Coordinated and extensive landscaping and planting within public and private spaces are integral to the Crown Isle image, and will be extended seamlessly into the Lannan site. Lannan pedestrian paths, for example, will help complete important links in the Courtenay Official Community Plan.

Rainwater design for the Lannan lands will similarly mesh with the integrated rainwater management plans of the entire Crown Isle site, a scale of water management and riparian

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planting unequalled by any other Courtenay development site. We will work with City staff on the feasibility of incorporating a revised Roadway design to introduce a new standard of bioswale planting, supporting downstream fish populations within and beyond Courtenay by filtering and channelling rainwater from the critical 90% of smaller, more frequent storm events. Rainwater management will be implemented using rainwater storage criteria designed specifically to meet the challenge of climate change, in accordance with recent changes to City-led design storm standards.

Development of the Lannan lands has been contemplated in City servicing plans, including the extension of the Greenwood and Hudson trunk sewers, whose construction funding is predicated on servicing projects such as the Lannan lands. Moving forward with the development on Lannan will be fiscally prudent, and result in a higher standard of effluent treatment through efficient utilization of the community treatment system, compared to if that same development were to occur on rural lots with septic field disposal within the Regional District.

While meeting our strict policy of quality design control, our Lannan homes will also all be solar-ready with EV stations being a requirement in all new multi-family developments, and the family of Crown Isle home builders will all be required to meet the Built Green standard of green building. Multi-family options at higher densities, friendlier to walkable community living will comprise more than half of the dwelling units in Lannan, a significant increase in density from adjacent neighbourhoods. At the same time there will be a transition of densities, respectful of neighbouring homes and vistas.

Crown Isle is proud to have served as a continuous site for employment in the range of 300 people annually for the last 30 years, and the Lannan development site will encourage that commitment to a vibrant community and local entrepreneurship to remain stable and hopefully growing as we expand into new market segments for both Crown Isle and Courtenay. We are excited by the opportunity and look forward to working with the Council and staff at Courtenay to fulfill the vision.

We seek your support for 1<sup>st</sup> and 2<sup>nd</sup> reading of the bylaws, so a formal public review process of our Lannan concept plans can begin. We believe this proposed rezoning fulfills the intent of Council when it supported bringing these lands into the City as a logical extension of the urban fabric of Courtenay.

Sincerely,



Rick Waldhaus, C.P.A. – G.G.A.  
CFO, Crown Isle Resort and Golf Community

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## Schedule No. 2: Project Description and Rationale



2019-09-03

Rick Waldhaus  
Silverado Land Corp.  
399 Clubhouse Drive  
Courtenay, BC. V9N 9G3

Re: Official Community Plan and Zoning Bylaw Amendment (Lannan Road)  
Lot 1, Plan VIP76495, DL 206, Comox Land District

Jorden Cook Associates  
2689 HARDY CRESCENT  
NORTH VANCOUVER, BC  
CANADA V7H 1K3

TEL. 604.831.9193  
[rccook@jordencook.com](mailto:rccook@jordencook.com)

The City of Courtenay Development Services Department, by letter of 2019-08-14, has asked for an expansion on the intent/project description of how the proposed Official Community Plan (OCP) amendment to 'Mixed Use' aligns with applicable vision statements found in Part 2: Vision and Strategy section of the Courtenay OCP. Further the City have asked for additional information on how the proposed zone (CD1-J) is consistent with the intended 'Mixed Use' designation.

### **A. OCP Amendment to 'Mixed Use'**

The Crown Isle area has been successfully developing as a premier Courtenay location for residential, hotel, restaurant, commercial retail and golf course development for nearly 30 years. It has developed under a Comprehensive Development zone intended for a mixture of uses.

The Lannan property abuts Crown Isle on its north and west boundary. Land to the east and south of the site remain within the regional district. Since the site was brought within the City of Courtenay, the intent of the owners has always been to develop these lands as an integrated part of the Crown Isle master planning, building on the success of a generation of high quality design and mixed-use development, which has proven itself over and over in the marketplace.

The Crown Isle site is designated as Mixed Use in the Courtenay OCP. Mixed Use is therefore the most logical designation based on this neighbouring adjacency as well as the intent of the Crown Isle owners to develop this site as a fully integrated part of the Crown Isle brand. The Lannan site is of similar physical character to the adjacent Crown Isle lands, and therefore suitable for extension of the Crown Isle Mixed Use. The road, utility and pedestrian path layouts and proposed uses reflect the integrated master plan approach. The proposed mix of uses is compatible with the adjacent Crown Isle sub-area, that is, townhouse, apartment, smaller and larger single family sites and park areas south of Britannia Way.

Section 2 of The City of Courtenay OCP Bylaw 2387, 2005, as amended to October 2, 2017, describes the City's Vision and Strategy. At its broadest, it speaks to a City that is 'unique and different from other communities' and a desire to become 'the most liveable community in the province'. The Crown Isle project, of which the Lannan lands are proposed as a natural extension, is one of the most uniquely successful long-term mixed-use communities on Vancouver Island, and indeed, in the entire province. It has shops and regionally significant

MARKET-BASED LAND USE AND SITE PLANNING, BUILT ON LONG-TERM ENVIRONMENTAL AND SOCIAL VALUES



retail employers. The golf course and associated resort development and hotel continues to be an important tourist draw and local employer. Over the years an increasing range of housing types, all with a very high standard of aesthetic design and landscaping, have made this an extremely desirable place for new residents in the Comox Valley to locate. The proximity to the new regional hospital only adds to this appeal. Crown Isle has been a willing and open partner to many community events and causes.

When the Vision speaks to:

- ‘an inclusive, open and caring community’,
- ‘commitment to continued excellence’,
- ‘the ability to ensure a high level of aesthetic and architectural design’,
- ‘a role to be the centre of commerce for the Comox Valley’,
- ‘an expanding parks, natural areas and greenways system’,
- ‘a strategy to lead in environmental protection’, and
- ‘commitment to serve youth and seniors’;

the Lannan site, as an integral extension of the Crown Isle project, including architectural and landscape design controls, mixes of housing types, and extension of important trail and park systems, is very supportive of the Vision contemplated by the City of Courtenay OCP.

Consistent with the City’s Strategy, the Lannan portion of Crown Isle will extend the Crown Isle reputation for ensuring the highest levels of aesthetic design, under the Crown Isle architectural and landscape design controls program. With a mix of apartment, townhouse, duplex and varying size of single family lots, the Lannan site will offer one of the most significant ranges of housing types at Crown Isle. Pedestrian paths proposed along the south and east edges of the property will integrate with other trails in the area to extend Crown Isle’s and Courtenay’s reputations as communities that are friendly to walkers and bicycle riders. It will complete an important ‘Desired Greenway Link’ on the OCP Land Use Plan.

The Lannan site development is expected to extend Courtenay’s attraction to retirees as an increasingly vital part of the character and economy. An important part of that appeal will come through encouraging a range of housing types and densities, including accessible ground-oriented units. The project will meet the objectives of the most current Sustainability Checklist of the City.

In sum the Lannan project, as a wholly compatible part of the larger Crown Isle Mixed Use development will support many of the critical Vision and Strategy elements in Courtenay’s adopted Official Community Plan. Inclusion of the Lannan site within the Crown Isle designation for Mixed Use will be an important component assuring both existing and prospective Crown Isle residents that the Lannan site will be developed consistent with the quality and standards which residents and the City have come to expect from Crown Isle over the last 30 years.

#### **B. Zoning Amendment to CD1-J**

Consistent with other residential sub-areas of the Crown Isle Comprehensive Development CD-1 Zone, the concept for CD1-J (Attachment 1 of the application) for the Lannan site is for a mix of dwelling unit types: duplex, multi-residential (townhouse, apartment), single family lots of varying size, and secondary suites.

*JCA-Silverado-Lannan OCP-R1.docx*

Page 2



This is consistent with the residential uses permitted in Crown Isle CD-1 sub-areas A, B, G, H and I, but also adds secondary suites as a permitted use, and a single-family lot minimum area of 400 m<sup>2</sup>, which is 15% lower than in other Crown Isle single-family sub-areas. The provision for secondary suites and smaller single-family lots will enhance affordability for this portion of Crown Isle, consistent with the Mixed Use OCP designation. The proposed zoning will be familiar for existing and prospective Crown Isle purchasers in the Lannan project area.

In sum, both the proposed zoning and OCP designations for the Lannan application area are entirely appropriate and supportable in our professional opinion for the site, including in the context of its surroundings.

Sincerely,  
Jordan Cook Associates

R. B. Cook, MCP, RPP, MLAI



2019-12-13

Mathew Fitzgerald, Manager of Development Planning  
The City of Courtenay

Re: Rezoning Application for Lot 1, Plan VIP76495, DL206, Comox Land District, and Block 72 Comox Land District

Staff have requested some additional information in support of the above rezoning application.

Jorden Cook Associates  
2689 HARDY CRESCENT  
NORTH VANCOUVER, BC  
CANADA V7H 1K3

TEL. 604.831.9193  
[jcook@jordencook.com](mailto:jcook@jordencook.com)

On the provision of multiple family housing within the proposed CD1-J zone, we note that an important constraint on new development has recently been lifted, that being support for extension of the Hudson and Greenwood trunk sanitary sewers. As a result Crown Isle was enabled to support a new 96-unit multi-family development on the north side of Ryan Road. We see similar demand emerging for the Lannan site. Even before a rezoning is considered by Council on the Lannan site, our understanding is that there is serious interest in 50 (fifty) units of multi-family on the site.

To further Council and staff's objectives to broaden the diversity of housing type in Courtenay in general, and Crown Isle, our client, Silverado Land Corp. is committed to a maximum of 122 single family units (consistent with the conceptual lot layout attached) out of a total of 330 units proposed for the site. We are prepared to continue with a 300 unit maximum as originally applied for, however, we are also willing to increase that by 10% to 330 units in response to staff discussions. We believe this modest increase in overall density of the proposal is consistent with the presentation and public responses at the public information meeting, in particular our commitment to 2-storey townhouse units adjacent to Britannia Place, while also adding to the housing affordability options for the site consistent with recent Council goals. With these commitments we are confident this site will mark a significant shift to multi-family and small-lot options for this edge of the Courtenay community. At the same time we remain cognizant of the desire of the Lannan site neighbours for transitions in building height and density, as reflected in the comments at the public information meeting.

We have reviewed the City website and OCP for direction in an adopted bylaw or policy for contributions to the Parks, Recreation, Culture and Senior's Facilities Amenity Reserve Fund (Parks Amenity Fund) or Affordable Housing Amenity Reserve Fund (Housing Amenity Fund). Section 7.7 of the OCP bylaw provides Council's direction. Our client is committed to follow the contribution policies adopted by Council in the OCP for the Parks Amenity Fund and Housing Amenity Funds. We also note in accordance the City of Courtenay Affordable Housing Policy, the CD1-J zone proposes secondary suites as a permitted use, a use which Crown Isle supports for inclusion in these lands, and for which there were no objections voiced at the public information meeting. In lieu of a Housing Amenity Fund cash contribution, and subject to City approval, Crown Isle will also explore an opportunity to work with the Dawn-to-Dawn Action on Homelessness Society, so these funds could be put to immediate constructive use on affordable housing for the homeless.



We are pleased to commit to all of the single family units being solar-ready and roughed in for electric vehicle(EV) charging in the garage, and that multi-family projects will be provided with EV stations. All builders on the Lannan site will be required to be Built-Green Certified.

The recent park dedicated at 2600 Crown Isle Drive will be irrigated and hydroseeded, with tree planting and benches added by the Crown Isle workforce, to enable this park area to be immediately useable by all Courtenay citizens. We would appreciate credit for the cost of these works, if they are considered Parks Amenity Fund or DCC amenities.

Approximately 3.7 acres of the 40-acre Lot 1 site is shown on the Conceptual Lot Layout for park use. The exact area will be confirmed by survey through the subdivision process, similar to other areas of the Crown Isle site. At time of subdivision, the City may wish to redesignate the finalized park parcel areas as PA-2 zoning, or they may leave these sites in the CD1-J zone totally at the City's discretion.

The Conceptual Lot Layout also illustrates the approximate location of a multi-use path which is fully consistent with the Desired Greenway Link shown on the City of Courtenay adopted Official Community Plan Land Use Plan map (see excerpt below). The greenway provides a primary off-street active transportation connection, supplementing the standard sidewalk connections within the local street network to be constructed at subdivision. Our client is committed to constructing the greenway path network to City standards within one year of registration of a subdivision to enable early use of this OCP-designated link by all Courtenay citizens.

Sincerely,  
Jordan Cook Associates

R. B. Cook, MCP, RPP, MLAI

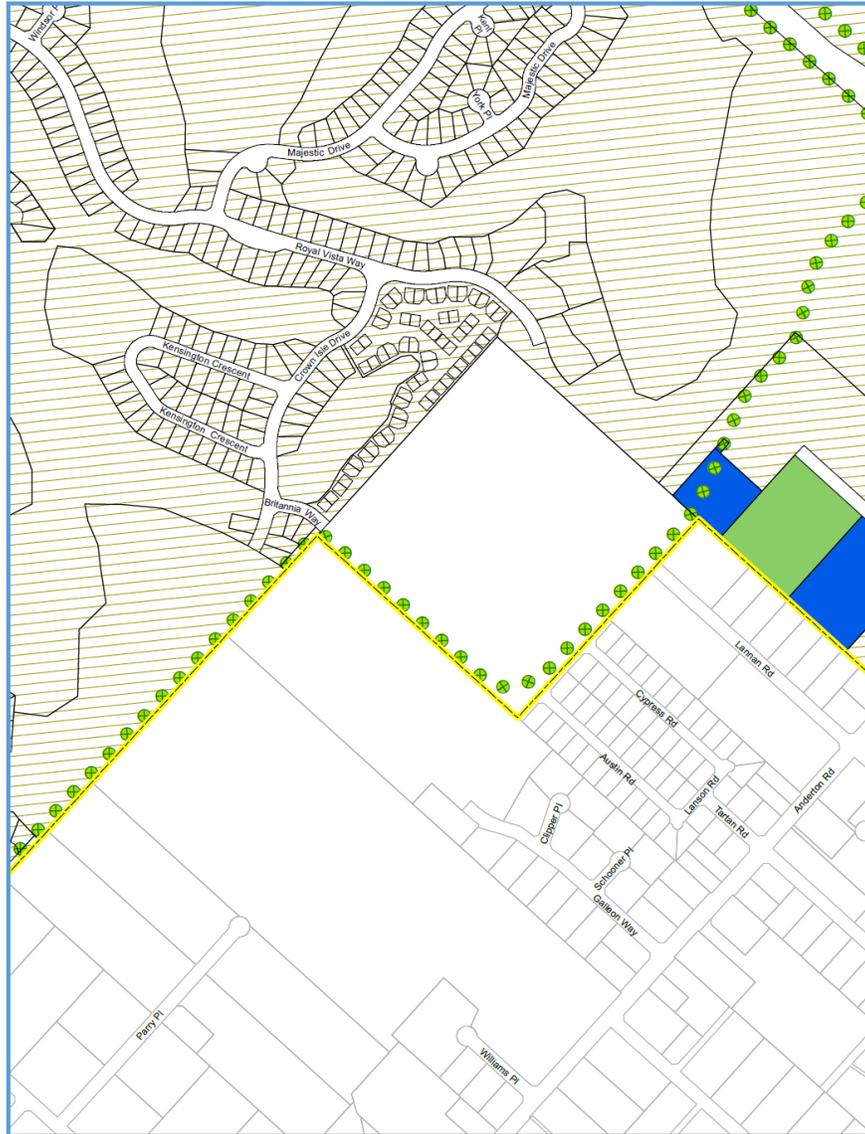


Figure 1: Desired Greenway Links per Courtenay OCP



Figure 2: Conceptual Lot Layout - Lannan Lands



Tue 12/17/2019 11:08 AM

Rick Waldhaus <rwaldhaus@crownsle.ca>

Fwd: Message from "RNP002673C8511E"

To Fitzgerald, Matthew; Buck, Ian

Message  20191217105839014.pdf (19 KB)

Action Items

+ Get more apps

Hi Matthew and Ian.

Further to our discussion on affordable housing amenities, in addition to the contribution to the Affordable Housing Amenity Reserve Fund defined in the OCP, we will provide/donate one Unit B Affordable Housing unit to Dawn to Dawn, Action on Homelessness Society, for which a specification sheet has been attached.

Please contact me at your earliest convenience today as we want to wrap this up today in order to have 1st and 2nd reading on January 6th.

Thanks,

Rick W.

DAWN TO DAWN  
AFFORDABLE HOUSING UNIT "B"  
SPECIFICATIONS

- 20' long X 8' 6" wide x 9' 6" high unit
- Spray foam insulation
- 10 gallon hot water tank
- 2 ventilation fans
- Includes bedroom, kitchen and bathroom
- Varnished wooden walls and ceiling
- Linoleum flooring
- Arborite kitchen cabinets and countertops
- Built in eating table
- Kitchen includes refrigerator, double sink and induction electric hotplate
- Baseboard electric heat
- Bathroom includes fiberglass standup shower and low flush toilet

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**Schedule No. 3: Applicant’s Proposed Zone (December 2019)**

“SCHEDULE 1”

ZONING AMENDMENT

1. Amend “Permitted Uses” Section 8.32.2 to add new Area J with the following uses:

- *single residential* dwellings
- *duplex* dwellings
- *multi-residential* dwellings
- *secondary suites*
- *accessory* buildings and structures
- *boarding*
- *home occupation*

2. Amend “Densities” Section 8.32.3 to add new Area J with the following densities:

- Approximately 330 *single residential, duplex and multi-residential* dwellings.

3. Amend “Density – General Regulations” Section 8.32.4(3) to add:

- (e) Properties within Area J

4. Amend “Lot Coverage” Section 8.32.5 to add:

- (3) Area J 50%

5. Amend “Minimum Lot Sizes” Section 8.32.6 to add new Area J with the following minimum lot size: 400 m<sup>2</sup>

6. Amend “Setbacks” Section 8.32.9 to add an additional paragraph defining the yard setbacks for the newly created Area J as follows:

- Single Family Front Yard: 6.0 m
- Single Family Rear Yard: 6.0 m
- Single Family Side Yards: 1.5 m
- Single Family Exterior Side Yard: 3.0 m
- Duplex Front Yard: 6.0 m
- Duplex Rear Yard: 6.0 m
- Duplex Side Yard: 1.5 m
- Duplex Exterior Side Yard: 3.0 m
- Multi Residential Front Yard: 6.0 m
  
- Multi Residential Rear Yard: 6.0 m
- Multi Residential Side Yard: 4.5 m
- Multi Residential Exterior Side Yard: 4.5 m

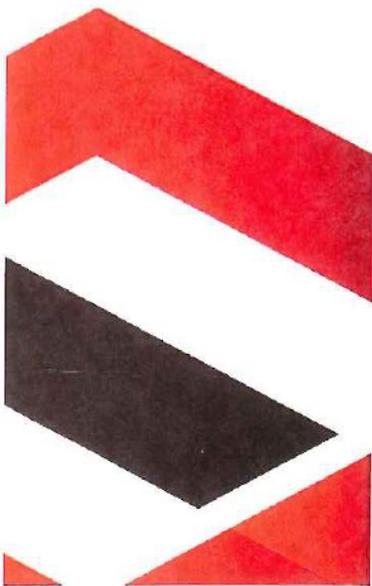
**Schedule No. 4: Biologist's Report**



May 14, 2019

**Lannan Development Site  
Wetland Assessment  
Britannia Way, Courtenay**

Walter Ernst, RPF (#4071), ISA Certified Arborist – Municipal Specialist (PN-7288AM), Certified Tree Risk Assessor, PMP



PROFESSIONALLY RESOURCEFUL

**Introduction:**

An assessment of wetter sites (within a strip of timber) associated with the Lannan development site was requested by Cindy Hannah (RPBio) of Strategic Natural Resource Consultants (SNRC), with the objective being to determine if these areas were associated with a wetland type or if they were seasonally wet sites associated with drainages in the area. This would determine whether an RAR was required for a wetland feature. On August 30, 2017, Walter Ernst (RPF, Cert. Arb.) of Strategic Natural Resource Consultants (SNRC) carried out the wetland assessment.

**Methodology:**

As part of the assessment, three ecological plots were conducted over the timbered site. Within each plot, the following details were noted such as ecological information (biogeoclimatic subzone (BEC), site series), general stand types, ground vegetation, soil characteristics, previous stand disturbances, drainage patterns, and overall site conditions through the area. Outside of the plots, the area was ground-truthed and typed / mapped accordingly.

**Site Description:**

Based on provincial biogeoclimatic (BEC) zone mapping, the project area is located within the Very Dry Maritime Coastal Western Hemlock subzone (CWHxm). This subzone variant is typified by warm, dry summers and moist, mild winters with relatively little snowfall. Growing seasons are typically long with potential water deficits on zonal sites. During the assessment of the wet site, the following two strata were observed:

**Stratum 1 – 3.3 hectares (includes Plot 2):**

The site series classification consists of a 05 (14/15) complex. The 05 is associated with moderately well to well drained raised sites. The 14 and 15 sites are associated with small scattered pockets of strongly fluctuating water table sites. Soil moisture is predominantly fresh but ranges from fresh to wet, and soil nutrient level is rich. The ground is flat to very gently sloping (0-5% grades). The site consists of a second growth mixed-wood stand type. The site was previously harvested, regenerated naturally and has fire history evidence (e.g. fire scarring). Stand structure is semi-open (crown closure is 45-75%). Vegetation is dominated by sword fern, trailing blackberry, and slough sedge with minor secondary components of salmonberry, bracken fern, dull Oregon grape, red huckleberry, and prickly rose. Soils were moderately drained overall with localized imperfect drainage. Soil depth was 80cm+, with soils consisting of SiL texture, low coarse fragments (5-20%), and has a moder-mull humus. Refer to Figure 1 for a photo of this site.





Figure 1: Photo of Stratum 1 (CWHxm 05 (14/15) site series).

**Stratum 2 – 0.6 hectares (includes Plot 3):**

The site series classification consists of an 01/03 (drier / rockier) complex. Soil moisture is slightly dry, and soil nutrient level is medium. The ground is flat to very gently sloping (0-5% grades). The timber within this site is dominated by second growth conifers. The site was previously harvested, regenerated naturally and has fire history evidence (e.g. fire scarring). Stand structure is closed to semi-open (crown closure is 60-80%). Vegetation is dominated by salal, dull Oregon grape, and trailing blackberry with minor secondary components of red huckleberry, bracken fern, and sword fern. Soils were well drained. Soil depth was 60-80cm+, with soils consisting of SiL texture, moderate coarse fragments (20-45%), and has a mor humus. Refer to Figure 2 for a photo of this site.



Figure 2: Photo of Stratum 2 (CWHxm 01/03 site series).

**Stratum 3 – 0.6 hectares (includes Plot 1):**

The site series classification consists of a 14/15 complex. The 14 and 15 sites are associated with strongly fluctuating water table sites. Soil moisture ranges from moist to wet, and soil nutrient level is rich to very rich. The ground is flat to very gently sloping (0-5% grades). The timber within this site is dominated by second growth deciduous trees with a minor conifer component. Stand structure is open (crown closure is 15-35%). Vegetation is dominated by slough sedge and trailing blackberry with minor secondary components of salmonberry, bracken fern, sword fern, Pacific crab apple and Pacific



ninebark. Soils were imperfectly drained. Soil depth was 30-60cm, with soils consisting of SiCL to SiL texture, nil coarse fragments, and has a moder-mull humus. The soil moisture was noted to be very dry when I visited the site; however, judging by the Pacific reed grass concentrations the site is more than likely wetter over the winter months. Refer to Figure 3 for a photo of this site.



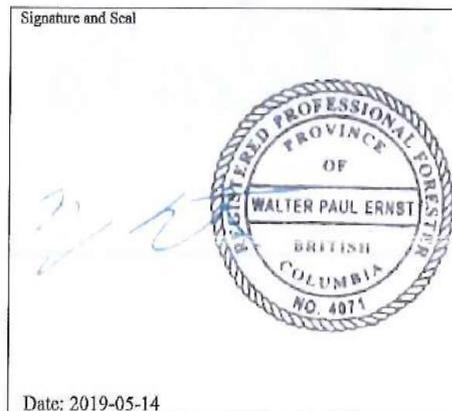
Figure 3: Photo of Stratum 3 (CWHxm 14/15 site series).

Refer to Appendix I for a map showing Stratum 1 to 3 and Appendix II for the plot data associated with Plots 1 to 3.

**Results / Conclusions:**

Based on the field assessment and review of the Wetlands of BC handbook, it was determined that the wet sites (Stratum 3 and small pockets within Stratum 1) did not fit any of the wetland types (bogs, marshes, fens, forested / tall shrub swamp, or floodplain types). It was determined that the wet areas most represented sites with strongly fluctuating water-tables associated with the 14 (Western red cedar – black twinberry) and 15 (Western red cedar – slough sedge) site series.

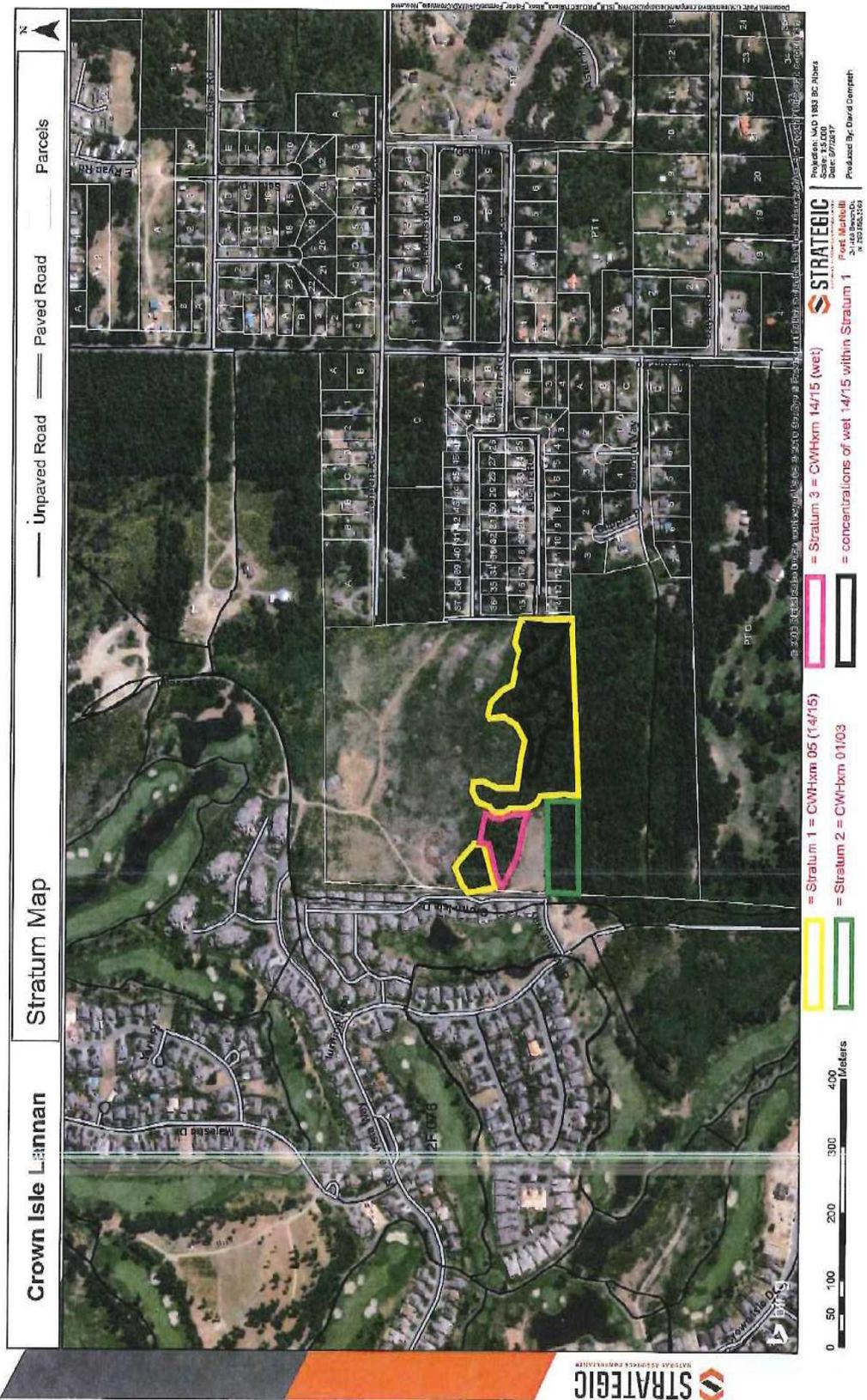
**Field work and report completed by:** Walter Ernst, RPF (#4071), ISA Certified Arborist – Municipal Specialist (PN-7288AM), Certified Tree Risk Assessor, and PMP.

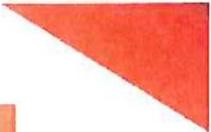




**Appendix I – Lannan Development Stratum Map**







**Appendix 2 – Lannan Development Stratum Plot Data**



**SP Plot Card (Coast Region):**

**Project:** Lannan Development RAR Wetland Assessment  
**Licensee:** Crown Isle  
**Surveyor:** Walter Ernst, RPF  
**Date:** 2017-08-29  
**Location:** Britannia Rd, Courtenay  
**Plot Number:** 3  
**Stratum:** 2

Topographic Features:	
Slope Position:	Level
Slope Shape:	Straight
Slope Uniformity:	long uniform
Gullies (Y / N)	N
Slope %:	0-5
Aspect:	Flat

Ecology:			
BEC Subzone:	CWHxm		
SMR:	2-3		
SNR:	C		
Site Series:	1	2	3
Type:	01	03	
%:	80%	20%	

Stand Characteristics:	Value	
Old growth (OG) / Second Growth (SG) / Mixed	SG	Conifer
Stand Structure:	Closed to semi-open	
Stand History:	Logged/ Natural/Fire history	
Coarse Woody Debris	L-M	
Snags / Wildlife Tree (approx. density)	0-50	
Understory Regen (Spp. / Dist.)	Low amount	
Existing Windthrow (L, M, or H)	L	
Approximate Age	60-80	
Crown Closure % (CC%)	60-80	
Height range	30	
DBH Range	20-70	

Indicator Plants:	Species	Moisture Index	Nutrient Index	%
1	GASH - Salal	0	1	20%
2	POMU - Sword Fern	0	3	5%
3	PTAQ - Bracken Fern	0	0	3%
4	RUUR - Trailing blackberry	3	2	20%
5	MANE - Dull Oregon Grape	3	2	15%
6	VAPA - Red Huckleberry	0	1	10%
<b>Average:</b>		1.0	1.5	

Soil Characteristics:	Value	Comments
Texture:	SIL	
Colour:	gray	
CFC:	0	
Drainage:	Well	
Restricting Layer	Glacial till	
Humus Form Type:	Mor	
Rooting Depth (cm):	60-80 (avg 70)	
LFH:	20	
Bm horizon	50	
<b>Total Depth:</b>	<b>70</b>	

**SP Plot Card (Coast Region):**

**Project:** Lannan Development RAR Wetland Assessment  
**Licensee:** Crown Isle  
**Surveyor:** Walter Ernst, RPF  
**Date:** 2017-08-29  
**Location:** Britannia Rd, Courtenay  
**Plot Number:** 2  
**Stratum:** 1

Topographic Features:	
Slope Position:	Level
Slope Shape:	Straight
Slope Uniformity:	long uniform
Gullies (Y / N)	N
Slope %:	0-5
Aspect:	Flat

Ecology:			
BEC Subzone:	CWHxm		
SMR:	4-(7I)		
SNR:	D		
Site Series:	1	2	3
Type:	05	14	15
%:	80%	10%	10%

Stand Characteristics:	Value	
Old growth (OG) / Second Growth (SG) / Mixad	SG	Mixed-wood
Stand Structure:	Semi-open	
Stand History:	Logged/ Natural/Fire history	
Coarse Woody Debris	L-M	
Snags / Wildlife Tree (approx. density)	0-50	
Understory Regen (Spp. / Dist.)	Low amount	
Existing Windthrow (L, M, or H)	L-M	
Approximate Age	60-80	
Crown Closure % (CC%)	45-70	
Height range	30-35	
DBH Range	20-100	

Indicator Plants:	Species	Moisture Index	Nutrient Index	%
1	CAOB - Slough Sedge	6	3	25%
2	POMU - Sword Fern	0	3	85%
3	RUSP - Salmonberry	5	3	3%
4	PTAQ - Bracken Fern	0	0	3%
5	RUUR - Trailing blackberry	3	2	30%
6	MANE - Dull Oregon Grape	3	2	5%
7	VAPA - Red Huckleberry	0	1	5%
8	ROAC - Prickly Rose	3	2	5%
<b>Average:</b>		2.5	2.0	

Soil Characteristics:	Comments
Texture:	Small pockets of seasonally wet sites scattered within this area. Dry right now with extreme drought but have water tables at wetter times of year. Does not fit any of wetland classes.
Colour:	
CFC:	
Drainage:	
Restricting Layer	
Humus Form Type:	
Rooting Depth (cm):	
LFH:	
Bm horizon	
<b>Total Depth:</b>	

**SP Plot Card (Coast Region):**

**Project:** Lannan Development RAR Wetland Assessment  
**Licensee:** Crown Isle  
**Surveyor:** Walter Ernst, RPF  
**Date:** 2017-08-29  
**Location:** Britannia Rd, Courtenay  
**Plot Number:** 1  
**Stratum:** 3

Topographic Features:	
Slope Position:	Level
Slope Shape:	Straight
Slope Uniformity:	long uniform
Gullies (Y / N)	N
Slope %:	0-5
Aspect:	Flat

Ecology:			
BFC Subzone:	CWH1m		
SMR:	6f to 7f		
SNR:	D-E		
Site Series:	1	2	3
Type:	14	15	
%:	50%	50%	

Stand Characteristics:	Value	
Old growth (OG) / Second Growth (SG) / Mixed	SG	Deciduous leading (minor conifers)
Stand Structure:	Open	
Stand History:		
Coarse Woody Debris	M	
Snags / Wildlife Tree (approx. density)	0-50	
Existing Windthrow (L, M, or H)	M	
Approximate Age	30-45	
Crown Closure % (CC%)	15-35	
Height range	30-35	
DBH Range	10-35	

Indicator Plants:	Species	Moisture Index	Nutrient Index	%
1	CAOB - Slough Sedge	6	3	85%
2	POMU - Sword Fern	0	3	5%
3	RUSP - Salmonberry	5	3	5%
4	PTAQ - Bracken Fern	0	0	2%
5	PHCA - Pacific Ninebark	5	3	5%
6	MAFU - Pacific Crab Apple	6	3	5%
7	RUUR - Trailing blackberry	3	2	45%
<b>Average:</b>		3.6	2.4	

Soil Characteristics:		Comments
Texture:	SICL	SICL to SIL. Strong seasonally fluctuating water table. Dry right now with extreme drought but has water table at wetter times of year. Does not fit any of wetland classes.
Colour:	gray	
CFC:	0	
Drainage:	Imperfect	
Restricting Layer	Glacial till	
Humus Form Type:	Moder-Mull	
Rooting Depth (cm):	30-60 (avg 40)	
LFH:	10	
Bm horizon	30	
<b>Total Depth:</b>	<b>40</b>	



**Date:** October 18, 2017

**To:** Rick Waldhaus, Silverado Land Corp  
399 Clubhouse Drive  
Courtenay, BC V9W 9G3

**From:** Cindy Hannah, RPBio  
Strategic Natural Resource Consultants  
321-1180 Ironwood Street  
Campbell River, BC V9W 5P7

**Subject:** Overview Environmental Assessment of the Lannan Development Property

**Background**

Strategic Natural Resource Consultants (SNRC) was retained to conduct an overview environmental assessment of the proposed Lannan development property at Crown Isle. The overall purpose of the assessment was to locate any environmental features that would need to be considered in future development on the property and to provide recommendations for any additional assessments that may be required. The focus of the assessment was to locate watercourses as any streams or waterways on the property may require additional assessments under the Riparian Areas Regulation (RAR). This overview assessment was conducted for planning purposes in order to design a proposed development plan for the site.

The assessment was conducted on June 8, 2017 by Cindy Hannah, RPBio and Stephen Johnston, BIT of SNRC. The weather was overcast with showers. An additional assessment was conducted on October 13 to determine connectivity of the identified ditches.

**Site Description**

The proposed property is located off of Britannia Way in Courtenay BC (Figure 1). The property is approximately 16.5ha in size and has been mostly cleared of vegetation. There is an approximately 4ha area that is forested at the southern portion of the property. There are several gravel roads on the property.

**Observations**

An assessment of the property located wet areas within the forested area of the property. A short ditch was located along the east property boundary and there is a ditch/stream off the northeast corner of the property that drains from stormwater ponds on the golf course.



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*Silverado Land Corp – Lannan Development Environmental Assessment*

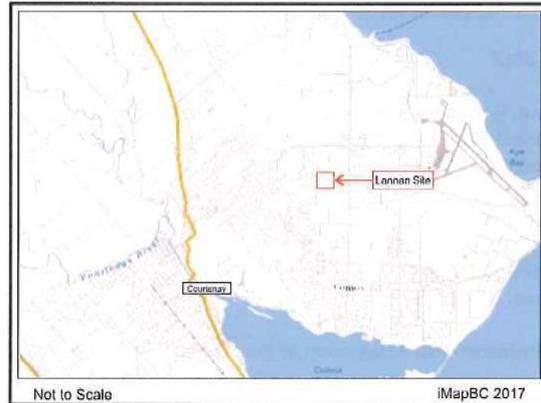


Figure 1. Area map showing location of assessment area.

Wet Areas within Forested Area

There are two wet seepage areas within the forested area of the property. These areas lack defined channels with scour or mineral alluvium and are not streams as defined under the Riparian Areas Regulation (RAR). These seepage areas source from the property with no significant headwaters. They were mostly dry at the time of the assessment. They drain towards the headwaters of Brooklyn Creek. The seepage areas have organic bottoms with vegetation that consists predominantly of sedges, sword fern and salmonberry (Photos 1 and 2). A site visit on August 22, 2017 with Bruce Nidle, RPBio of PGL, was conducted for peer review. It was mutually decided that the seepage areas do not meet the definition of a stream under the Riparian Areas Regulation. As these areas are wet in the winter (as evidenced by the presence of sedges), it was recommended to have the areas assessed by a QEP to determine if they would be considered wetlands under the RAR. Walter Ernst, RPF of SNRC, conducted the assessment and determined that these wet areas are not true wetlands, but have fluctuating water tables<sup>1</sup>.

The RAR defines a stream “as any watercourse – natural or human-made – that provides fish habitat that contains water of a perennial or seasonal basis, is scoured by water or contains observable deposits of mineral alluvium, or has a continuous channel bed...”<sup>2</sup> This seepage area is not scoured by water, does not contain mineral alluvium and does not have a continuous channel bed.

East Ditch

There is an approximately 85m long ditch along the eastern property boundary north of the end of Austin Road. It is a small, shallow, seasonal ditch with no significant headwaters. There was shallow water at the time of the assessment (Photo 3). The ditch dissipates in a low area south of Austin Road (Photo 4). There is no connection to fish bearing water and a RAR is not required for this small ditch.

<sup>1</sup> SNRC. Lannan Development Site, Wetland Assessment, Britannia Way Courtenay. 2017.

<sup>2</sup> Ministry of Water, Land and Air Protection. Riparian Areas Regulation Assessment Methodology. 2006. P.13



***Silverado Land Corp – Lannan Development Environmental Assessment***

**Northeast Corner Drainage**

There is a drainage located on the adjacent property off the northeast corner in the vicinity of the water tower (Photo 5). It is approximately 2m wide with an organic bottom that drains from the ponds to the northwest. There are sedges throughout, but no scoured channel and it drains into two stormwater culverts (Photo 6). The ditch is not located on the property, but further assessment would be required to determine connectivity to fish prior to development plans being designed.

**Conclusions and Recommendations**

The wet seepage areas within the forested portion of the property are not defined as streams under the Riparian Areas Regulation. It should be noted that these seepage areas drain towards the headwaters of Brooklyn Creek which is a known fish bearing stream. Any development designs should maintain this drainage pattern. Any development in these areas should be conducted during favorable weather when the seepages are dry to minimize the risk of downslope sedimentation.

The east ditch dissipates and does not connect directly to fish bearing water and an RAR is not required for this small ditch.

The waterway to the northeast of the property will require further assessment to determine if an RAR assessment is triggered. Should an RAR assessment be required, the assessment will determine if it is a stream or a ditch to determine the appropriate SPEA. Although the waterway is not on the property, the setback, if required, may extend onto the property. If the waterway is a stream it would require a 10m wide SPEA. If it is defined as a ditch and not as a stream the setback would be approximately 6m wide for a fish bearing ditch, or 2m wide for a non-fish bearing ditch.

Please feel free to contact me at 250-616-3758 or by email at [channah@snrc.ca](mailto:channah@snrc.ca) if you have any questions.



Cindy Hannah, RPBio  
Strategic Natural Resource Consultants Inc.



**COPY**  
**Original signed and sealed on file**



*Silverado Land Corp – Lannan Development Environmental Assessment*



Photo 1: The forested portion of the property has two seepage areas. They have organic bottoms with sedges.



Photo 2: The forested portion of the property has two seepage areas. They have organic bottoms with sedges.



Photo 3: There is a short ditch along the east property line north of the end of Austin Road.



Photo 4: The ditch dissipates south of Austin Road and does not connect to fish bearing water.



Photo 5: There is a ditch/stream off of the northeast corner of the property.

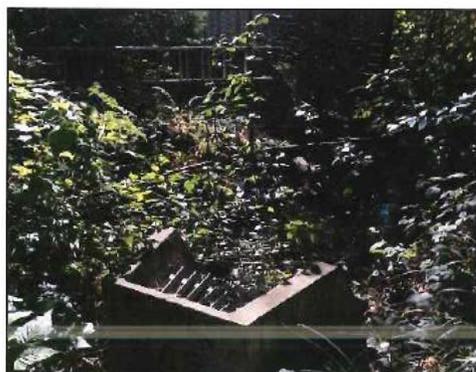


Photo 6: There is a drainage on the property to the north that drains into two storm inlets. One culvert is located beyond the ladder in the picture.



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## Schedule No. 5: Circulation Response from CVCP



Erin Nowak  
Program Coordinator  
(250) 203-5644  
Email: erin@cvlandtrust.ca

**Mailing Address**  
P.O. Box 3462  
Courtenay, BC V9N 5N5

**Office:**  
2356a Rosewall Crescent  
Courtenay, BC, V9N 8R9

**Partner Organizations**

Comox Valley Land Trust  
Project Watershed  
Millard-Piercy Watershed Stewards  
Morrison Creek Streamkeepers  
Beaufort Watershed Stewards  
Comox Valley Nature  
Comox Valley Water Watch Coalition  
Brooklyn Creek Watershed Society  
Perseverance Creek Streamkeepers  
Cumberland Community Forest  
Society  
Mack Laing Heritage Society

**Support Organizations**

CV Sustainability Project  
CV Council of Canadians  
Friends of Comox Lazo Forest Society  
Forbidden Plateau Road Residents  
Association  
Black Creek Streamkeepers  
Saratoga and Miracle Beach Residents  
Association  
Arden Area Residents Association  
Friends of Strathcona Park  
Merville Area Resident's & Ratepayers  
Association  
VI Whitewater Paddling Association  
Mountaineer Avian Rescue Society  
Macdonald Wood Park Society  
Tsolum River Restoration Society

**Funding Partners**

Real Estate Foundation of B.C.  
Community Gaming Grant  
RBC Blue Water Fund  
Comox Valley Regional District  
City of Courtenay  
Village of Cumberland

[www.cvlandtrust.ca/cvcp/](http://www.cvlandtrust.ca/cvcp/)

Date: Oct 23, 2019

**Re: Letter of Support, Planning Referral Lannan Rd/333 Clubhouse Dr**

To: Ian Buck, City of Courtenay, Director of Development Services.

Recently, the Comox Valley Conservation Partnership (CVCP) met with Rick Waldhaus (Chief Financial Officer/Crown Isle) and Jason Andrew (Director of Real Estates/Crown Isle) in response to our concerns outlined to the City of Courtenay (Sept 3<sup>rd</sup>, 2019) regarding the Lannan Rd/333 Clubhouse Dr proposal.

We were pleased to learn that Crown Isle has since taken steps to improve communications with the local Brooklyn Creek Streamkeepers and addressed their concerns separately as well in this process.

The CVCP endorses the voluntary action of Crown Isle to relocate a proposed stormwater detention pond to a higher developed zone of the proposal as a result of meeting with Brooklyn Creek Streamkeepers. Therefore, allowing a higher percentage of unaltered, natural landscape to act as a natural infrastructure. In our meeting, the CVCP also encouraged Crown Isle to follow the 2019 consultant's Wetlands Assessment in regards to the site's hydrology and pursue additional riparian area recommendations.

The CVCP feels at this point, our meeting and the collaborative progress between Crown Isle, Brooklyn Creek Streamkeepers and CVCP on this proposal have alleviated our primary concerns.

We appreciate time of the Crown Isle team and the opportunity to address our concerns in person. As well, we (CVCP) look forward to working in partnership with Crown Isle on the future development projects.

Sincerely,

Erin Nowak  
Program Coordinator  
Comox Valley Conservation Partnership

---

**Schedule No. 6 – Public Information Meeting Summary**



Tel: (250) 703-5050 Toll Free: (888) 338-8439  
Fax: (250) 703-5051 info@crownisle.com  
399 Clubhouse Drive, Courtenay, BC Canada V9N 9G3

August 1, 2019

City of Courtenay  
830 Cliffe Avenue  
Courtenay, B.C.  
V9N 2J7

**Attention: Ian Buck/Matthew Fitzgerald**  
**Re: Rezoning Application for Lot 1, Plan VIP76495, DL206, Comox Land District**  
**and Block 72 Comox Land District**

Dear Ian/Matthew:

Please find enclosed our report on the public information meeting we held on July 25, 2019 at the Crown Isle clubhouse regarding the rezoning of the above captioned property. Also enclosed is the list of attendees and copies of the various comments provided by the attendees.

Should you have any questions or require any further information, please do not hesitate to call me.

Yours truly,

A handwritten signature in black ink, appearing to read "Rick Waldhaus", with a long horizontal flourish extending to the right.

Rick Waldhaus, CFO  
Silverado Land Corp.

[www.crownisle.com](http://www.crownisle.com)

GOLF SHOP · RESORT CENTRE · VILLAS · REAL ESTATE · RESTAURANTS · GOLF ACADEMY

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SILVERADO LAND CORP.  
REPORT ON PUBLIC INFORMATION MEETING HELD ON JULY 25, 2019  
RE: REZONING/OCP APPLICATION # 6480-20-1902/#3360-20-1920

A public information meeting was held in the Silver Room at the Crown Isle Resort Clubhouse on July 25, 2019 from 4:00 - 6:00 PM.

The meeting was well attended by approximately 45 to 50 residents (attendee lists attached) that were informed through a letter that was sent directly to a list of individual addresses provided by the City of Courtenay. Three large billboards were also erected at the end of Britannia Way, the end of Royal Vista Way and the end of Lannan Road.

Each individual residence was given a package that included the following:

OCP / Zoning Amendment Information Including:

1. The map outlining the areas relating to the re-zoning
2. Rezoning details
2. Comment Sheet for further comment

Maps were displayed in the room and Crown Isle representatives provided information regarding the application and were available to answer questions from individuals present.

All of the attendees at the meeting were generally positive about the rezoning application. The main questions stemmed around what type of development would back on to existing residences (particularly the Britannia Place strata development), and construction traffic. In response to the construction traffic, we advised the attendees of the multiple access points to the Lannan property (Lannan Road, Crown Isle Drive and Royal Vista Way, as well as gravel road access through our undeveloped lands) that will help alleviate and “spread out” the construction traffic while development occurs.

## PUBLIC INFORMATION MEETING

Thursday July 25, 2019

# SIGN IN SHEET

## FOR: Zoning Amendment

Legal Address: Lot 1, Plan VIP76495, DL 206, Comox Land District and Part of Block 72

Street Address: Lannan Road and 333 Clubhouse Drive

Name (Please Print)	Address
	Unit 386 Britannia
	357
	185-3399 Crown Isle Dr
	634-3666 Royal Vista Dr.
	1901 Ryan Rd
	3399 Crown Is. Dr.
	3060 Kensington Cres.
	534 #3666 ROYAL VISTA WAY
	#7-1640 Anderton.
	#17 1640 Anderton
	3269 Cr. Isle Dr.
	879 - EASTWICK CR.
	257-3399 Crown Isle Dr
	625-3666 Royal Vista Dr
	642-3666 " " "
	2666-433 Royal Vista Dr
	2886 Crown Isle Dr.
	4211-3399 CROWN ISLE DR
	371-3399 Crown Isle Dr
	381-3399 Crown Isle Dr
371-3399 Crown Isle Dr.	
394-3399 CROWN ISLE DR	
315-3666 Royal Vista	

## PUBLIC INFORMATION MEETING

Thursday July 25, 2019

# SIGN IN SHEET

## FOR: Zoning Amendment

Legal Address: Lot 1, Plan VIP76495, DL 206, Comox Land District and Part of Block 72

Street Address: Lannan Road and 333 Clubhouse Drive

Name (Please Print)	Address
	3399 CROWN ISL - DRIVE
	17-1640 Anselton Rd
	121-3666 ROYAL VISTA WAY
	532-3666 Royal Vista Way
	351-3399 Crown Isle Dr.
	422-3666 ROYAL VISTA WAY
	160-3399 CROWN ISLE DR.
	2911 BRITANNIA WAY.
	516-3666 ROYAL VISTA WAY
	365-3399 Crown Isl Dr
	2933 Britannia Way
	1901 Ryan Rd.
	3630 Royal Vista Way
	"
	612-3666 ROYAL VISTA WAY
	435-3666 Royal Vista Way
	623-3666 Royal Vista Way
	160-3399 Crown Isle Dr
367-3399 Crown Isle Dr	

## PUBLIC INFORMATION MEETING

Thursday July 25, 2019

# SIGN IN SHEET

## FOR: Zoning Amendment

Legal Address: Lot 1, Plan VIP76495, DL 206, Comox Land District and Part of Block 72

Street Address: Lannan Road and 333 Clubhouse Drive

Name (Please Print)	Address
	2374 DENIS WAY STN BC VAN 9J3
	2126 AUSTIN RD COMOX
	1901 RYAN RD E. OWNER

## PUBLIC INFORMATION MEETING

Thursday, July 25, 2019

### Zoning Amendment

Legal Address: Lot 1, Plan VIP76495, DL 206, Comox Land District and Part of Block 72

Street Address: Lannan Road and 333 Clubhouse Drive

#### COMMENT SHEET

Name: \_\_\_\_\_

Email: \_\_\_\_\_

Address: \_\_\_\_\_

*351-3399 Crown Isle Dr.*

Phone: \_\_\_\_\_

Silverado Land Corp. has applied to the City of Courtenay for a zoning Amendment for Lot 1, Plan VIP76495, DL206, Comox Land District and Part of Block 72. This project is under review by staff in the Planning Department of the City.

Given the information you have received regarding this project do you have any comments or questions?

*- We agree with the proposed zoning amendment.  
- We would like to have assurances that any development in close proximity to Britannia Place is residential and limited to a maximum of 2 stories.*

Please return your comments by Thursday, August 1, 2019

Comment sheets can be submitted by one of the following methods:

1. Hand your comment sheet in tonight.
2. Drop your comment sheet off at the front desk in the Clubhouse at Crown Isle (Attn: Rick Waldhaus).
3. Email your comment sheet to [rwaldhaus@crownsisle.ca](mailto:rwaldhaus@crownsisle.ca)
4. Deliver your comment sheet to the City of Courtenay, attention Development Services Department. Email: [planning@courtenay.ca](mailto:planning@courtenay.ca) Fax: 250-334-4241

## PUBLIC INFORMATION MEETING

Thursday, July 25, 2019

### Zoning Amendment

Legal Address: Lot 1, Plan VIP76495, DL 206, Comox Land District and Part of Block 72

Street Address: Lannan Road and 333 Clubhouse Drive

#### COMMENT SHEET

Name: [REDACTED]

Email: [REDACTED]

Address: 160-3399 CROWN ISLE DR.

Phone: [REDACTED]

Silverado Land Corp. has applied to the City of Courtenay for a zoning Amendment for Lot 1, Plan VIP76495, DL206, Comox Land District and Part of Block 72. This project is under review by staff in the Planning Department of the City.

Given the information you have received regarding this project do you have any comments or questions?

I have received the documents and fully support the rezoning. I am also president of Britannia Place, the strata immediately adjacent to the project. Our Owners expressed overwhelming support for the 10 units adjacent to B.P. at the south end at our last AGM in August 2018, which will be added to B.P. While I cannot speak for every Owner in B.P., from my conversations with Owners, I know there is widespread support for the rezoning. Our only proviso is that units immediately adjacent to our strata be limited to a maximum of 2 storeys. Silverado has verbally committed to that condition. We will, of course, be carefully looking at any further subdivision and building permit applications with respect to the buildings adjacent to B.P. We have had a good relationship with Crown Isle for the past 20 years and expect that relationship to continue.

Please return your comments by Thursday, August 1, 2019

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## PUBLIC INFORMATION MEETING

Thursday, July 25, 2019

### Zoning Amendment

Legal Address: Lot 1, Plan VIP76495, DL 206, Comox Land District and Part of Block 72

Street Address: Lannan Road and 333 Clubhouse Drive

#### COMMENT SHEET

Name:

Email:

Address: 879 Eastwicke Crescent

Phone:

Silverado Land Corp. has applied to the City of Courtenay for a zoning Amendment for Lot 1, Plan VIP76495, DL206, Comox Land District and Part of Block 72. This project is under review by staff in the Planning Department of the City.

Given the information you have received regarding this project do you have any comments or questions?

#### Opinions from perspective patio home purchasers within the Phase V development

Confirmation of the fact that the application does not include any multi family residences directly east of Britannia, Phase V, was reassuring.

The pathway(s) shown and discussed on the preliminary plan drawing are a welcome placement and we make the assumption that this would mean there are adjacent green belts.

The length of time designated for the approvals of the rezoning, subsequent subdivision and construction of Phase V permits are disappointing. We fail to understand which part of this process needs to be of such an extended period.

We felt that the majority of audience questions were answered with facts and/or best estimates. However, it is our suggestion that more informational sessions or newsletters would be welcomed in order to keep people informed. Knowledge deters dissension

Please return your comments by Thursday, August 1, 2019

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## PUBLIC INFORMATION MEETING

Thursday, July 25, 2019

### Zoning Amendment

Legal Address: Lot 1, Plan VIP76495, DL 206, Comox Land District and Part of Block 72

Street Address: Lannan Road and 333 Clubhouse Drive

#### COMMENT SHEET

Name: [REDACTED] Email: [REDACTED]@com  
Address: 634-3666 Royal Vista Way Phone: [REDACTED]

Silverado Land Corp. has applied to the City of Courtenay for a zoning Amendment for Lot 1, Plan VIP76495, DL206, Comox Land District and Part of Block 72. This project is under review by staff in the Planning Department of the City.

Given the information you have received regarding this project do you have any comments or questions?

We have lived in the last building built at Corinthia Estates (#6) at the end of Royal Vista Way for approx. 4 years. The paving of Royal Vista Way does not extend as far as our building so for the past 4 years we have had to live with the dust created by the large construction vehicles flying past our building. We request that this section of Royal Vista Way and beyond be fully PAVED prior to the start of any new construction in this development so that we can BREATHE for the next 5-10 years.

We bought a condo on the south side of building #6 because of the spectacular view. We do so hope that any new buildings in this new development will NOT be higher than 2 stories. We love to see the mountains & glacier

Please return your comments by Thursday, August 1, 2019

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7/30/2019

Crown Isle Resort and Golf Community Mail - Zoning Amendment



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## Zoning Amendment

1 message



Tue, Jul 30, 2019 at 3:13 PM

We were concerned at the presentation to learn that Britannia Way would be used as a main artery for construction of the Lot 1, Plan VIP76495, DL206, Comox Land District and Part of Block 72. We hope that during construction:

- workmen's cars will not use Britannia Way as a parking lot
- that the existing hedge around the current Britannia Place remain in place until construction of the new 10 units is completed
- that crews start at a reasonable hour i.e. 7 a.m. and finish at 4 p.m.
- that any earth trails used for construction be oiled or watered on a regular basis to reduce dust.

### Zoning Comments - New Area J

We are also concerned about the proposed rezoning for this area. Specifically, secondary suites, boarding, and accessory buildings and structures. Crown Isle has built a reputation as a premium community and development and this should be continued in the new phase.

We are pleased with your promise not to build multi-residential dwellings immediately adjacent to Britannia Place either by the existing homes or the new phase 5 Britannia homes.

What are you defining as a multi-residential building and structure?

What does accessory buildings and structures mean? Are you going to allow separate garages and horse and other animal barns?

Why is home occupation listed as a permitted use?

Thank you for your attention to these questions and for your presentation.

Sincerely,



8/2/2019

Crown Isle Resort and Golf Community Mail - laanan rezoning silverado



**laanan rezoning silverado**

1 message



Thu, Aug 1, 2019 at 9:48 PM

The recent public information regarding the rezoning of the old Lannan property was received with a welcome and positive sigh of relief by those in attendance . People continue to move to the Comox Valley in increasing numbers and a great many of them are retirees making Crown Isle in particular a top choice for their future home .Additional home sites made available through this development will help ease the demand  
As a partner in the development of Britannia Place patio homes we have been waiting a long time for this and so have prospective purchasers..We applaud Both Crown Isle and the City of Courtenay for we have been anxious to help fulfill the demand for more patio homes for a number of years now but only now have been given a green light to proceed with a development permit application for our 5th and last phase at Britannia Place in conjunction with, and pending upon ,the approval of Crown Isle's proposal for the rezoning  
Since this procedure was initiated we have compiled a list of over 30 people who are awaiting information on our next phase so the news of this rezoning application was met with relief,hope and great joy  
We look forward to an expediant passing of this application by the City  
Brent Cunliffe

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As a partner in the development of Britannia Place patio homes we have been waiting a long time for this and so have prospective purchasers. We applaud Both Crown Isle and the City of Courtenay for we have been anxious to help fulfill the demand for more patio homes for a number of years now but only now have been given a green light to proceed with a development permit application for our 5th and last phase at Britannia Place in conjunction with, and pending upon, the approval of Crown Isle's proposal for the rezoning.

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We look forward to an expedient passing of this application by the City



 Tue 7/30/2019 3:21 PM  
Julie Tuepah  
Zoning Amendment  
To Planning/Ab

We were recently at a presentation for the Zoning Amendments proposed for the extension of Crown Isle. We were concerned at the presentation to learn that Britannia Way would be used as a main artery for construction of the Lot 1, Plan VIP/6495, DL206, Comox Land District and Part of Block 72. We hope that during construction:

- workmen's cars will not use Britannia Way as a parking lot
- that the existing hedge around the current Britannia Place remain in place until construction of the new 10 units is completed
- that crews start at a reasonable hour i.e. 7 a.m. and finish at 4 p.m.
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Zoning Comments - New Area J

We are also concerned about the proposed rezoning for this area. Specifically, secondary suites, boarding, and accessory buildings and structures. Crown Isle has built a reputation as a premium community and development and this should be continued in the new phase. We are pleased with Silverado's promise not to build multi-residential dwellings immediately adjacent to Britannia Place either by the existing homes or the new phase 5 Britannia homes.

What are you defining as a multi-residential building and structure?

What does accessory buildings and structures mean? Are you going to allow separate garages and horse and other animal barns?

Why is home occupation listed as a permitted use?

Thank you for your attention to these questions.

Sincerely,



## PUBLIC INFORMATION MEETING

Thursday, July 25, 2019

### Zoning Amendment

Legal Address: Lot 1, Plan VIP76495, DL 206, Comox Land District and Part of Block 72

Street Address: Lannan Road and 333 Clubhouse Drive

#### COMMENT SHEET

Name:

Email:

Address: 879 Eastwicke Crescent

Phone:

Silverado Land Corp. has applied to the City of Courtenay for a zoning Amendment for Lot 1, Plan VIP76495, DL206, Comox Land District and Part of Block 72. This project is under review by staff in the Planning Department of the City.

Given the information you have received regarding this project do you have any comments or questions?

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## PUBLIC INFORMATION MEETING

Thursday, July 25, 2019

### Zoning Amendment

Legal Address: Lot 1, Plan VIP76495, DL 206, Comox Land District and Part of Block 72

Street Address: Lannan Road and 333 Clubhouse Drive

#### COMMENT SHEET

Name:

[REDACTED]

Email:

[REDACTED]

Address:

634-3666 Royal Vista Way

Phone:

[REDACTED]

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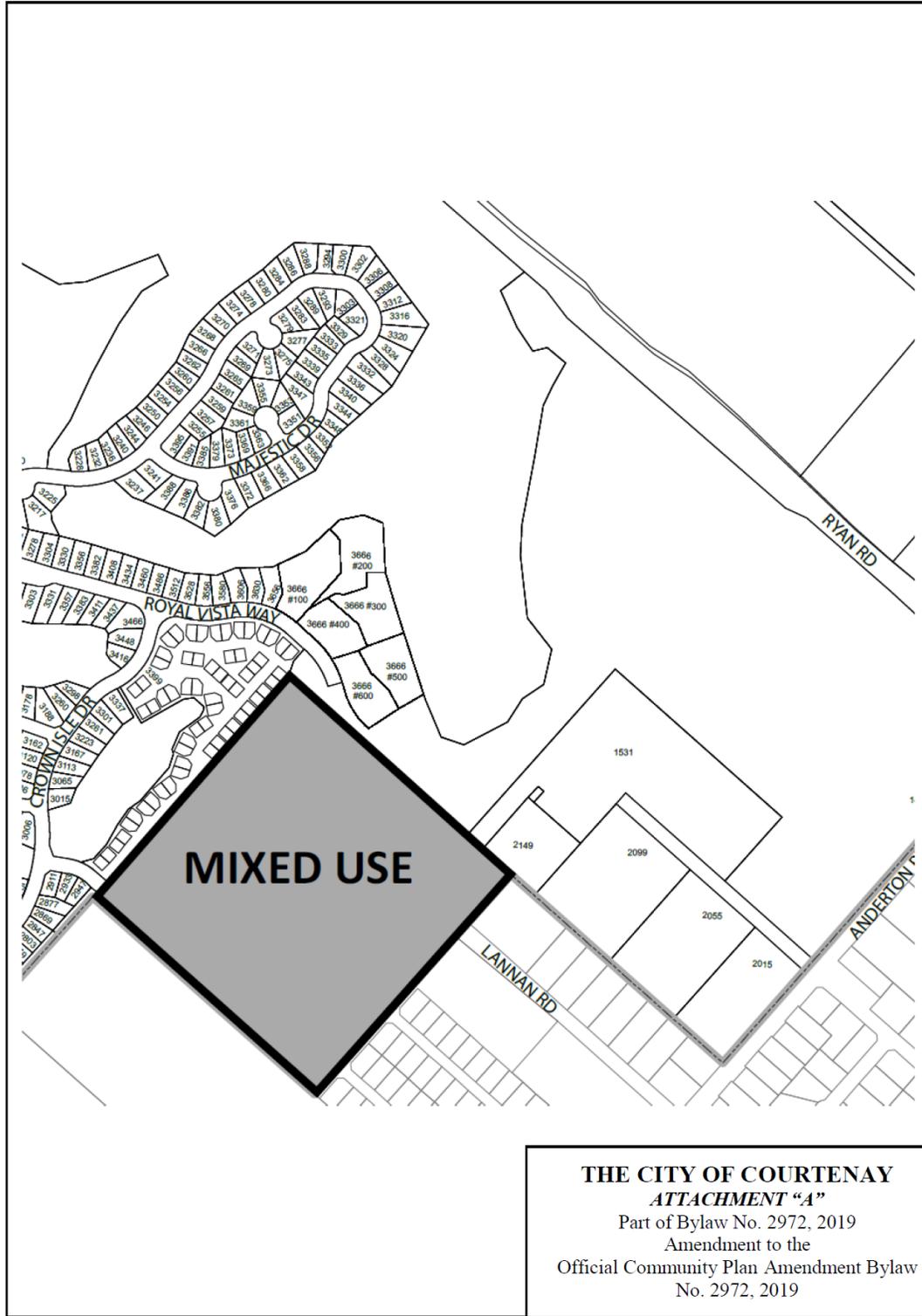
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**Schedule No. 8 – Draft Zoning Amendment Bylaw 2973**

**THE CORPORATION OF THE CITY OF COURTENAY**

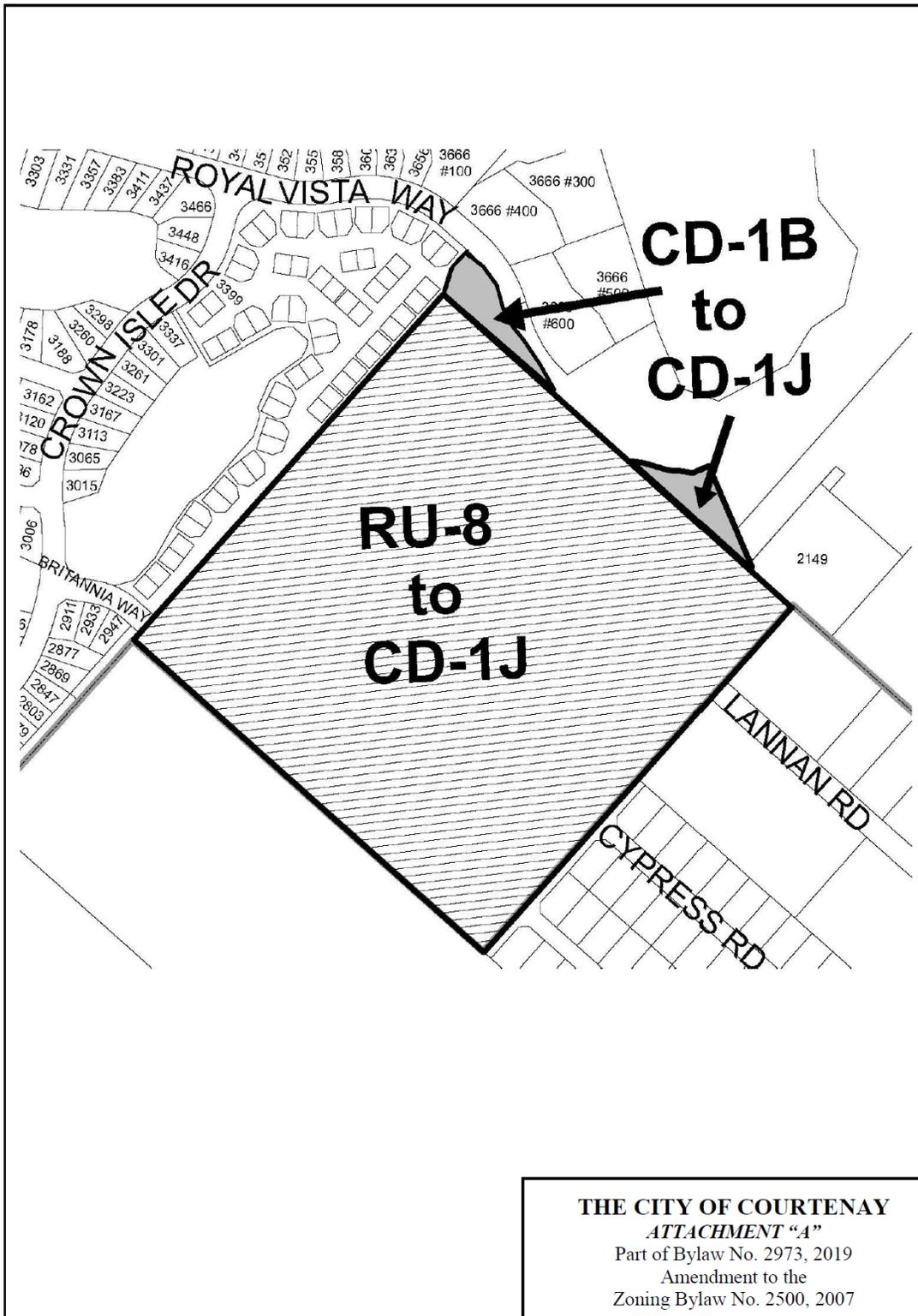
**BYLAW NO. 2973**

**A bylaw to amend Zoning Bylaw No. 2500, 2007**

The Council of the Corporation of the City of Courtenay in open meeting assembled enacts as follows:

1. This bylaw may be cited for all purposes as “**Zoning Amendment Bylaw No. 2973, 2019**”.
2. That “Zoning Bylaw No. 2500, 2007” be hereby amended as follows:
  - (a) Amending Division 8 – Classification of Zones, Part 32 – Comprehensive Development One Zone (CD-1) Crown Isle Block, Section 8.32.2 Permitted Uses through the addition of:
    - “(8) Within the CD-1J area:
      - (a) *Single residential dwelling*
      - (b) *Duplex dwelling*
      - (c) *Multi-residential dwelling*
      - (d) *Secondary suite*
      - (e) *Accessory buildings and structures*
      - (f) *Boarding*
      - (g) *Home occupation*”
    - (b) Amending Division 8 – Classification of Zones, Part 32 – Comprehensive Development One Zone (CD-1) Crown Isle Block, Section 8.32.3 Densities through the addition of:
      - “(8) Within Area J:
        - (a) Up to 122 *single residential dwellings* with or without a *secondary suites*
        - (b) Up to 208 *duplex dwelling* or *multi-residential dwelling* units”
      - (c) Amending Division 8 – Classification of Zones, Part 32 – Comprehensive Development One Zone (CD-1) Crown Isle Block, Section 8.32.5 Lot Coverage through the addition of:
        - “(3) Within Area J: 50%”
      - (d) Amending Division 8 – Classification of Zones, Part 32 – Comprehensive Development One Zone (CD-1) Crown Isle Block, Section 8.32.6 Minimum Lot Sizes through the addition of:
        - “(9) Area J: 400 m<sup>2</sup>”







THE CORPORATION OF THE CITY OF COURTENAY

## STAFF REPORT

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**To:** Council **File No.:** 6480-20-1902 and 3360-20-1911  
**From:** Chief Administrative Officer **Date:** February 18, 2020  
**Subject:** **Third Reading Report - Official Community Plan (OCP) Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 - Lannan Road**

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### PURPOSE:

The purpose of this report to:

1. Consider Third Reading of OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973;
2. Confirm Council's acceptance of the amenity contributions offered by the applicant;
3. Provide clarity on the proposed stormwater management strategy which was a dominant theme at the Public Hearing; and
4. Summarize the key themes expressed at the Public Hearing and highlight Council's ability to request additional information prior to proceeding with Third Readings of an OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973.

### CAO RECOMMENDATIONS:

That based on the February 18<sup>th</sup>, 2020 staff report entitled "Third Reading Report - Official Community Plan (OCP) Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 - Lannan Road." Council approve OPTION 1 as follows:

1. That Council confirms that the following amenities offered by the applicant are adequate for the proposed OCP and Zoning Bylaw amendments; contributions to the *Parks, Recreation, Culture and Senior's Facilities Amenity Reserve Fund*; the development of Parkland at 2600 Crown Isle Drive; the provision of a furnished modular housing unit to "Dawn to Dawn"; and contributions to the *Affordable Housing Amenity Reserve Fund*;
2. That a condition is added to the Phased Development Agreement prohibiting any stormwater management facility within the forested area immediately south of the subject property and that the Brooklyn Creek Watershed Society be involved in the design stages of the stormwater management system;
3. That Council gives OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 Third Reading; and,
4. That Final Reading of the bylaws is withheld pending the registration of a Section 219 covenant registering a Phased Development Agreement on the subject property.

Respectfully submitted,

David Allen, BES, CLGEM, SCLGM  
Chief Administrative Officer

**DISCUSSION:**

**Amenities**

The proposed bylaw amendments were first considered by Council at the January 6, 2020 Council meeting. At that meeting, Council gave the bylaws First and Second Readings. A Public Hearing was held on January 20<sup>th</sup>, 2020. The January 6, 2020 staff report outlined the amenity contributions offered by the applicant in support of the proposal and are summarized below:

**Parks, Recreation, Culture and Senior’s Facilities Amenity Reserve Fund**

1. The applicant has offered to improve the existing, undeveloped 4048m<sup>2</sup> (1.0 ac.) park land dedication at 2600 Crown Isle Drive (shown in Figure 1). Improvements will consist of irrigation, hydroseeding, tree plantings and benches. This land was dedicated as Park to the City as part of the subdivision process in early 2019. The proposed improvements are supported by the Parks Department.

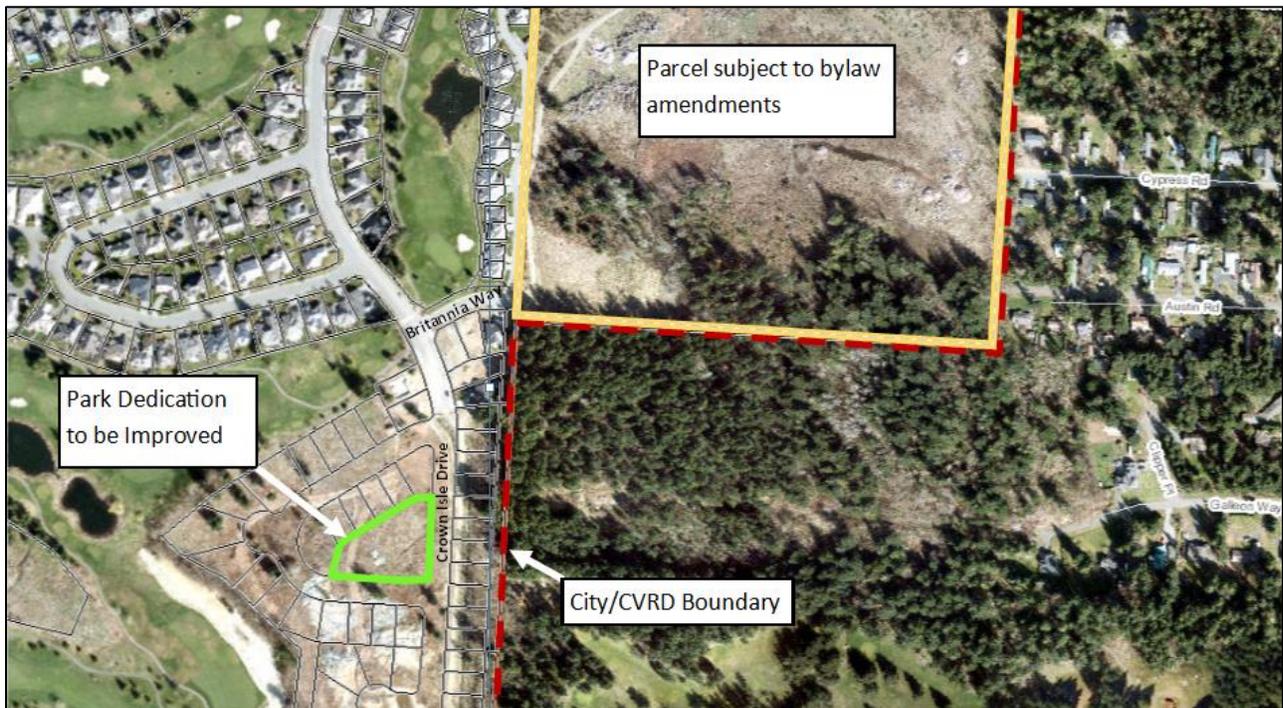


Figure 1: Location of Park Dedication to be improved

2. The applicant has also offered contributions to the *Parks, Recreation, Culture and Senior’s Facilities Amenity Reserve Fund* as specified in Section 7.7(5) of the OCP. Based on the conceptual layout, this equates to approximately \$225,000 but is subject to change based on the final lot sizes and other variables such as the final number and area of multifamily units and the location of the stormwater management facilities.

**Affordable Housing Amenity Reserve Fund**

1. The applicant has offered a furnished modular housing unit to be provided to the organization Dawn to Dawn: Action on Homelessness Society. The unit is intended to be located at an appropriate location

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in the City as temporary housing for homeless people. There is no doubt such units provide much needed shelter, however staff note these buildings are not constructed with building permits and accordingly the health and safety of them is unknown. Council may wish to consider alternatives such as a financial contribution to Dawn to Dawn, or some other non-market, affordable housing initiative instead.

2. The applicant has also offered contributions to the *Affordable Housing Amenity Reserve Fund* as specified in Section 7.7(6)(c) of the OCP. Based on the conceptual layout this, again, equates to approximately \$225,000, but subject to change based on the final lot sizes and the final number and area of multifamily units.

Should the OCP and Zoning Amendment bylaws be adopted, the amenities detailed above will be secured through a Phased Development Agreement (PDA).

The Amenity Contribution policies, in their entirety, are provided in the “Official Community Plan Reference Section” below. The policies start by outlining that there is typically an instantaneous property value increase when the City agrees to rezone a property. This is usually the result of an increase in density afforded by the new versus the existing zoning. In this case, the existing RU-8 zone permits a minimum lot size of 2.0ha (4.9 ac.). This results in a potential for the property to be subdivided into eight lots each with one house. The proposed CD-1J will allow 330 units, 122 being single family (some with suites) and 208 being multi-family housing types.

The Section continues by providing examples of the types of amenities that can be offered in support of a proposal followed by the contributions considered reasonable, per lot, to the *Parks, Recreation, Culture and Senior’s Facilities Amenity Reserve Fund*.

The Affordable Housing Policy states that amendments to the zoning bylaw and OCP are expected to include contributions to non-market, affordable housing. Should the City and applicant be unable to negotiate contributions of units then the policy states that contributions should be based on the per lot values specified in Section 7.7(6)(c) of the OCP. It should be noted that the contributions to the reserve funds are typically considered a minimum requirement. Additionally, amendments to the OCP and zoning bylaw are completely discretionary and Council is not obligated to accept the proposed contributions or approve the bylaws.

### **Stormwater Management Strategy**

Stormwater management was a dominant theme at the Public Hearing on January 20<sup>th</sup>, 2020. Most comments centred on downstream flooding concerns and the need for additional study prior to proceeding with the amendments. Additional comments centred on the location of the conceptual stormwater management facilities on an adjacent property.

Once rezoned, the next step in developing the subject property will be for the applicant to apply to the City to subdivide the parcel. Any subdivision of the property must meet the requirements of the City’s *Subdivision and Development Servicing Bylaw*. In general, the bylaw requires that post development stormwater discharge rates correspond to pre-development flows for the 1 in 25 year period storm events and that any overland flows beyond the 1 in 25 year event are designed in a manner which does not result in the flooding of any properties.

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Regarding downstream flooding, as outlined in the January 6, 2020 staff report, the OCP/Zoning amendment proposal leaves questions around stormwater management unanswered. As outlined in some Public Hearing submissions, the majority of rain water runoff from the Lannan property is believed to travel through existing natural drainage courses and into the Brooklyn Creek system in an unmanaged system which area residents have indicated is prone to seasonal flooding. The applicant proposes to detain stormwater in a newly created stormwater facility on property immediately south of the subject property, within the Comox Valley Regional District (CVRD) which the developer also owns. For clarity this facility is conceptually proposed just off the existing stream channel in a largely un-forested area of the golf course property.

In the case of the proposed pond location in the CVRD, there is added jurisdictional complexity as stormwater within the City is controlled and regulated by the City. Within the CVRD, stormwater is managed and controlled by the Ministry of Transportation whose primary concern is drainage discharge from their highways and into their ditch systems. The applicant has accepted the risk that should the CVRD or Ministry not permit the stormwater facilities in their jurisdiction, or if the City is not agreeable, then the stormwater facilities must be located on the subject property, which will impact the conceptual layout and the total number of units that can be developed. Given these concerns, Council may wish to direct that, as a condition of zoning approval, any required stormwater management facilities must be located on the subject property.

Regarding the location of the proposed stormwater management facilities on an adjacent property, there remains uncertainty and other factors which could dictate the facilities' size and location. Initially the applicant proposed the stormwater facilities be located immediately south of the subject property, and some comments at the public hearing were directed at the original plan. After consulting with the Brooklyn Creek Watershed Society (BCWS) during the initial bylaw consultation phase the applicant proposed these ponds be further south. As outlined in the January 6th staff report, the stormwater management strategy is conceptual and the City is not committed to a specific design as part of the current OCP/zoning process. However, given the concerns expressed by the Brooklyn Creek Watershed Society, staff are recommending a condition in the PDA which prohibits the final design of any stormwater facility being located on the forested area south of the subject property. Staff note that having heard from the BCWS, the applicant is in full agreement with the protection of the forested area immediately south of the subject property. The intent of adding this condition to the PDA is to provide certainty that this area will be protected. The exact area to be protected from stormwater management ponds will be delineated on a plan attached to the PDA. Given the importance of water quality and quantity entering the Brooklyn Creek system staff also recommend, as a condition of the PDA, that the Brooklyn Creek Watershed Society be involved in the design of the stormwater management system to ensure it provides the greatest benefit to stream health and meets their enhancement goals.

While there are additional administrative challenges with locating the pond outside City boundaries, staff are confident that regardless of its final location, an appropriately designed stormwater management system will mitigate flooding concerns.

### **Tree Preservation**

There was also concerns expressed at the Public Hearing with the loss of the remaining forested area. The areas of concern include the remaining trees on the subject property in addition to the trees just south of the subject property on the golf course property.

The City does not have jurisdiction over trees outside of the City's boundaries. Although the CVRD does not have any tree protection regulations, the proposed PDA could ensure stormwater management infrastructure is not located in this area.

The current concept plan provided by the applicant at 1<sup>st</sup> and 2<sup>nd</sup> readings shows the removal of approximately 2/3 of the remaining forest. It should be noted these are estimates based on an air photo interpretation and not based on detailed plans that would accompany a tree cutting permit. Council may wish to consider retention of some, or all, of these remaining trees to further enhance the protection and value of the adjacent environmentally sensitive features in the headwaters of the Brooklyn Creek watershed.

**Options to Consider**

At this stage in the process Council may pass Third Reading, defeat the bylaws, or defer consideration and request additional information on any element of the proposal. Additionally, Council could request modifications to the concept plan on which the zoning application is based prior to further consideration. Staff note that requests for additional information will trigger the requirement for a new public hearing, to provide opportunity for the public to reconsider the proposal in light of the new information.

The matrix below is designed to highlight options that Council may wish to consider concerning the main themes identified through the public process. For efficiency, staff suggest Council address these items (or any others identified by Council) individually. This will assist in providing clear direction for staff and the applicant going forward in the next stages of the process.

Issue	Proposal	Option 1	Option 2	Option 3
Tree Preservation	The applicant is proposing to remove approximately 2/3's of the remaining trees on the subject property.	Proceed with the bylaws without additional tree preservation.	Require protection of all of the remaining trees on the subject property as a condition of the bylaw amendments, with the exception of minimal removal to permit the extension of Britannia Way.	Allow the removal of trees for the proposed extension of the Britannia Place Strata only, but require the protection of all other remaining trees with the exception of minimal additional removal for the extension of Britannia Way.
Stormwater Management (Pond Location)	The applicant is proposing to locate a stormwater detention pond on adjacent property within the CVRD.	Proceed with bylaws without additional analysis and study on the location of stormwater management facilities knowing that the <i>Subdivision and Development Servicing Bylaw</i> mandates that this must be completed prior to subdivisions.	Require that the location of stormwater management facilities is identified to the satisfaction of all relevant authorities prior to further consideration of the bylaws.	Require that the stormwater management facilities be located on the applicant's property within the City.
Stormwater Management (study/design)	The applicant proposes to defer the design of the system to later phases of the development but in accordance with the City's <i>Subdivision and Development Servicing Bylaw</i> requirements	Proceed with the bylaws without additional analysis and study of stormwater management knowing that the <i>Subdivision and Development Servicing Bylaw</i> mandates that this is complete prior to subdivisions.	Require that the stormwater management design is completed prior to final consideration of the bylaws.	Require that the stormwater management design is completed prior to Third Reading of the bylaws.

Issue	Proposal	Option 1	Option 2	Option 3
Amenities (Affordable Housing)	Contributions to the Affordable Housing Amenity Reserve Fund and contribution of a modular unit to Dawn to Dawn	Proceed with the bylaws based on the amenities offered to the <i>Affordable Housing Amenity Reserve Fund</i> and the contribution of a modular unit to Dawn to Dawn	Identify additional or alternative amenity contributions Council deems appropriate given the scale of the project.	Request additional information such as an appraisal of the land's value pre and post bylaw amendments to help inform Councils' decision on amenities
Amenities (Parks, Recreation, Culture and Senior's Facilities)	Contributions to the Parks, Recreation, Culture and Senior's Facilities Amenity Reserve Fund and the improvements to the park at 2600 Crown Isle Drive	Proceed with the bylaws based on the amenities offered to the <i>Parks, Recreation, Culture and Senior's Facilities Amenity Reserve Fund</i> and the improvements to the park at 2600 Crown Isle Drive	Identify additional or alternative amenity contributions Council deems appropriate given the scale of the project.	Request additional information such as an appraisal of the land's value pre and post bylaw amendments to help inform Councils' decision on amenities
Land Uses, Housing Form and Density	The applicant is proposing 330 units. A maximum of 122 of the 330 units are single family dwellings with or without suites. A maximum of 208 multi-family units are permitted.	Proceed with the bylaws based on the density and unit mix proposed.	Require changes to unit mix	Require changes to the maximum permitted unit density.

**FINANCIAL IMPLICATIONS:**

The development is subject to City and the Regional District Development Cost Charges. Amenity contributions as outlined above to parks facilities reduce the overall park improvement needs that are financed through property taxation.

**ADMINISTRATIVE IMPLICATIONS:**

Processing zoning bylaw amendments is a statutory component of the corporate work plan. Staff has spent 60 hours processing and reviewing this application.

**ASSET MANAGEMENT IMPLICATIONS:**

As part of subdivision the City will inherit new roadway, park and other infrastructure built to current City standards. These will be incorporated to the City's asset registers for ongoing operations and/or maintenance.

**2019 – 2022 STRATEGIC PRIORITIES REFERENCE:**

- Communicate appropriately with our community in all decisions we make
- ▲■ Support actions to address Climate Change mitigation and adaptation
- ▲ Explore opportunities for Electric Vehicle Charging Stations
- ▲■ Identify and support opportunities for lower cost housing and advocate for senior government support
- ▲ Encourage and support housing diversity

The November 2019 Strategic Priorities Check-in also identified the following references under the “Next” Council Priorities subsection:

- ▲ Greenway Connectivity Study
- Housing Need Assessment

#### **OFFICIAL COMMUNITY PLAN REFERENCE:**

##### **Official Community Plan**

##### **Section 7.7 Provision of Amenities**

The Plan identifies a range of items to be considered in the review of new development in the City. For example, the provision of major roads, sidewalks, parks and open space, affordable housing, recreational and cultural facilities, and protection of environmentally significant features are potential contributions of any proposed development. These items can be negotiated as “amenities” to be incorporated as part of rezoning or comprehensive development zone approval. The basic premise of amenity packages is that the increased value often conveyed with rezoning or comprehensive development approval, should be shared between the community and the developer.

##### **Goal**

1. To ensure that the provision of community amenities is considered as part of the rezoning process.

##### **Policies:**

1. In recognition of the increased value usually conferred on land and the additional pressure on municipal services that results from an increase in density; development proposals that require rezoning are expected to include community amenities as part of the project.
2. Amenities that may be considered as amenities in applications to amend zoning or OCP designations include the following (not in any particular order):
  - extra road dedication, street works and landscaped buffer areas;
  - sidewalk and trailway improvement;
  - affordable housing units (detailed in the following Section 6);
  - park land (in the case of subdivision, in excess of 5% required under the Local Government Act);
  - contributions to greenbelts, open spaces, environmental corridors;
  - covenants to protect environmentally sensitive areas;
  - recreational space, equipment or facilities;
  - community activity centre or other facilities (ie. daycare, arts, culture, library facilities);
  - transit pull-outs, bus stop shelters;
  - cash-in-lieu contributions.
3. Site-specific conditions will suggest what amenities maybe considered with specific rezoning or comprehensive development zone approval. Criteria for determining priority among possible amenities may include:

- specific site characteristics: natural features that are environmentally, historically or archaeologically sensitive and needing protection, viewsapes, outdoor recreational opportunities;
  - the changing needs of the community and/or surrounding neighbourhood(s);
  - the size of the proposed development and its relationship to the surrounding area;
  - the nature of proposed development;
  - projected population on site.
4. The City should only consider rezoning property following the submission of an application to amend the Zoning Bylaw consistent with the policies of this Plan and related City bylaws.
  5. “Parks, Recreation, Cultural and Seniors Facilities Amenity Reserve Fund”

For residential units approved through the rezoning process the following contributions are payable at either the time of subdivision or issuance of Building Permit. These contributions shall be deposited in a “Parks, Recreation, Cultural and Seniors Facilities Amenity Reserve Fund” to be used for capital projects and upgrades:

*Residential Development Contributions per lot*

<b>Lot Size</b>	<b>Contribution</b>
Up to 650m <sup>2</sup>	\$1,000
651 – 850 m <sup>2</sup>	\$1,500
851 – 1250 m <sup>2</sup>	\$2,000
1251 – 2500 m <sup>2</sup>	\$2,500
2501 – 4000 m <sup>2</sup>	\$3,000
4001 – 1 ha	\$3,500
Greater than 1 ha	\$5,000

*Multi – Residential Development Contributions per m<sup>2</sup>  
(more than one residential dwelling unit in a building or a development)*

<b>Floor Area</b>	<b>Fee</b>
Up to 100m <sup>2</sup>	\$500
101 – 150m <sup>2</sup>	\$750
151 – 200m <sup>2</sup>	\$1,500
Greater than 200m <sup>2</sup>	\$2,500

Note: for the development of Affordable Housing Projects/units which will be subject to a housing agreement with the City or agency by the City an exemption from these fees will be considered.

6. Affordable Housing Policy  
 Canada Mortgage and Housing Corporation (CMHC) defines affordable housing as adequate shelter that does not exceed 30% of household income; housing related costs that are less than this are considered affordable. For homeowners, CMHC uses a slightly higher gross debt service ratio of 32%, which includes the cost of servicing the mortgage, property taxes and heating costs. For tenants, housing costs include rent and the cost of utilities such as heating, electricity and water. Applications

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for changes in zoning or amendments to the OCP are expected to include a contribution to non-market affordable housing. The follow section outlines the 3 options available for negotiation. Preference is given to the creation of new non-market affordable housing units within proposed developments. Failure to negotiate successfully for units or land contributions will result in a contribution to the “Affordable Housing Reserve Fund”.

**a) Non-market affordable housing units**

As housing prices rise, many low to moderate-income families, and young people with low home-buying power, are unable to purchase their first homes.

Housing prices have increased so much in the last five years that these people are either unable to purchase housing, or can only afford housing that is inadequate to meet their housing needs. Securing affordable dwelling units, in the form of condominiums or townhouses, is an effective way to ensure entry-level ownership is possible in this housing market. Housing agreements, phased development agreements, and/or covenants may be used to ensure the unit remains “affordable” for a set amount of time.

Developers are encouraged to considered earmarking a percentage of proposed residential units to non-market affordable housing or for inclusion in a below market rental pool.

**b) Freehold title land contributions**

An adequate supply of serviced land should be made available at a reasonable cost for residential development, and high quality affordable and social housing should be located in close proximity to community services and infrastructure. The intensification of residential land uses addresses issues in relation to “smart growth”, minimizing costs of transportation and provision of infrastructure, and improves accessibility of residents to important community services and supports.

Developers are encouraged to considering donating land, where appropriate, for future development as non-market housing.

**c) Contributions to the “Affordable Housing Amenity Reserve Fund”**

When a proposed developed is in an area not suitable for affordable housing development (i.e. not serviced by public transit or near schools) a cash-in-lieu contribution will be appropriate. The following tables shall be used to calculate appropriate levels of contributions:

*Residential Development Contributions per lot*

<b>Lot Size</b>	<b>Contribution</b>
Up to 650 m <sup>2</sup>	\$1,000
651 - 850 m <sup>2</sup>	\$1,500
851 – 1250 m <sup>2</sup>	\$2,000
1251 – 2500 m <sup>2</sup>	\$2,500
2501 – 4000 m <sup>2</sup>	\$3,000
4001 – 1 ha	\$3,500
Greater than 1 ha	\$5,000

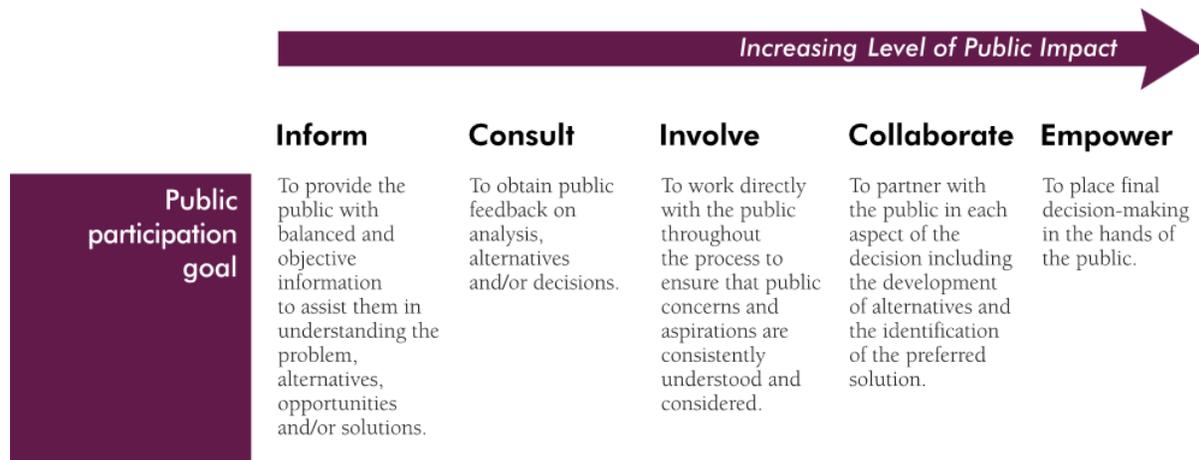
*Multi – Residential Development Contributions per m<sup>2</sup>*

(more than one residential dwelling unit in a building or in a development)

<b>Floor Area/ per unit</b>	<b>Contribution</b>
Up to 100 m <sup>2</sup>	\$500
101 – 150 m <sup>2</sup>	\$750
151 – 200 m <sup>2</sup>	\$1,500
Greater than 200 m <sup>2</sup>	\$2,500

**CITIZEN/PUBLIC ENGAGEMENT:**

Staff will “Consult” the public based on the IAP2 Spectrum of Public Participation:



A statutory public hearing was held for both bylaws on January 20, 2020 to obtain public feedback in accordance with the *Local Government Act*.

Prior to this application proceeding to Council, the applicant held a public information meeting on July 25, 2019 at the Crown Isle Resort Clubhouse. According to the information provided by the applicant, 58 people attended the meeting.

Should Council request additional information from the applicant or staff related to the proposal a new Public Hearing will be required.

**OPTIONS:**

**OPTION 1: (Recommended)**

That based on the February 18, 2020 staff report entitled “Third Reading Report - OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 – Lannan Road.” Council approve Option No. 1 as follows:

1. That Council confirms that the following amenities offered by the applicant are adequate for the proposed OCP and Zoning Bylaw amendments; contributions to the *Parks, Recreation, Culture and Senior’s Facilities Amenity Reserve Fund*; the development of Parkland at 2600 Crown Isle Drive; the provision of a furnished modular housing unit to “Dawn to Dawn”; and contributions to the *Affordable Housing Amenity Reserve Fund*;
2. That a condition is added to the Phased Development Agreement prohibiting any stormwater management facility within the forested area immediately south of the subject property and that the Brooklyn Creek Watershed Society be involved in the design stages of the stormwater management system;
3. That Council gives OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 Third Reading; and,
4. That Final Reading of the bylaws is withheld pending the registration of a Section 219 covenant registering a Phased Development Agreement on the subject property.

**OPTION 2:**

That Council postpone consideration of Third Reading of Bylaws 2972 and 2973 and request that staff return to Council with a draft resolution that addresses specific items identified by Council related to the proposed bylaws.

**OPTION 3:**

That Council not proceed with Bylaws 2972 and 2973.

Prepared by:



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Matthew Fitzgerald, RPP, MCIP  
Manager of Development Planning

Reviewed by:



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Ian Buck, RPP, MCIP  
Director of Development Services

**Attachments:**

Public Hearing Minutes

Notes of a Public Hearing held Monday, January 20, 2020 at 5:00 p.m. in Council Chambers, City Hall, for the purpose of receiving representations in connection with:

**Bylaw No. 2972 - A bylaw which proposes an amendment to the Official Community Plan Bylaw No. 2387, 2005 by changing the land use designation of the property legally described as Lot 1, District Lot 206, Comox District, Plan VIP76495 (Lannan Road) to Mixed Use to accommodate a mixed use multi residential development.**

**Bylaw No. 2973 - A bylaw which proposes an amendment to the Zoning Bylaw No. 2500, 2007 by rezoning from CVRD RU-8 Zone to a new Comprehensive Development One J Zone (CD-1J) the property legally described as Lot 1, District Lot 206, Comox District, Plan VIP76495 (Lannan Road) and the lands shown on the attached zoning bylaw, (legally described as: BLOCK 72 COMOX DISTRICT EXCEPT PARTS OUTLINED IN RED ON PLANS 1691R AND 2117 RW AND EXCEPT PART IN PLANS 49168, VIP53544, VIP53936, VIP55887, VIPS63451 VIP56997, VIP57216, VIP61372, VIP61373, VIP61374, VIP61375, VIP64932, VIP67278, VIP68539, VIP71399, VIP72239, VIP73546, VIP74891, VIP74892, V1P74893, VIP75389, VIP76675, VIP76772, VIP77537, VIP78213, VIP78293, VIP78614, VIP79916, VIP80521, VIP81206, VIP81881, VIP82174, VIP84549, EPP11548, EPP20585, EPP27748, EPP31093 EPPS9150, EPP65702, EPP83016, EPP77407, AND EPP77408).**

**Present:**

**Chair: W. Morin**  
**Councillors: W. Cole-Hamilton**  
**D. Frisch**  
**D. Hillian**  
**M. McCollum**  
**M. Theos**  
**B. Wells - Via Teleconference**

**Staff:**

**D. Allen, CAO**  
**I. Buck, Director of Development Services**  
**T. Kushner, Director of Public Works Services/Assistant CAO**  
**J. Nelson, Director of Financial Services**  
**D. Snider, Director of Recreation and Cultural Services**  
**A. Guillo, Manager of Communications**  
**M. Fitzgerald, Manager of Development Planning**  
**R. Matthews, Executive Assistant**

Acting Mayor Morin opened the public hearing at 5:00 p.m. There were 42 members of the public in attendance.

**Bylaw No. 2972 - Official Community Plan Amendment to change the land use designation to mixed use (Lannan Road).**

**Bylaw No. 2973 - Zoning amendment to create a new CD1-J subsection of the CD-1 Zone and rezone the area (Lannan Road).**

**Bob Kitchen, #185 - 3399 Crown Isle Drive, Britannia Place Strata, Courtenay, President of Britannia Place Strata (VIS 6195) - (*Written and Verbal Submission*)** Mr. Kitchen spoke in favour of Bylaw Nos 2972 & 2973 and advised that Britannia Place Strata is adjacent to the applicant property located east of Crown Isle and part of the Lannan Road development.

Mr. Kitchen proceeded with reading his letter dated January 20<sup>th</sup>, 2020 to Council (attached).

**Gillian Anderson, 2561 Sackville Road, Merville - (*Written and Verbal Submission*)** Ms. Anderson did not verbally state whether she was in favour or opposed to Bylaw Nos 2972 & 2973 but spoke on behalf of postponing the Bylaws; Ms. Anderson asked Council to postpone the rezoning process that will result in a major change to the Official Community Plan. Ms. Anderson stated that a lot of this forest has already been destroyed, unfortunately against community wishes; (the community did raise the money for it) and further stated that we must conserve biodiversity and important ecosystems wherever they're found, not in some far-away place, we have to think globally and act locally; we really need to save this forest in its entirety.

Ms. Anderson proceeded with reading her letter dated January 19<sup>th</sup>, 2020 to Council (attached).

**Doug Forbes-King, 1854 Birkshire Boulevard, Courtenay** - Mr. Forbes-King spoke in favour of Bylaw Nos 2972 & 2973 and in favour of the development (as a neighbour, up the street and around the corner) Mr. Forbes-King thinks it is a natural progression to develop this property; across the road is a recent development, Cambridge Park, that turned out to be one of very nicest developments in the area. As a 17 year resident, we've seen Crown Isle and various neighborhoods' grow and thinks it a natural progression of that development and thinks across the road may be somewhat similar to Cambridge Park.

Mr. Forbes-King thinks the plan the applicants have come up with really incorporates a lot of benefits that are there such as combining trails, making some combined linkages throughout the neighbourhood. Mr. Forbes-King feels it's going to be very attractive and it meets the multi-family and single family needs within our community.

We have a need, there are still people wanting to move here and we have people here who can't find places to live; though not all will want to live in this area, it will create a chain and will help overall to provide more housing in our community which is a benefit. Mr. Forbes-King feels that more development of this nature is a benefit, and as a neighbour that this is a positive; it's going to be good for Courtenay, good for our area, good for the neighbourhood and good for us.

**Bruce Holding, 1975 Atlas Road, Comox** - Mr. Holding did not verbally state whether he was in favour or opposed to Bylaw Nos 2972 & 2973 but expressed concern for his family related to the amount of traffic that is going to be increased along Anderton Road and along that stretch; Mr. Holding stated that they find it hard to walk along Anderton as it is at present, and would like to know if the development plans are to incorporate walkability so they can walk from Ryan Road and Anderton Road right to Ryan Road and Lerwick Road safely.

Mr. Holding stated that the speed limit is at 60 km/h, people are exceeding that speed and it's putting a lot of stress on families in the area. Mr. Holding's concern is related to speed and traffic; he understands that we need some development but finds this proposal a little bit aggressive. Mr. Holding stated that he went to a meeting a few years ago and there was supposed to be walkways along Anderton Road that pedestrians can walk but that has not been fulfilled.

**Wilfred Dreher, #381 - 3399 Crown Isle Drive, Britannia Place Strata, Courtenay** - Mr. Dreher did not speak in favor or opposed to Bylaw Nos 2972 & 2973 or the proposed development but stated he came to the public hearing to express a concern. Mr. Dreher is a new resident of Britannia Place Strata and attended an info meeting at which time he did not voice any objections to the development; Mr. Dreher looked at the proposal a little bit closer and sees there is a proposed layout and understands that this is sample layout (not a final detail). He further understands that the public hearing is not to discuss the detail but to discuss zoning that permits certain densities, the density for this area is on 16 hectares and for 330 residential units; Mr. Dreher had concerns about tall buildings in proximity to the Britannia residential area, Mr. Dreher stated that the sample layout shows 122 single family dwellings which leaves 210 multi-family dwellings (rough numbers) it's about 4 hectares of land that is shaded in the proposal that would have to accommodate the other 200 units; if you look at the current apartment buildings at Crown Isle there is 6 buildings that contain approx. 138 units; the new proposal is likely going to be more dense but if we look at same building model that would mean 9 buildings on that 4 hectares; the mix of single and multi-family is a concern that may be addressed at the point where the detailed proposals come out, Mr. Dreher is not aware if the zoning itself has the provision that would allow for the mix of single vs. multi-family units, in most of the descriptions Mr. Dreher has seen it's just overall density; Mr. Dreher is voicing that concern.

Mr. Dreher stated that on an overall level, this is going to be the most densely settled area of Crown Isle and he finds it "ass-backwards" that the densest area is in the furthest part of Crown Isle. If we want to have densification, Mr. Dreher thinks from a transportation perspective he would want to see them closer to the centre of town. The other item Mr. Dreher noted in the 60 page report is that there is no discussion of transportation anywhere in the report. There is discussion of greenways, but with all this development and secondary suites allowed, there will be a fair bit of population looking to use public transportation and Mr. Dreher does not think Crown Isle is particularly well serviced for public transportation and maybe could be addressed in the detailed proposal.

**Lorne Seitz, #160 - 3399 Crown Isle Drive, Britannia Place Strata, Courtenay** - Mr. Seitz spoke on behalf of he and his wife in favour of Bylaw Nos 2972 & 2973 and in support of the rezoning application. Mr. Seitz and his wife have lived in Britannia Place Strata since 1998; for some period of time they've had uncertainty of what would happen with this piece of property which has had an impact on sale-ability of some of the units in Britannia Place; until there is certainty what the rezoning will provide, it leaves sale-ability of units up in the air. Mr. and Mrs. Seitz definitely support the rezoning.

Mr. Seitz has been on the Council for Britannia Place Strata for many years and has a very good relationship with Crown Isle; Mr. Seitz found Crown Isle to be very consultative and have never had any problems sitting down with them to talk about any issues that have arisen and expects that that relationship will continue. Mr. Seitz's neighbour raised some very important issues concerning the number of units that will be on the property, that's an issue that they will be looking carefully at in future subdivision applications; if you go up to 330 residential units how do you get that many units in that piece of property? In Mr. Seitz's point of view the rezoning that is proposed right now is the correct zoning.

Mr. Seitz stated that part of the map that was presented, there is a proposal for 10 units which would be the final phase of Britannia Place; Mr. Seitz stated that they are dealing with the developer who has been the developer since 1998, they have had an excellent relationship with the developer and they have not proceeded to doing anything without consulting with Britannia Place Strata; Mr. Seitz stated that they have had discussion at the general Britannia Place Strata meetings and there has been very strong support from the owners for the development that is proposed right now.

Mr. Seitz strongly urges Council to take this into consideration. With 61 units in their strata and located right next to the proposed development, they have as much or more interest in this proposal as almost anyone else and “we have very strong support” for the development.

**Heide May, 1164 Parry Place, Comox - (*Written and Verbal Submission*)** - Ms. May spoke in opposition to Bylaw Nos. 2972 & 2973 Ms. May has lived there since 1978, Ms. May’s property is located in the Anderton corridor, in Comox Valley Regional District (CVRD), bordering Longlands Golf Course and Crown Isle is located to the east of Ms. May’s property.

Ms. May proceeded with reading her email dated January 20<sup>th</sup>, 2020 to Council (attached).

On the surrounding areas when this property was purchased, Crown Isle and Longlands were heavily forested with many marshes and swamps acting as catchment basins for rainwater. The development of these areas and deforestation, filling in of swamps and channelization of waters, serious drainage issues have ensued. In 1981 the Brooklyn Creek drainage plan was established prepared by Koers and Associates; the drainage plan has been altered many times to suit the developers allowing great amounts of water to be drained downhill, through drainage pipes from retention Pond No. 20 and into the easement of lot E; that drainage has been a concern since 1981 and Ms. May feels they have not been listened to. Crown Isle has done further development and another drainage study ensued and the amount of storm water has since doubled though Crown Isle states they cannot abide whether the storm water discharge will be more or not.

To make the drainage more complicated, being in the regional district, the Ministry of Transportation and Infrastructure (MoTI) is responsible for the drainage. There is a 20 ft. easement where Crown Isle drains into retention Pond No. 20, the easement has not been maintained properly and is causing erosion to Ms. May’s driveway.

Ms. May spoke to the history of Lannan forest: half of it is logged off and half of it is now proposed for development. Ms. May has read the proposal and it hasn’t had a drainage study but speaks to off-site drainage.

Ms. May stated that drainage from Longlands Golf Course has negatively impacted her property on the northwest and most southeastern portion of Lot D for many years; a pipe had to be installed by Longlands that circumvents Ms. May’s property and the storm water from this pipe drains illegally onto Ms. May’s property.

With the proposed development no drainage study has been done but the developer is indicating that the drainage will be done in a southeastern direction (cannot dump any more drainage into Parry Place as it is overloaded already) the southeastern direction involved Ms. May’s property which she has gone to court over previously.

In the last month, Ms. May stated that somebody walked into her property placing blue flagging on the property which no one owns up to, strangely the blue flag tape coincides with blue flagging on the adjacent Longlands property.

Ms. May is requesting a drainage study involving the City, CVRD and Comox so all 3 entities work together on the study and find a solution to drainage that has been going on for 40 years before any development proposal goes ahead. “We have not been heard.”

**Richard Cook, Professional Planner, Jordan Cook Associates, 2689 Hardy Crescent, North Vancouver (on behalf of the Applicant) - (*Written and Verbal Submission*)** Mr. Cook spoke in favour of, and in support of, Bylaw Nos. 2972 & 2973 and Lannan Lands; Mr. Cook stated that he is at the public hearing to speak on behalf of the applicant, Silverado Land Corporation, owners of Crown Isle.

Mr. Cook stated that he would like to address some of the comments expressed during the public hearing this evening; what we've heard is that there is a need for balancing between various interests: density, environmental values and municipal values.

Since May 2019 the developers have worked with City staff and area neighbours on this application, including public information meeting attend by 45 - 50 attendees. Materials presented during the public information meeting were included in the information package to Council at first and second bylaw readings and posted on the City's website; there has been broad support for the development from the attendees at the public meeting and subsequent as well as public submissions.

Brooklyn Creek Watershed society wrote on October 8<sup>th</sup>, 2019 that "Silverado had met our concerns about Brooklyn Creek and the changes you have made, address our concerns." (some of the folks at the public hearing this evening may be referencing a previous version of the concept plan) Mr. Cook stated they had a letter last week from Mr. Ian Moul (not sure if he is here tonight) Rick Waldhaus, CFO, Silverado Corporation, went out and met with Ian and he subsequently sent a second letter that recognizes there have been changes made particularly with respect to preservation of the trees that were referenced earlier. Both of the letters from the two groups Comox Valley Conservation Partnership and Brooklyn Creek Watershed Society were submitted to staff in late October 2019 and are attached to this written submission which will be provided to the City Clerk.

Mr. Cook continued reading from a prepared statement to Council (attached)

**Chair Morin** - Clarified the purpose of the public hearing is to receive information, it is not to receive questions unless it is a point of clarification that needs to be made.

**Tanya D'Aoust, 1179 Parry Place, Comox - (*Written and Verbal Submission*)** - Ms. D'Aoust spoke in opposition to Bylaw Nos. 2972 & 2973 and is seeking clarification for people who are referencing "talking to neighbours" whether or not if those neighbours all have a Crown Isle address or if that includes neighbours who border the Crown Isle properties? Ms. D'Aoust is a neighbour and stated that they have not been informed or invited to a public information meeting.

**Ian Buck, Director of Development Services** - Responded to Ms. D'Aoust's question; Mr. Buck stated that notices are sent to properties within 100 metres of the property that is under application; in this case, notification included both properties within the City of Courtenay and in the Comox Valley Regional District.

**Nick D'Aoust, 1179 Parry Place, Comox - (*Written and Verbal Submission*)** - Mr. D'Aoust spoke in opposition to Bylaw Nos. 2972 & 2973.

Mr. D'Aoust proceeded with reading his email dated January 20<sup>th</sup>, 2020 to Council (attached).

Mr. D'Aoust stated he is objecting to the OCP/zoning amendment of the Lannan property, we have reviewed the submitted documents, specifically the conceptual servicing report submitted by Koers Engineers Ltd. it proposes two possibilities, to drain storm water from the site. The Lannan Road ditch or through Longlands (which is actually now Crown Isle) to Brooklyn Creek. In no way can storm water from this site be permitted to flow into Brooklyn Creek drainage system. We have lived adjacent to Crown Isle retention pond for 17 yrs. We have a long history with the storm water management of Crown Isle and the City of Courtenay the storm water from Lake 20 has been a recurring nuisance for us and Heide May who spoke earlier (since the 70's I guess) we believe the infrastructure outside the City has been upgraded to meet the doubled outflow from Lake 20 as a result of the updated drainage study performed by Koers Engineers some years ago. (I can't recall the exact dates but Mr. D'Aoust met with David Allen and there was an updated drainage study that doubled the outflow from Lake 20 that went from  $\frac{3}{4}$ 's of a cubic metre per second to  $1\frac{1}{2}$  it was arbitrary as the storms have been more frequent, last longer and are a higher intensity). Mr. D'Aoust stated that he was the one who forced the City to share this private study with the Town of Comox and the CV Regional District; the study was done by Crown Isle and submitted to the City, there was no communication to the CV Regional District or Town of Comox about the upgraded flow. Given our history, a development of this size cannot proceed without a comprehensive drainage study being completed, not only to the subject property but also the effected properties and jurisdictions downstream.

Ms. D'Aoust asked, "have you notified parties downstream because we were not notified."

Mr. D'Aoust has notes from a meeting he had with the City's engineer in 2010 about Lake 20 overflowing; Lake 20 overflowed in 2009 and flooded Mr. D'Aoust's property and house. This was rectified but his meeting with City staff was in 2010 and the repairs were completed last year along with the Hudson sewer trunk line. There was to be a swell for the 1:100 flood event to keep the water off Mr. D'Aoust's property.

Mr. D'Aoust wondered for 10 years, "when am I going to get flooded? when is it going to happen and when is the sheet of plywood going to block the outflow?" Previous (female) engineer promised the City would take over and control the mechanism that control's the outflow of Lake 20; storm water is still a private easement owned by Crown Isle, the storm water goes through pipe on registered easement then goes through someone's private property. Thought has to be given where is storm water is going to go, it's a big issue. Mr. D'Aoust used to be a developer, agrees with higher density that leaves more greenspace to absorb water and preserve nature. The City needs to give lots of thought how you want to deal with neighbours.

The last development of Lake 20 subdivision; when Comox and Courtenay met, the biologist agreed that Lake 20 subdivision was not done properly as a section of houses drains into Lake 20 with no time to settle; Brooklyn Creek is salmon bearing and Lake 20 is fish bearing (wasn't known at time of application) now it is known. There has been precedence; the outflow is doubled outflow; if plan is built out over next 15 – 20 years who's to say the water won't double again.

Article from Comox Valley Record titled - *Crown Isle Defends Lannan Forest Clearance* - Mr. D'Aoust quoted from the article "Ron Coulson quote - I wish to set out the facts; as to the process that Silverado Land Corp. has established prior to and during the logging and clearing of Lannan property. In early January, engineering team assessed the timber stands and established property boundaries, they were specifically asked to identify the wetlands and any potential water flow across property boundaries but Coulson noted they found none that flowed towards Brooklyn Creek."

Mr. D'Aoust stated historically there was no water going through Brooklyn Creek and now there will be a detention pond constructed on Longlands that will flow into Brooklyn Creek; it is multi-jurisdictional - they will be taking City water and will store it in CVRD; the water will keep flowing into CV Regional District and Comox.

Perhaps sending water through Beaver Meadows Farm; maybe they can take the water as it is a little less developed; if there is a drainage study, it should be done first before development is done, not after - contractors building Crown Isle have been caught by storm water, putting in sump pumps and pumping sediment laden waters is questionable - drainage should be done before, not after.

**Chair Morin** - Clarified the purpose of the public hearing is to receive information and asked speakers to please refrain from directing comments to specific members of the public, and to refrain from engaging in a back-and-forth, members and Council are present to listen

**Ed Fudge, #365 - 3399 Crown Isle Drive, Britannia Place Strata, Courtenay - (*Written and Verbal Submission*)** - Mr. Fudge spoke in opposition to Bylaw Nos. 2972 & 2973. Mr. Fudge expressed his opposition to the destruction of wetland associated to Britannia Place Strata.

Mr. Fudge proceeded with reading his email dated January 10<sup>th</sup>, 2020 to Council (attached).

Mr. Fudge presented a summary of the concerns expressed in his letter to Council and stated that he and his wife are not opposed to the general development of the property itself (the land) and stated it's stripped to bare earth right now; their main concern is about the drainage of this area and are really concerned where there is existing trees and existing wetland.

Mr. Fudge added that he is concerned for salmon habitat (there isn't a chance that a fish could possibly survive in the new ditch that was built as a drainage ditch going in to Lake 20).

**Kelly Klassen, 2142 Comox Logging Road, Courtenay** - Mr. Klassen spoke in favour of Bylaw Nos. 2972 & 2973. Mr. Klassen stated he is the owner of Klass Enterprises and the builder of Britannia Place Strata 20 years ago. Mr. Klassen's expressed interest in this proposal as he is planning to purchase a portion of this land from Crown Isle; Mr. Klassen acknowledges this is a larger project with a lot of complexity and thanked staff and Council for the careful consideration put into this project and the work done by Crown Isle and staff to date. Mr. Klassen stated that a lot of concerns have been brought forward by the public, and as a concerned citizen who has lived and contributed to the community for 40 years and due to nature of his work, he is keenly interested in responsible development. Mr. Klassen has worked with Crown Isle for 20 years and learned they share mutual goals such as a commitment to quality and sensitivity to demands of this segment of the housing market.

Mr. Klassen spoke personally on his feelings about the project; as noted there has been a change in Crown Isles methodology related to densification and sustainability, around the Comox Valley there has been talk about making this a more age friendly community, aging in place, and when these broad terms are being discussed he wants to make sure that it is understood that we are speaking of people who are friends, neighbours and families. Mr. Klassen stated that he is getting to the stage in life where his parents are getting older, health concerns are becoming more frequent; and his parents are talking about downsizing so he is pleased to see that this application is directly addressing some of these concerns in our community right now.

Mr. Klassen further stated that he spends a lot of time outdoors, hiking/fishing/camping; looking after the environment and developing responsibly is something very important to him so he is pleased to see that in this application Crown Isle is working toward cooperating with local agencies and local community groups to deal with the challenges on this property.

Mr. Klassen also spoke to the need for buildable land in this market segment; there are another 10 units coming in for Britannia Place and if everything proceeds here (he does not have a development permit or has started marketing for these units yet); he has received 25 expressions of interest already for these units and at least 5 would be willing to provide a cheque tomorrow if there was something he had to offer to them; this is definitely a clear need in the community. Mr. Klassen is pleased that land that has long been in the Regional Growth Strategy as settlement expansion area is finally being able to be looked at and fulfill its potential.

**Megan Ardyche, 693 Lancaster Way, Comox** - Ms. Ardyche did not verbally state whether she was in favour or opposed to Bylaw Nos 2972 & 2973 but brought forward questions phrased as principles; when evaluating this application will Council look at values other than housing and generating profits for developers and Ms. Ardyche asked Council to seriously consider how this project fits into the Urban Forest Strategy and Municipal Natural Assets Initiative (MNAI); these are values that often get set aside in the interest of building more housing. A gentleman earlier this evening mentioned Dawn to Dawn Action on Homelessness Society; Ms. Ardyche stated she personally has a difficult time imagining that Crown Isle will be welcoming homeless people into the area. Ms. Ardyche asked Council that if Crown Isle talks about affordable housing and providing housing for homeless citizens that Council holds them to that and that it's more than just one affordable unit set aside for affordable housing. Ms. Ardyche said that often these types of things end up just disappearing; and doesn't feel Crown Isle is going to encourage homeless population to move into the area.

Ms. Ardyche expressed concern about the environment, and asked that Council consider the Urban Forest Strategy and the importance of the MNAI to mitigate climate change and as stated by a few people during the public hearing, storms are stronger and there is more water coming. Ms. Ardyche stated that it's important to plan for that in the future and not just focus on providing more houses for more rich people to come here, raise the property values for everyone who already lives in the Comox Valley and raise living costs for our children who want to live here.

**Arzeena Hamir, 2641 Kirby Road, Courtenay** - Ms. Hamir did not verbally state whether she was in favour or opposed to Bylaw Nos 2972 & 2973 but stated she is speaking on behalf of residents of Area B and to reiterate the call for a hydrological and drainage study of the property before giving assent to make changes to bylaws. Ms. Hamir said that she was informed by residents of Area B, who couldn't attend the public hearing, how difficult and worried they are about this application and the exacerbation of problems that already exist due to previous development. As stated by residents of Parry Place, there are residents in the area of Hudson Road who have found water is already crossing Anderton Road from the ditches, hitting Hudson Road and flooding the area around Atlas Road and Hudson Road.

Ms. Hamir said that the idea of draining property elsewhere is a 20<sup>th</sup> century method of engineering and Ms. Hamir hopes that Council considers a more modern and ecological response to water to infiltrate the water on-site without impacting downstream. Many jurisdictions lie downstream from this property including Area B and the Town of Comox; and, the Ministry of Transportation and Infrastructure (MoTI) will be involved as some of the ditches are within MoTI's jurisdiction. Ms. Hamir commented that as more jurisdictions get involved it becomes more difficult to resolve a problem once it's already in place. In Area B there have been impacts to previous developments all the way to Lazo through drainage that is now costing millions of dollars to remediate.

Ms. Hamir asked that before Council makes a decision on something that could impact residents outside of the City's jurisdiction she hopes that Council will agree that a professional hydrologist be hired and a proper hydrological study be done on the site.

**Paul Jordan, 2221 Idiens Way, Comox (Area B)** - Mr. Jordan did not verbally state whether he was in favour or opposed to Bylaw Nos 2972 & 2973 but spoke as a rural resident that has been impacted by decisions of previous City Councils with disregard for life of residents in rural areas and stated that this is another stone in the water to add to the problems they are already having in rural areas. Mr. Jordan has lived in the area for 26 years; Crown Isle development first impacted Mr. Jordan by raising the water table under his house, the water table has risen 3 - 4 metres since the area was clear-cut and now developed as Crown Isle.

Mr. Jordan stated that it used to be a quiet area and that Idiens Way used to be a dead-end road. Mr. Jordan said that the City of Courtenay unilaterally decided, with he assumes the approval of the CV Regional District and Ministry of Transportation and Infrastructure (MoTI), to put the road through. This decision has had a heavy impact on residents (Mr. Jordan included) residents have been putting up with construction from Crown Isle non-stop for at least 9 years, construction vehicles, people racing up and down their once quiet rural road; it's completely changed the way they live in this area.

Mr. Jordan said that people have talked about how it used to be a safe place to walk; the urbanization of rural areas and impact to Lannan forest and permission to clear-cut the headwaters to Brooklyn Creek (second growth forest 90 years old) has had a huge impact to drainage with no prior study. The past clear-cutting was done with no expectation that the land would be brought into the City of Courtenay or rezoned from single family rural category to residential just so people can make money. Mr. Jordan stated that people who have bought property in Crown Isle have seen increases in property value (this development could see the value of these houses increasing by 10 - 20%) but the development hasn't increased quality of life or how Mr. Jordan feels about the number of traffic going by his house every day. Initially there were 120 vehicles going by each day while it was a dead-end road, now its closer to 2,000 - 3,000 vehicles each day as it is the only exit point from Crown Isle other than Ryan Road and Lerwick Road and Guthrie Road. Mr. Jordan said that the City has installed so many lights on Lerwick Road that people are now using Crown Isle Boulevard as a short cut. There are no stops signs or impediments until you get to Idiens Way; all this urban development has impact to rural residents. Mr. Jordan said there has never been any interaction between Crown Isle and the City other than the petition initiated by residents to try to stop Idiens Way from going through; there was no conversation with rural residents who were negatively impacted by development and rezoning.

Mr. Jordan stated that Crown Isle now owns the golf course which is probably the headwaters to Brooklyn Creek; increased rural development and what's left of Lannan forest is going to have a huge impact on what is left of the drainage system in the entire area. Mr. Jordan added that he may have to install a sump pump in his house following this development to address the rising water table; it needs a proper riparian study of the area from the City of Courtenay.

**Ron Barrow, 2120 Lannan Road, Comox** - Mr. Barrow did not verbally state whether he was in favour or opposed to Bylaw Nos 2972 & 2973 but stated he did not receive any correspondence or notice about this development and said he seconds everyone's concerns about drainage. Mr. Barrow stated that the clear-cut drains up against his property on the other side of the fence for the past 10 years and he doesn't think the drainage will get any better. The plans came out referencing Ministry of Transportation and Infrastructure (MoTI) easements with old easements that were changed 10 years ago; the changes are not reflected in the new plans. Mr. Barrow stated that this has raised more concerns for him as the current culvert that runs along his property is at maximum capacity and may need to be upgraded as well as the holding pond.

Mr. Barrow reiterated that he seconds everyone's concerns related to hydrology.

**Michael Linton, 1600 Embleton Crescent, Courtenay** - Mr. Linton did not verbally state whether he was in favour or opposed to Bylaw Nos 2972 & 2973 but spoke to his recollection that the previous City council who approved the expansion of Crown Isle development provided employment to the retiring Mayor the day after he retired. It is important when considering issues such as this to remember that where people are looking (location) and who are considering this a good idea; all too often we see that money is involved and it is flowing in one direction with as much of inevitability as water flows in the direction of town. Mr. Linton stated that he hopes this Council has reached a higher level of maturity than the predecessors of those days.

**Nick D'Aoust, 1179 Parry Place, Comox** - Mr. D'Aoust returned to the podium to make additional comments. Mr. D'Aoust stated that there has been little communication, one example is based on a personal interaction he had with a Koers engineer on-site; when they cleared the land for the car dealership between Lake 20 and Mr. D'Aoust's property, Mr. D'Aoust took the time to repair his fence and installed new gate (workers observed Mr. D'Aoust doing this) when the workers began to build the swell for the overland overflow of Lake 20 they constructed a retaining wall right in front of Mr. D'Aoust's gate and he was unable to open or use his gate to access the public pathway. When Mr. D'Aoust tried to communicate this to the engineer the engineer stated "We do not need to talk to you, our development doesn't concern you."

The retaining wall has been made one layer of blocks higher than property next to Mr. D'Aoust where the water drains over; Mr. D'Aoust is still waiting for a response from Koers and Associates through the City as to why the retaining wall is higher along his property; there is a long history of mistreatment of people outside of Crown Isle.

Mr. D'Aoust stated that notification within 100 metres of the development should be expanded and includes those residents of the area who have spoken before.

**Bruce Holding, 1975 Atlas Road, Comox** - Mr. Holding returned to the podium to confirm that the people who were worried about hydrology and water run-off from Crown Isle since the last clearing, (Mr. Holding lives on Atlas Road) the amount of water that comes through his culvert has tripled. Mr. Holding said that if people want salmon to swim upstream "good luck" there is so much run-off it's unbelievable, it happens all year and not just during max time; it has to be dealt with.

**Richard Cook, Professional Planner, Jorden Cook Associates, 2689 Hardy Crescent, North Vancouver (on behalf of the Applicant)** - Mr. Cook returned to the podium to raise a point of clarification and to request staff that for third reading of the bylaw, staff confirm the City's policies regarding drainage studies for the benefit of Council either tonight or in a briefing to Council at 3<sup>rd</sup> reading since we've heard from many neighbours about the issue of drainage studies.

Mr. Cook stated that it is their understanding that they need to be fully compliant with Subdivision and Development Servicing Bylaw No. 2919, 2018 which requires drainage studies/drainage works to be done comprehensively and subject to the Approving Officer of the City of Courtenay. Mr. Cook stated that because the development is bordering on the Comox Valley Regional District (CVRD) and proposing works within the CVRD, it would also involve the MoTI Approving Officer. Mr. Cook said that's the appropriate place to do those studies and they are certainly cognizant of the comments that have been made at tonight's public hearing and respects the right the public has to speak to Council and share their opinions.

**Gillian Anderson, 2561 Sackville Road, Merville** - Ms. Anderson returned to the podium to comment on a remark made by Mr. Cook; Ms. Anderson said that if she was understanding correctly, Mr. Cook is asking Council to put through the rezoning and then will comply with a drainage strategy but Ms. Anderson stated that the point could be made that the drainage strategy (there are fundamental problems here) could be far reaching, to put through the development without knowing what information the drainage hydrology report will bring forward, is not a prudent thing to do. This rezoning may need to have far reaching actions taken so there is a sink for all this water and Ms. Anderson stated that you don't know until you have the studies; to do the zoning without the studies is a dangerous action.

Ms. Anderson further stated that she finds it very infuriating that representatives of the development and spokespeople are saying that Crown Isle has provided sustainable development when it was done on clearing of forests that was initially funded by the public.

**Lorne Seitz, #160 - 3999 Crown Isle Drive, Britannia Place Strata, Courtenay** - Mr. Seitz returned to the podium for clarification and noted that there tends to have been some comment about the public being opposed to cutting of trees in Lannan forest; Mr. Seitz stated he is a member of the public and lives right next to the Lannan forest and he definitely was not opposed to the cutting and that he knows a lot of people who weren't. Mr. Seitz stated that yes, some were, but would prefer it portrayed that some were opposed and not that everybody was opposed; Mr. Seitz does not believe that was the case at all.

Secondly, Mr. Sietz wished to point out that there are many professionals and organizations that have a responsibility to assess everything respecting hydrology and fisheries issues; they are the ones that he believes Council should look at, and Council review the reports and comments produced by these professionals and not the well-meaning opinions of others. There are professionals that are hired to review these things and Mr. Seitz would certainly give a high level of consideration to what the professional organizations have to say; there may be a broad regional issue with respect to drainage which will not be resolved unless there is a major change in governance of the whole Valley. Mr. Seitz said he thinks that Area B residents that are concerned would advocate for and urge incorporation into the City of Courtenay because then Courtenay will have to take these issues into account immediately. Right now the CVRD, Town of Comox, Fisheries, Ministry of Environment and Ministry of Transportation all have a responsibility and he is sure they are taking it all into consideration.

**Gillian Anderson, 2561 Sackville Road, Merville** - Ms. Anderson returned to the podium to clarify her remarks regarding broad support for public forests is because there was public money put forward, when people put money where their mouth is it is because it is something that is very near and dear to them. Secondly if Council is asking professionals to make these decisions that is absolutely right, Mr. Moul who asked for the hydrological survey is a biologist and landscape ecologist and he is calling for this and as a note, the biologist hired by Crown Isle is working for proponent and is not peer reviewed by other scientists and could supply names of several other scientists.

**Chair Morin** - Clarified the purpose of the public hearing is to receive information, to refrain from directing comments to specific people in the gallery and to address the Chair and Council when speaking.

**Paul Jordan, 2221 Idiens Way, Courtenay** (Area B) - Mr. Jordan returned to the podium to rebut the comments made by Mr. Seitz about Area B joining Courtenay to have more say as a result of the City approving development in the area around Area B to be an interesting comment; when speaking to annexation and having more land incorporated in the City of Courtenay, it is something Mr. Jordan is vehemently opposed to. Mr. Jordan thinks that the continued settlement/expansion as part of OCP is a very scary thing for residents as taxes would increase with no more services.

Mr. Jordan stated that they already feel disenfranchised and do not need to be enveloped by City of Courtenay as everything the City does has a huge impact on the surrounding and it's more so every time Silverado Corp. adds another proposed development.

**Councillor Hillian** - Brought forward a point of order, Councillor Hillian expressed hope that if there are more speakers to come forward, the discussion is confined to the rezoning in question and not a debate about amalgamation or related issues; Councillor Hillian acknowledged that people have been passionate in their comments and hopes that people are comfortable knowing that Council has heard what they have to say.

**Chair Morin** - clarified the purpose of the public hearing is to receive information regarding the rezoning.

Acting Mayor Morin declared the public hearing for Bylaw Nos. 2972 & 2973 closed at 6:28 p.m.

## **PUBLIC HEARING SUMMARY OF REPRESENTATIONS**

There were **5** representations at the Public Hearing in favour of Bylaw Nos. 2972 & 2973; of the 5 representations 3 provided verbal representations only and 2 provided both verbal representations and written comments (1 being the Applicant's representative).

There were **2** written submissions received prior to the Public Hearing (authors not present at the Public Hearing) in favour of Bylaw Nos. 2972 & 2973.

There were **8** representations at the Public Hearing neither in favour nor opposed to Bylaw Nos. 2972 & 2973; of the 8 representations, 7 provided written verbal representations only and 1 provided both a verbal representation and written comments.

There were **5** written submissions received prior to the Public Hearing (authors not present at the Public Hearing) neither in favour nor opposed to Bylaw Nos. 2972 & 2973.

There were **4** representations at the Public Hearing opposed to Bylaw Nos. 2972 & 2973; of the 4 representations 4 provided both verbal representation and written comments.

There were no written submissions received prior to the Public Hearing opposed to Bylaw Nos. 2972 & 2973.



Wendy Sorichta,  
Manager of Legislative & Corporate Administrative Services/  
Deputy Corporate Officer



Written Submissions  
in Favour of Bylaw No:



Written Submissions  
General Comments By



Written Submissions  
Opposed to Bylaw Nos



Email Distribution  
Cover Sheets - Bylaw

VERBAL AND WRITTEN  
SUBMISSION

**Britannia Place VIS 6195  
3399 Crown Isle Drive  
Courtenay, British Columbia  
V9N 9X7**

January 20, 2020

City Council  
City of Courtenay  
830 Cliffe Avenue  
Courtenay, BC  
V9N 2J7

Dear Mayor and Council,

I am writing on behalf of Britannia Place strata council in support of residential rezoning of the lands immediately east of Crown Isle and a part of the Lannan Road Development. The pertinent item is OCP Bylaw Amendment No. 2972 to amend the land use designation of the Lannan Road property (to Mixed Use) & Zoning Amendment Bylaw No. 2973 to rezone the Lannan Rd. property from the CVRD RU-8 Zone to a new CD-1J Zone.

Britannia Place is a 61 unit residential patio home strata adjacent to the lands under rezoning consideration by Council. The strata was developed over a 10-year period from 1998 to 2008. With rezoning of the above lands, the original developer, Klass Enterprises, intends to construct a 10-unit strata of the same design and amalgamate it with Britannia Place. Our council has worked closely with the developer and Crown Isle to ensure the interests of our owners are taken into consideration and that amalgamation of the new strata with Britannia Place is successful. This development will complete our strata and owners look forward to the security of knowing how their neighbourhood may be impacted by rezoning and new construction.

In closing, we seek to assure Council that we support residential rezoning of the lands and are satisfied that as new parcels come into the plan for Crown Isle no buildings adjacent to Britannia Place will be more than two stories high.

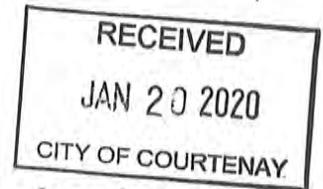
Respectfully submitted,



Bob Kitchen, President  
Britannia Place Strata Council

LANNAN Rezoning and OCP Bylaws 2972 and 2973 Public Hearing– 2019-01-20:

Presentation to City of Courtenay Council, on behalf of Silverado Land Corp.



Richard Cook, a Registered Professional Planner and principal of Jordan Cook Associates based in North Vancouver, acting tonight on behalf of the applicants, Silverado Land Corp., owners of Crown Isle, support Bylaws 2972 and 2973 for rezoning and a related OCP amendment for what is commonly called the Lannan lands<sup>1</sup>.

As we have noted previously to Council, we have worked diligently with staff and neighbours since May 2019 on this application. That included a public information meeting with 45-50 attendees. Materials from that meeting are part of your information package. There has been broad support for the development from the attendees at that public information meeting and subsequent written submissions. Our clients have responded for example to questions around what type of development would back on to existing residences, particularly the Britannia Place strata development, and construction traffic. In response to the construction traffic, Crown Isle has advised neighbours of multiple access points to the Lannan property that will help alleviate and spread out the construction traffic while development occurs.

Crown Isle confirmed by letter of July 23, 2019 to Britannia Place strata that "Silverado Land Corp. will restrict the construction of any residential units that are built on a lot, or lots, that are immediately adjacent to the Britannia Place development to a maximum of two stories."

Following consultation, Comox Valley Conservation Partnership has provided a letter of support for the project dated October 23, 2019.

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<sup>1</sup> Lot 1, Plan VIP76495, DL206 Comox Land District and Part of Block 72. Proposed zoning of CD1-J. Proposed OCP designation of Mixed Use.

Similarly, Brooklyn Creek Watershed Society wrote on October 8, 2019 that “Silverado had met our concerns about Brooklyn Creek and the changes that you have made, address our concerns.” Both of these letters were submitted to staff in late October 2019, and are attached to our written submission for your convenience.

In summary Crown Isle has engaged with the neighbours on the project and have received strong support.

The City of Courtenay has rainwater management standards incorporated into its Subdivision and Development Servicing Bylaw, which has been recently updated in 2018 and reflects hydrologic forecasts which considers the effects of climate change.<sup>2</sup>

- The site has been subject to detailed review and recommendations by a Registered Professional Biologist and Registered Professional Forester, and their reporting is part of your package.
- The site designs have been amended in response to those reviews and in a cooperative effort with the Brooklyn Creek Watershed Society. We believe the current design reflects a best management approach to the site hydrology.
- the rainwater management measures, including a proposed detention pond downstream of the site on the Longlands golf course will be in full compliance with City and provincial approving officer requirements at the time of subdivision design and review.

The development concept has been crafted to respond to emerging trends in the Courtenay residential market --- including a wider range of housing consumers from townhomes to secondary suites, smaller single

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<sup>2</sup> The historical hyetographs ‘have also been adjusted to reflect a 15% increase in rainfall intensities’ (Sec. 4.4 Runoff Analysis, City of Courtenay Subdivision & Development Servicing Bylaw, 2018)

detached units, as well as duplexes and apartments. The goal is to broaden the affordability and lifestyle choice matrix at Crown Isle.

We will be extending the continuous web of green space which the larger Crown Isle master planning has pioneered in Courtenay. Lannan pedestrian paths will help complete important links in support of the Courtenay OCP.

In a December 13, 2019 letter Crown Isle made additional commitments. These included additional clarity on the commitment to multi-family units, to secondary suites as a permitted use with single family units, to solar and electric vehicle readiness, early delivery of park sites and improvements.

Subject to City approval, Crown Isle is looking to work with the Dawn-to-Dawn Action on Homelessness Society to deliver affordable housing to the homeless at an early date. That commitment is also described in your package.

We are actively engaged with the City's legal advisor to formalize these commitments into an agreement that can be registered on title. We were hoping to have that agreement ready for our response to the Council by today's hearing date, but we expect a draft to be sent for our consideration from the City's lawyer this week, and we will respond as soon as practical after receipt and review by our own lawyer.

Crown Isle is proud to have served as a continuous site for employment in the range of 300 people annually for the last 30 years, and the Lannan site will encourage that commitment to a vibrant community and local entrepreneurship to remain stable and hopefully growing as Crown Isle expands into new market segments.

We support 3<sup>rd</sup> reading and adoption of the bylaws 2972 and 2973.

If Council has any questions, it is my pleasure to do my best to answer them.

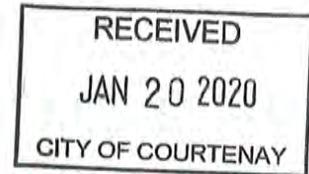
Thank you.

Sincerely  
Jordan Cook Associates  
Richard Cook, MCP, RPP, MLAI

**From:** Rick Waldhaus [rwaldhaus@crownsisle.ca](mailto:rwaldhaus@crownsisle.ca)  
**Subject:** Fwd: Message from "RNP002673C8511E"  
**Date:** January 17, 2020 at 15:29  
**To:** Richard Cook [rcook@jordencook.com](mailto:rcook@jordencook.com)



----- Forwarded message -----  
From: **Rick Waldhaus** <[rwaldhaus@crownsisle.ca](mailto:rwaldhaus@crownsisle.ca)>  
Date: Mon, Oct 28, 2019 at 3:43 PM  
Subject: Fwd: Message from "RNP002673C8511E"  
To: Fitzgerald, Matthew <[mfitzgerald@courtenay.ca](mailto:mfitzgerald@courtenay.ca)>



(PART OF RICHARD  
COOK'S SUBMISSION  
PACKAGE)

Hi Matthew.

I meant to send this to you and Ian today but for some reason it just went to Ian.

Please review at your earliest convenience and let me know if you have any comments or questions.

Thanks,

Rick W.

----- Forwarded message -----  
From: **Rick Waldhaus** <[rwaldhaus@crownsisle.ca](mailto:rwaldhaus@crownsisle.ca)>  
Date: Mon, Oct 28, 2019 at 10:53 AM  
Subject: Fwd: Message from "RNP002673C8511E"  
To: Buck, Ian <[ibuck@courtenay.ca](mailto:ibuck@courtenay.ca)>

Hi Ian.

We have now met with both the Brooklyn Creek Watershed Society and the Comox Valley Conservation Partnership. Both groups are satisfied with the amendments we have made to the site planning (as noted in the letter from BCWS). Please find attached the support letters from both the Brooklyn Creek Watershed Society and the Comox Valley Conservation Partnership regarding the Lannan rezoning.

I have also attached our draft letter, including the original and revised site plans, in preparation for first and second reading for your review and comments. Richard Cook is available for our delegation in support of the first and second reading.

Please review at your earliest convenience and contact me to discuss.

Thanks Ian.

Rick W.



**Erin Nowak**  
Program Coordinator  
(250) 203-5644  
Email: [erin@cvlandtrust.ca](mailto:erin@cvlandtrust.ca)

**Mailing Address**  
P.O. Box 3462  
Courtenay, BC V9N 5N5

**Office:**

**Date:** Oct 23, 2019

**Re:** Letter of Support, Planning Referral Lannan Rd/333 Clubhouse Dr

**To:** Ian Buck, City of Courtenay, Director of Development Services.

Recently, the Comox Valley Conservation Partnership (CVCP) met with Rick Waldhaus (Chief Financial Officer/Crown Isle) and Jason Andrew (Director of Real Estates/Crown Isle) in response to our concerns outlined to the City of Courtenay (Sept 3<sup>rd</sup>, 2019) regarding the Lannan Rd/333 Clubhouse Dr proposal.

We were pleased to learn that Crown Isle has since taken steps to improve communications with the local Brooklyn Creek Streamkeepers and addressed their concerns separately as well in this process.

2356a Rosewall Crescent  
Courtenay, BC, V9N 8R9

**Partner Organizations**

Comox Valley Land Trust  
Project Watershed  
Millard-Piercy Watershed Stewards  
Morrison Creek Streamkeepers  
Beaufort Watershed Stewards  
Comox Valley Nature  
Comox Valley Water Watch Coalition  
Brooklyn Creek Watershed Society  
Perseverance Creek Streamkeepers  
Cumberland Community Forest  
Society  
Mack Laing Heritage Society

**Support Organizations**

CV Sustainability Project  
CV Council of Canadians  
Friends of Comox Lazo Forest Society  
Forbidden Plateau Road Residents  
Association  
Black Creek Streamkeepers  
Saratoga and Miracle Beach Residents  
Association  
Arden Area Residents Association  
Friends of Strathcona Park  
Merville Area Resident's & Ratepayers  
Association  
VI Whitewater Paddling Association  
Mountaineer Avian Rescue Society  
Macdonald Wood Park Society  
Tsolum River Restoration Society

**Funding Partners**

Real Estate Foundation of B.C.  
Community Gaming Grant  
RBC Blue Water Fund  
Comox Valley Regional District  
City of Courtenay  
Village of Cumberland

[www.cvlandtrust.ca/cvcp/](http://www.cvlandtrust.ca/cvcp/)

The CVCP endorses the voluntary action of Crown Isle to relocate a proposed stormwater detention pond to a higher developed zone of the proposal as a result of meeting with Brooklyn Creek Streamkeepers. Therefore, allowing a higher percentage of unaltered, natural landscape to act as a natural infrastructure. In our meeting, the CVCP also encouraged Crown Isle to follow the 2019 consultant's Wetlands Assessment in regards to the site's hydrology and pursue additional riparian area recommendations.

The CVCP feels at this point, our meeting and the collaborative progress between Crown Isle, Brooklyn Creek Streamkeepers and CVCP on this proposal have alleviated our primary concerns.

We appreciate time of the Crown Isle team and the opportunity to address our concerns in person. As well, we (CVCP) look forward to working in partnership with Crown Isle on the future development projects.

Sincerely,



Erin Nowak  
Program Coordinator  
Comox Valley Conservation Partnership



October, 08, 2019  
Rick Waldhaus  
CFO Silverado Corporation

Rick, here is our formal reply to the proposal that we have been discussing. The italics are your changes with our reply.

*- stormwater pond to be relocated to the golf course area of the Longlands property in order to preserve the freed area.*

Agreed, anything that helps to maintain the existing forest is preferable. This will be much better than locating the pond in the forest

- existing drainage patterns to be maintained where at all feasible.  
Agreed

- the smaller southwestern treed area of the Lannan property will need to be removed but the larger southern treed section will be maintained (as shown highlighted in green on the attached map).

It is regrettable that the SW treed area will be removed but the ameliorating procedures should maintain current flows

- we will work with the City to have the walking trail/greenway constructed through the forested area.

Agreed - this is one area that we are very much in favour of. Perhaps a sign pointing out the importance of the area to Brooklyn Creek and species in it.

I would also mention that that the tours of the Crown Isle facility, by the Brooklyn Creek Watershed Society were very much appreciated. We have a much better understanding of how storm water is held back and released in a controlled manner.

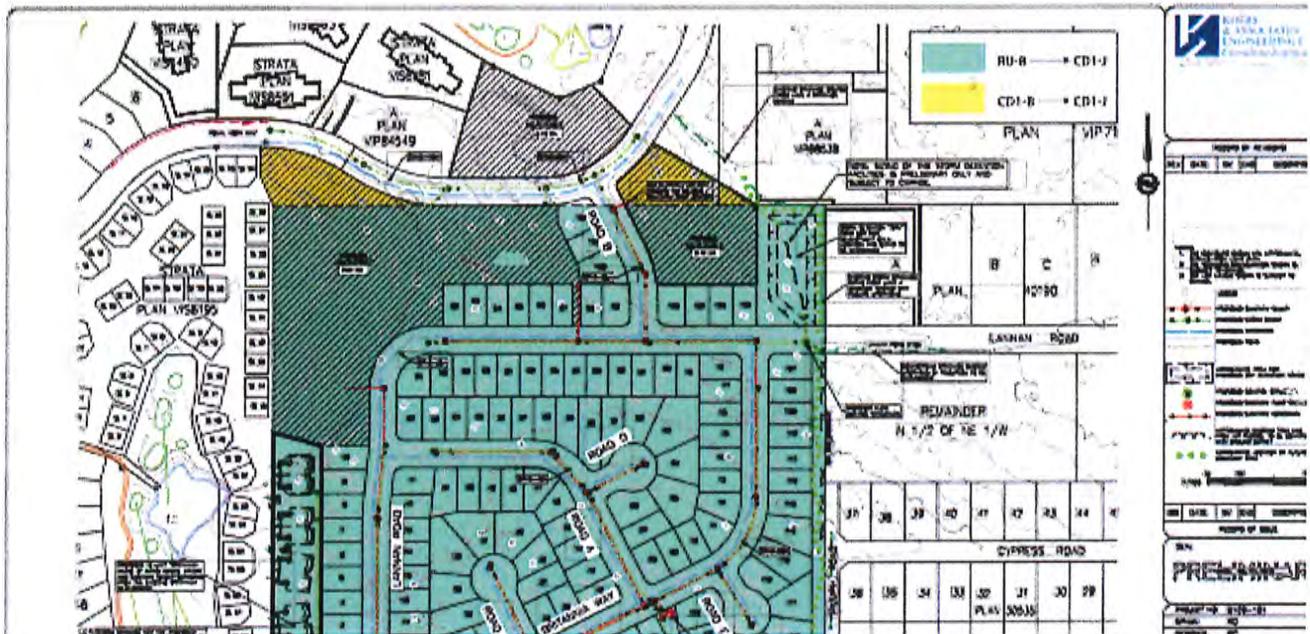
Though we would prefer that no development took place we understand that this is an urban area and Silverado had met our concerns about Brooklyn Creek and the changes that you have made, address our concerns.

I trust that we will be able to work together in the future along mutually agreeable targets.

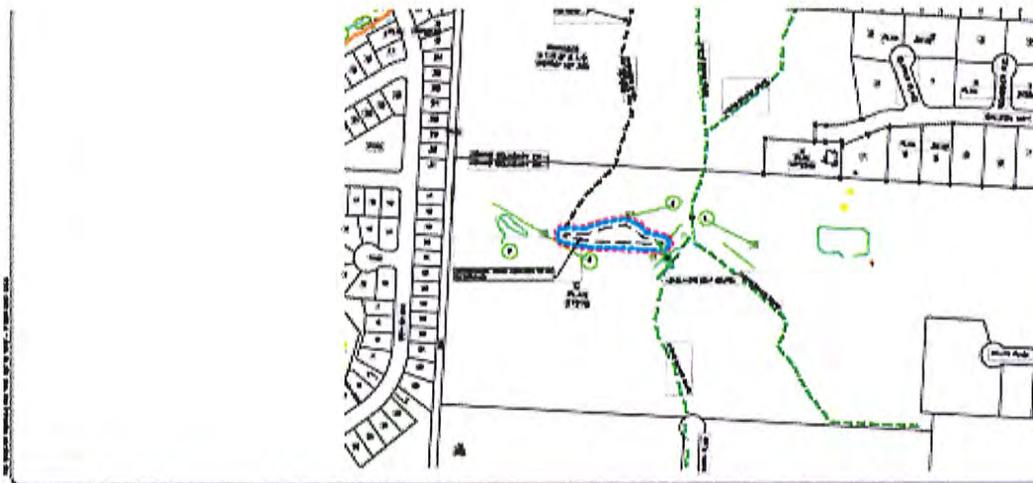
Sincerely  
Robert Deane  
President, BCWS  
cc Ian Buck, Director, Development Services



Lannan  
Letter.pdf







DATE	SCALE	BY	CHKD	REVISIONS
PROJECT NAME				
PRELIMINARY				
PROJECT NO. 9109-187-5K1				
SHEET NO. 01				
SHEET TOTAL 01				
DATE 04/15/09				
SCALE 1"=50'				
DRAWN BY				
SILVERADO LAND CORPORATION				
PROJECT				
LANSHAN ROAD DEVELOPMENT				
TITLE				
CONCEPTUAL LAYOUT SHOWING DOWNSIZED DRAINAGE AND DETENTION POND				
PROJECT NO.	DATE	BY	CHKD	REVISIONS
9109-187-5K1				

WRITTEN SUBMISSION  
ONLY

# INTEGRA

Jan 20, 2020

Mayor Bob Wells

Courtenay Council Members:

This letter is in support of the intended rezoning of the Lannan property by Crown Isle.

This is a well-designed project with a good mix of single and multi-housing options. Crown Isle has maintained quality in its developments and Lannan is a logical extension of that.

There is high demand for these types of properties and would be welcomed by the community.



Bill Larson

Integra Holdings Ltd.

3800 Beach Terrace

Courtenay BC V9N9T5

250-331-1877

bill@integrahomescv.ca



# Dawn to Dawn

ACTION ON HOMELESSNESS SOCIETY  
Unit 6C - 821 Shamrock Place, Comox, BC Canada V9M 4G4

WRITTEN  
SUBMISSION  
ONLY

January 20, 2020

City of Courtenay  
830 Cliffe Ave  
Courtenay, BC  
V9N 2J7

**RE: OCP/Zoning Amendment of Lot 1, VIP76495 (Lannan Rd) and Rem. Blk 72 (333 Clubhouse Dr.), File No. OCP 00007**

Dear Mayor Wells and Courtenay City Council

I write this letter on behalf of Dawn to Dawn Action on Homelessness in Support of Silverado Land Corp. in their application for OCP/Zoning Amendment of the above property.

Silverado Land Corp. have been generous community supporters over the years and specifically generous to Dawn to Dawn raising money on our behalf during the Christmas walk, plus their recent contribution of a WeCan Shelter Unit. When asking Crown Isle and Silverado Land Corp. for charitable donations I have never been turned away.

The type of development that they propose with mixed-use residential including both single family and multi-family units is what is needed in the Comox Valley. It will address both affordability and density. New multi-family units and smaller lot sizes will allow for people in the rental market currently to afford to enter the housing market. This in turn will create much needed rental space within the community to help house those in need.

I urge you to approve this amendment.

Sincerely

Steve Finneron  
President

Dawn to Dawn Action on Homelessness Society

January 19, 2020

Mayor and Council  
City of Courtenay

By email: [planning@courtenay.ca](mailto:planning@courtenay.ca)

Your Worship and Councillors:

Re: Public Hearing OCP/Zoning Amendment - Lot 1 Lannan Road and 333 Clubhouse Drive –  
Bylaw 2972 and 2973

We ask Council to postpone this rezoning process that will result in a major change to the Official Community Plan. Council has not been presented with sufficient information on the hydrology of the Brooklyn Creek watershed or the value of this remnant forest, which should be conserved in its entirety as a condition of rezoning.

Some of the issues that present themselves for further consideration are:

- Lack of a comprehensive hydrological survey of the Brooklyn Creek watershed
- Lack of discussion of the need to conserve the entire remnant forest to help replenish the aquifer and as wildlife habitat.
- An inadequate environmental review of the property which did not contain a bird, insect or amphibian survey.

**Lack of a comprehensive hydrological survey of the Brooklyn Creek watershed**

In his excellent letter, Ian Moul notes that two of three Brooklyn Creek tributary streams begin in this area so that it functions as a portion of the upper headwaters of the Brooklyn Creek watershed, a salmon bearing waterway. Ian Moul's professional opinion is that,

"... In stark contrast [to efforts in the Town of Comox], the ... Brooklyn Creek watershed in the City of Courtenay ... has seen phased development with no apparent understanding of overall watershed function. The result has been a systematic piecemeal destruction of the natural hydrology of most of the upper watershed on this tributary... most of the natural creek system is now in settling ponds, ditches or buried in culverts."

This highlights the critical necessity that Council have a full understanding of the natural hydrology of the area: Mr. Moul's request for an ecological review of the "biological function of the Brooklyn Creek watershed" that would analyze this proposed development in the context of the larger picture is prudent.

**Lack of discussion of the need to conserve the entire remnant forest to help replenish the aquifer and as wildlife habitat.**

I ask Council and Mr. Waldhaus to consider the hydrological advantages of conserving in its entirety the remaining seasonal wetland forest on this proposed property. Conservation of this remnant forest with its seepage areas retaining and slowly releasing water into the watershed will greatly aid not only in ensuring stable environmental flow levels for the Brooklyn Creek but in also replenishing the aquifer so much of the Valley relies on for well supply. The current stable level of our aquifer is probably due to the final melting of the Comox Glacier; but the aquifer level is likely to drop in coming years. As Jack Minard, former Executive Director of both the Tsolum River Restoration Society and the Comox Valley Land Trust, former chair of the Local Government Implementation Team for the Comox Valley Conservation Strategy's Community, and former Chair of the Salmon Enhancement and Habitat Advisory Board explains,

“Shallow wells along a ridge of the landscape from Sackville Road to the top of Mission Hill had been drying up over several years. This was due to new ditching intercepting rainfall and running it off the landscape faster and faster. Many homes, after relying on shallow wells for generations, had to drill to at least 250 ft. to get water. These two aquifers (shallow and deep) are separated by a layer of clay and many feet deep of glacial till. Water from the shallow aquifer does recharge the deeper aquifer in a slow manner through seeps and cracks in this separating layer. As development proceeded more ditching intercepted more ground water, runs it off to the streams faster leaving a number of impacts: the shallow aquifer is no longer a viable water source, the deeper aquifer is receiving far less recharge, streams and rivers are impacted by high and fast run off and the landscape becomes extremely dry in the summer, streams dry up and fish populations that require fresh water habitat in the late summer expire. Yes, ditching!” (Jack Minard email to G. Anderson May 2018)

The more water we can keep out of ditches and drainage systems, the more water will seep through to the underlying aquifer, and wild areas where water can pool are also valuable assets in flood control. The biological report commissioned by the developer has not been peer-reviewed, and parts of it were done at one of the driest times of the year. The report does not address the fundamental issue of the broader context of the hydrology of the watershed. Instead it acknowledges that “further assessment would be required to determine connectivity to fish” (page 3) for the north-east corner”. It also appears from photo 6 in this report that a storm drain is located nearby, which is likely draining this property at an abnormally rapid rate and thus distorting the hydrology of the forested seasonal wetland. Climate change mitigation and adaptation is one of the City’s goals, and there is no better ally for climate change mitigation than the conservation of natural wetlands, seasonal or year round.

By delaying this rezoning and investing in a comprehensive understanding of this watershed’s hydrology, Council will be safeguarding the health of Courtenay and attempting to repair some of the damage inflicted on the watershed over the last 30 years.

**An inadequate environmental review of the property which did not contain a bird, insect or amphibian survey.**

The study also did not include a bird, insect and amphibian survey, a normal component of any environmental report. That study would likely show the value of even a small patch of woods to birds, some in declining or threatened populations, competing for the decreasing availability of nesting and feeding sites. The Canadian Wildlife Service notes,

“In order to help ensure that you are complying with the Migratory Birds Convention Act, 1994 and the Migratory Birds Regulations, you should first determine the likelihood of the presence of migratory birds and their nests or eggs when planning activities to be carried out. It is recommended to use a scientifically sound approach that considers the available bird habitats, the migratory bird species likely to be encountered in such habitats, and the likely time period of encounters.” (Cut, Cut, Cut Sierra Club Canada, July 2019).

The proponent’s environmental report noted as many as 50 snags on the property, and in their blog, Conservation Northwest notes,

“Standing dead trees, called snags, provide birds and mammals with shelter to raise young and raptors with unobstructed vantage points. Large downed trees also provide important habitat for wildlife. Hundreds of species of birds, mammals, amphibians, reptiles and fish benefit from snags for food, nesting or shelter! ... Only 30 bird species are capable of making their own nest cavities in trees. The pileated woodpecker is a famous example. Another 80 animal species, like fishers, depend upon previously-excavated or natural tree holes for their nests... The insulation of a tree-trunk home allows wildlife to survive high summer and low winter temperature extremes. Tree cavities and loose bark are used by many animals to store their food supplies, while insects living inside the dead wood eat thousands of forest pests, which can harm living trees. Woodpeckers and creepers feast on the wood-eating insects and provide “sawdust” for ants to process. ... When they eventually fall into or near water and wetlands, fish and amphibians hide under and around dead wood. This aquatic “structure” provides important shelter for juvenile salmon, steelhead, char and trout. Without woody debris in our rivers and streams, these watersheds can’t provide adequate habitat for many native fish species.” (<https://www.conservationnw.org/our-work/wildlands/snag-trees/>)

Earlier surveys of the former larger Lannan Forest showed “two red-listed and one blue-listed plant communities, including an extremely rare occurrence of Aspen-crabapple and slough sledge.” (\$73 million crown land sell-off Revs Up, Tyee, March 26 2004). These woods are maturing second growth forest of about 60 to 80 years of age, with a significant height that makes them a beautiful feature on the landscape, and this small urban forest will be a valuable asset to the city as it represents so well the natural ecology of post-logging Courtenay. As well as their role as wildlife habitat and carbon sinks, urban trees aid with cleaning air and water, providing cooling benefits in summer, and increasing human psychological and physical health.

Given their value to the community and the stated objectives of community plans, saving this forest in its entirety should be a priority. One of the goals of the Official Community Plan is to ‘protect environmentally sensitive areas and support sustainable development practices.’ A major change to the Official Community Plan must make this goal a priority.

Again, in section 4.10, Environmental Goals are listed as “To preserve and protect environmentally sensitive and unique natural areas, particularly areas along the rivers, streams, and shorelines; To preserve and protect riparian areas; To protect and enhance fish and wildlife habitats; To protect the crucial hydrological functions of the area; ... To work with watershed and stream stewardship groups on environmental related matters.”

Under the section 4.10.4, Environmentally Sensitive Areas are defined as including “watercourses including the sea, ponds, lakes, rivers, streams, natural drainage courses and wetlands, riparian and wildlife habitat” which the City pledges to protect.

And finally, one of the goals of the Parks and Open Space section (4.6.3) 1 is “to identify and protect environmentally sensitive areas, wildlife areas, streams and riparian areas.”... and to support ... “nature parks or ecological parks ... representative of Courtenay’s natural diversity, wildlife or plant protection ... [and] to protect wildlife and riparian habitat.” Permitting the destruction of much of an almost ten acre forest is in direct conflict to all of those objectives. Partial removal of the forest will further affect hydrology and make remaining trees susceptible to blowdown. It is imperative the forest be conserved in its entirety.

### **Conserving the Forest**

It is very troubling that, given the appalling environmental destruction some years ago of most of the Lannan Forest, against the direct wishes of the community that had raised funds to buy those woods, this current development proposal would continue this further destruction of the remaining forest. The municipal staff could not advise the value that will be realized with the rezoning of this property from RU-8 to mixed use residential development, but with the average price of a lot in Crown Isle at \$350,000 (using what appears to be the lowest end price), 330 residential units will yield \$115.5 million dollars. Of course they will not all be single family lots, and there are costs such as the initial land purchase, infrastructure contributions for roads, etc., but it is clear that a great deal of money is going to be made if this major change to the Official Community Plan is approved.

Surely the developer would donate the remaining remnants of the Lannan Forested seasonal wetland, approximately 4 ha (10 acres) of the estimated 16.5 ha (41 acres) proposed development site, to the taxpayers and citizens of Courtenay. This is roughly one quarter of the property to be dedicated in exchange for major development rights.

In the Southlands (the former Spetifore farm) development approval process in Tsawwassen, another major land development similar to Crown Isle, the developer agreed to donate 80% of

the land, including a 90 acre forest, to the municipality of Delta for community gardens, wildlife habitat, public greenways and walkways, in exchange for zoning to develop the remaining 20%. Putting aside the arguments about that project's merit, even at that ratio of land donation it was still immensely worth the developer's decades of effort and project work.

Simply because we are out of the Metro Vancouver area doesn't mean we shouldn't have the same high standards for development. These are the standards of commitment that are now necessary for zoning approvals in the face of the climate and species crisis that is the result of past environmental destruction. Given that Mr. Moul has noted 'some commendable efforts being made by the Crown Isle Golf Course to enhance remnant portions of the upper creek,' (Ian Moul letter), we hope Mr. Waldhaus and the Crown Isle corporation will make this gesture to the community in a spirit of ecological concern and as part of their commitment to 'an expanding parks, natural areas and greenways system'. (Crown Isle letter January 6 2020).

It is critical that this forest be formally committed to City nature reserve in the application before Council contemplates this zoning application again. Your own staff report notes,

"Park dedication and development should occur in the first few phases of a development where applicable. By providing the park early, the future residents know what park amenities they are getting."

In setting high standards for environmental protection in development, Council not only sets precedent that holds future development to similar high standards, but benefits both current and future residents of the Valley. Developers make more money when they sell lots in attractive areas, and nothing makes an area more attractive to prospective residential and commercial buyers than the presence of conserved natural areas, forests and widespread tree plantings and greenway walking paths.

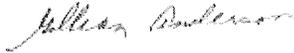
The Star Editorial Board opined that "...The stark consequences of global failures to protect habitat have been well-documented. Most recently, a landmark UN report found that one million species of plants and animals — out of a total of eight million — are at risk of extinction because of human action... Destruction of habitat and loss of biodiversity erodes economies, livelihoods, food security, health and quality of life... We must conserve biodiversity and important ecosystems **wherever they're found**, not just in places where few people live and work and commercial interests are low.... The longer we put off doing that, the less there will be to protect now and forever. "(Canada should move faster on protecting land from development, Star Editorial Board July 28, 2019).

If we are to have a town with a place for wildlife, if we are to have a province and a country replete with wildlife, it is critical that local urban woods are protected. When you look back on your legacy, you will never be sorry if people remember you as someone who stood for conservation of ecologically sensitive areas.

We urge you to postpone this rezoning application. One of the goals outlined in the Official Community Plan is “to continue to develop a strong community image through park development”. The community image we do NOT want is that of a remnant wood being logged and bulldozed yet again.

Thank you for your attention to our concerns.

Sincerely yours,

A handwritten signature in cursive script, appearing to read "Gillian Anderson".

Frank and Gillian Anderson  
PO Box 307  
Merville, B.C.  
V0R 2M0

WRITTEN SUBMISSION  
ONLY

#442, 3666 Royal Vista Way

Courtenay, BC V9N 9X8

January 16, 2020

Attn: Manager of Development Planning, Matthew Fitzgerald

Dear Mr. Fitzgerald,

Re: Zoning Amendments Lot 1, VIP76495 (Lannan Rd.) and Rem. Blk 72 (333 Clubhouse Dr.)

I would like to submit the following proposals regarding the Lannan Road project.

\* I would like to see the two smaller parcels (the two triangle parcels) be rezoned into park areas for the current and future residents.

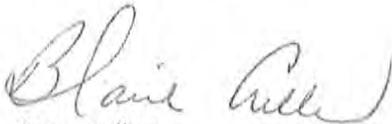
\* I would like to see Lannan Street as an access to and from this project alongside Britannia and Royal Vista Way exits.

\* The traffic increase from this project on Royal Vista Way will create a great inconvenience if we don't get a percentage of the vehicles using Anderton via Lannan.

\* All construction and heavy equipment to use access via Anderton. Using Royal Vista Way will be very disruptive to the current residents.

I would like to thank you for considering my recommendations on this issue. I look forward to your reply.

Respectfully yours,



Blaine Cullen

WRITTEN SUBMISSION  
ONLY  
#1

Ian Moul RPBio.  
1585 Birch Avenue  
Comox, BC, V9M 2N5

City of Courtenay  
380 Cliffe Avenue  
Courtenay, BC  
V9N 2I7

14 January 2020

Mayor Wells and Council,

I have a background as a Registered Professional Biologist. I call myself a Landscape Ecologist and for the past 25 years my focus of interest has been the interface between human settlement and natural areas. I hope that with this letter I am able to offer constructive comment with regards to the proposed OCP Amendment Bylaw No. 2972 and proposed Zoning Bylaw Amendment No. 2973 – Lannon Road (henceforth referred to as the Lannon Development Site)

I am familiar with the area of the proposed Lannon Development Site. In November of 2009, I was invited by the former owners of the Longlands Golf Course (now called The Park at Crown Isle) to tour the forest immediately to the south. At that time, I observed a maturing second growth forest with seasonally saturated soils and fish presence right up to the south boundary of the Lannon Development Site (See attached Photographs). The report and photographs by Strategic Natural Resource Consultants, May 2019, suggests this area remains largely as I saw it. This area represents a portion of the upper headwaters of the Brooklyn Creek Watershed. Two of the three Brooklyn Creek tributary streams originate from this area, and flow south across The Park at Crown Isle property.

Over many years I have attended meetings, conferences and workshops hosted by the Partnership for Water Sustainability in British Columbia. Participants at these gatherings are a mix of civic planners and engineers plus local environmental groups. Much of the purpose of this group is to promote land development that embraces the conditions of the local environment. Communities from around the world have realised that it is more cost effective to work with the natural systems (ecosystem services) within local watersheds than to attempt to re-engineer nature

In Parksville in the spring of 2019 a whole segment of the water sustainability meeting focused on Brooklyn Creek. The presentation profiled the excellent conservation and restoration work along the portion of Brooklyn Creek where it flows through the Town of Comox. In stark contrast, the health of the Brooklyn Creek watershed in the City of Courtenay is another story. For the past 30 years the area of the west tributary has seen phased development with no apparent understanding of overall watershed function. The result has been a systematic piecemeal destruction of the natural hydrology of most of the upper watershed on this

tributary. While there are some commendable efforts being made by the Crown Isle Golf Course to enhance remnant portions of the upper creek, most of the natural creek system is now in settling ponds, ditches or buried in culverts.

From the perspective of many communities attempting to restore damaged watersheds, the intact portion of the Brooklyn Creek headwaters within the Lannon Development Site would be considered as extremely valuable. The existing forest and seasonally saturated soils offer ecosystem services whereby water and rainfall can be viewed as a valuable resource and not a waste product to be disposed of. The Lannon Development Site proposal presents a site plan showing removal of the existing forest in exchange for housing, a manufactured park, and an engineered stormwater facility on property immediately to the south, The Park at Crown Isle (where there are two fish bearing tributaries of Brooklyn Creek – see the attached photographs). I suggest that this plan represents archaic planning and engineering practices. I suggest that it is fully possible to have this residential subdivision and to protect the existing biological function of this area.

I recommend that as Mayor and council, you hold off on approving these proposed OCP and Zoning bylaw amendments and request that this area be looked at within the greater context of the biological function of the Brooklyn Creek Watershed. We are in the first month of the third decade of the 21<sup>st</sup> century. I urge you to start this decade by making a choice that can result in a development where human settlement is in harmony with the natural environment.

With best regards,

A handwritten signature in black ink, appearing to read "Ian Moul". The signature is fluid and cursive, with a long horizontal stroke at the end.

Ian Moul RPBio.



Photograph 1: Near the south boundary of the Lannon Development Site, showing seasonally flooded soils and fish habitat - 24 November 2009.



Photograph 2: Near the south boundary of the Lannon Development Site, showing maturing forest, flowing water and fish habitat - 24 November 2009.



Photograph 3: Near the south boundary of the Lannon Development Site, showing maturing forest, seasonally flooded soils and fish habitat - 24 November 2009.

WRITTEN SUBMISSION  
ONLY  
# 2

Ian Moul RPBio.  
1585 Birch Avenue  
Comox, BC, V9M 2N5



City of Courtenay  
380 Cliffe Avenue  
Courtenay, BC  
V9N 2I7

17 January 2020

Mayor Wells and Council,

With this letter I wish to update comments sent in my previous letter of 14 January 2020 with regards to concerns about proposed OCP Amendment Bylaw No. 2972 and proposed Zoning Bylaw Amendment No. 2973 – Lannon Road (henceforth referred to as the Lannon Development Site).

My original letter was developed from information in a Staff Report and a Biologist Report found in an Agenda Package for first and second readings at a council meeting on 6 January 2020. On 16 January I met with Mr. Waldhaus of Silverado Land Corp. and discussed my concerns. Mr. Waldhaus explained to me how the project has evolved since the compilation of that Agenda Package. We discussed water flow through the area, the addition of rain gardens and swales to bring rainfall into the ground, the retention of the existing forest along the south-east boundary, the importance and understanding of the forest and the hydrology on the property to the south, (The Park at Crown Isle). Mr. Waldhaus showed me a site plan with a proposed retention pond, moved from the forested area of The Park, further south and into an existing cleared area. We also discussed the two tributaries of Brooklyn Creek, where they originate from the water flowing across the area of the Lannon Development Site and the forested north portion of The Park property.

Given the information presented by Mr. Waldhaus I feel far less critical of these OCP and zoning bylaw amendments. To synch my support for this project I would very much like to see a development prospectus that presents the above mentioned understanding of hydrology and natural features as a valuable amenity. I would also like to see the site plan shown to me by Mr. Waldhaus available at the public hearing. This site plan identifies a proposed retention pond on The Park at Crown Isle property (in Area B of the Regional District) in relation to an overall understanding of the Brooklyn Creek headwaters.

With best regards,

A handwritten signature in black ink, appearing to read 'Ian Moul'.

Ian Moul RPBio.

WRITTEN SUBMISSION  
ONLY

**Matthews, Rayanne**

---

**From:** PlanningAlias  
**Sent:** Friday, January 17, 2020 8:39 AM  
**To:** Ward, John; Buck, Ian; Fitzgerald, Matthew; Sorichta, Wendy  
**Subject:** Public Comments RE: Bylaw Nos 2972 & 2973 - OCP & Zoning Amendment (Lannan Road - Crown Isle Development) - MUNROE

**From:** Pam Munroe [mailto: ]  
**Sent:** Thursday, January 16, 2020 5:58 PM  
**To:** PlanningAlias  
**Cc:** Wells, Bob ; Frisch, David ; Hillian, Doug ; Theos, Manno ; McCollum, Melanie ; Morin, Wendy ; Cole-Hamilton, Will  
**Subject:** OCP/Zoning Amendment. Lot 1 Lannan Rd and 333 Clubhouse Dr

I am unable to attend the public hearing on Monday, January 20 at City Hall.

I was one of the people involved in the attempt to purchase and protect this Crown land in 2003 and was very disappointed when we lost in the bidding process. Cutting the trees down in 2010 was another slap in the face to the people of this community. Although it was now "private" land, it had community benefits that could have been preserved with more careful logging practices.

I urge Council to remember the values that protecting watersheds can offer to a municipality. Protecting the upper reaches of the Brooklyn Creek Watershed is more cost effective than dealing with the issues that can result from less tree canopy and covering over functioning streams. It is time for the City of Courtenay to step up and make protection of this area of Brooklyn Creek a priority. Comox has done their bit in the lower reaches. Mr. Coulson can still have his development and the community benefits of this area can be protected.

Pam Munroe  
Courtenay BC

WRITTEN SUBMISSION  
ONLY

**Matthews, Rayanne**

---

**From:** PlanningAlias  
**Sent:** Friday, January 17, 2020 9:40 AM  
**To:** Ward, John; Sorichta, Wendy; Buck, Ian; Fitzgerald, Matthew  
**Subject:** Public Comments RE: Bylaw Nos 2972 & 2973 - OCP & Zoning Amendment (Lannan Road - Crown Isle Development) - COLQUHOUN  
**Attachments:** IMG\_2432(1).jpg; IMG\_2432.jpg; IMG\_2431.jpg; IMG\_2428.jpg; IMG\_2430.jpg; IMG\_2429.jpg; IMG\_2423.jpg

**From:** ollie32 [mailto: ]  
**Sent:** Friday, January 17, 2020 9:38 AM  
**To:** PlanningAlias  
**Subject:** FW: Re: OCP00007

Good Morning Mathew,

I dont have alot of time as I'm off to Alberta for work shortly.

I was made aware that today is the deadline for public appeal of the rezoning of Lannan Road on Crown Island property.

In the future I am requesting that you notify me directly via email the schedule of upcoming events regarding this proposed development. As we discussed prior it will directly impact the safety of my kids and public safety. Everyone in this area has the "right" to be informed other then a simple notification on the internet.

Safety along Anderton is a problem as is, people believe it is a highway and speed continuously. Adding 120 more homes plus multi family homes plus existing Crown Isle with access from Lannan is going to increase traffic flow and lower public safety. The proposal for "future" multi family homes is a joke. Prior to allowing single family homes the developer should be mandated to build high density first. Courtenay city council should be accountable for this action.

Mostly recently with the snow on the roads it's a prime example of how public safety will be comprised. People can argue climate change and warming temperatures, simple fact is there has been considerable snow on the ground for the last 4 years in a row. My road still hasn't been plowed by the ministry and it's a mess with freeze thaw cycles. Funny enough someone plowed Lannan and the other road to the south with access to the Par 3 golf course back road. I've included some pictures from this morning including people stuck on Anderton trying to get out of the driveway.

Once again the people in this area are against this development and in the coming weeks I will be gathering signatures and support to appeal access to this development from Lannan Road. There needs to be concessions from the developer such as building sidewalks, traffic lights and so forth to insure the public's safety with the added traffic flow.

Please see attached and I looked forward to having an agenda sent to me.

Thanks

Greg Colquhoun

Sent from my Samsung Galaxy smartphone.

----- Original message -----

From: Greg Colquhoun <[REDACTED]>  
Date: 2019-12-31 10:52 a.m. (GMT-08:00)  
To: [planning@courtenay.ca](mailto:planning@courtenay.ca)  
Subject: Re: OCP00007

Can you also please provide a Traffic impact study of this proposal development?

Thank you

Greg Colquhoun

On Tue, Dec 31, 2019 at 9:02 AM Greg Colquhoun <[REDACTED]> wrote:

Further to my questions yesterday, can you please define the property in question "REZONE LANNON ROAD PROPERTY FROM CVRD RU-8 TO CD-15? It's not clear on the application map.

Thank you

Greg Colquhoun  
1604-8373917

----- Forwarded message -----

From: **Greg Colquhoun** <[REDACTED]>  
Date: Mon, Dec 30, 2019 at 9:23 PM  
Subject: OCP00007  
To: <[planning@courtenay.ca](mailto:planning@courtenay.ca)>

Hello Mathew Fitzgerald

I am writing in regards to the current zoning amendment OCP00007 currently in the works at your office. I am property owner and land resident on Lanson Road and have some concerns about the future proposal.

Questions I have for you at this time are,

- 1)What road improvements/future traffic control plans are there in store for Lannon Road at the intersection of Anderton?
- 2)What measures are in place to increase safety along Anderton due increased traffic volume? High density housing in a somewhat remote location means more people will be in cars.
- 3)Who will pay for the increased road usage and required maintenance (TAX) on Lannon Road on CVRD SIDE?
- 4) What safety and monetary concessions is the developer offering to current residents in the CVRD area to mitigate the increased population?

I look forward to your response,

Thank you

Greg Colquhoun

COLQUHOUN





COLQUHOUN



COLQUHOUN



COLQUHOUN



COLQUHOUN

COLQUHOUN



Dawn Christian  
1922 Thurber Rd  
Comox, BC V9M 3Z5

City of Courtenay  
830 Cliffe Avenue  
Courtenay, BC V9N 2I7

14 January 2020

re: OCP Amendment Bylaw No. 2972 and proposed Zoning Bylaw Amendment No. 2973 – Lannon Road

Mayor Wells and Council,

I am writing to you to express concerns about the above OCP Zoning Bylaw Amendment.

I am very much concerned that according to the map there is no riparian protection planned for the 2 fish bearing tributaries of Brooklyn Creek. When the "Lannan Forest" was clear cut in January 2010 by feller bunchers, DFO regulations regarding fish bearing streams were violated by clearcutting to the stream side. To my knowledge there was no penalty for this violation. Nothing short of remediation and protection for these tributaries should be the minimum requirement for these important tributaries in this proposed amendment.

What I find sad is that the excellent conservation and restoration of Brooklyn Creek, by many volunteers, that flows through Comox is acclaimed throughout the province. In stark contrast the Upper Brooklyn Creek headwaters and its tributaries that flow through Courtenay, are treated in archaic planning processes with no regard to the importance of healthy watershed functions. As subdivisions have been phased in in the Upper Brooklyn Watershed (primarily Crown Isle developments) Most of the natural creek is in settling ponds and ditches with water and rainfall regarded as wastewater. As a member of the Provincial Water Watch network I am very aware of the amazing work that is being done throughout the province to restore and protect invaluable creeks and their watersheds. As climate change advances every drop of water is so important to support healthy communities.

I note that a significant area of what is left of Lannan Forest is planned for clearcutting to make way for this subdivision. Please note:

Lannan forest is representative of the very dry maritime coastal western hemlock sub zone (CWH xm 1). This zone is very under represented in terms of protected areas. According to the Provincial Overview and Status report less than 2% of this sub zone and variant is in fact protected. I suggest that these cut blocks be left intact or greatly reduced in their size.

Mayor and Council please consider not approving the OCP in its current form. Please move into the 21st Century and consider a plan that harmonizes our environment and human settlement, acknowledging Climate Change and our future generations. Please consider that the subdivision is in the Brooklyn Watershed with serious consequences downstream.

For a historical perspective and reminder of how Silverado acquired the Crown Land know as Lannan Forest please read:

"As the government sells public lands to private developers across B.C., angry locals say they're cut out of the deals."

By Andrew Findlay 26 Mar 2004 | TheTyee.ca

[https://thetyee.ca/News/2004/03/26/%2473 Million Crown Land Sell-off Revs Up/](https://thetyee.ca/News/2004/03/26/%2473%20Million%20Crown%20Land%20Sell-off%20Revs%20Up/)

As some of you will remember this was a very contentious land deal where Public Crown Land all over the province was being sold, often behind closed doors with no public input or opportunity to buy for the public good.

Our community was hugely galvanized by this issue. Hundreds and hundreds (from all political stripes) gathered and supported opposition to the sale of Lannan Forest to Silverado by:

1. Preventing the annexation of the Forest from Area B to Courtenay. Much to the surprise to Silverado and some of the Council of the day our petition which gathered 10% signatures from the City of Courtenay. This made the annexation request to go to a referendum. Since annexation was a requirement for the original sale that fell through
2. Once the petition was successful the Province decided to put the Crown Land up for sale through a bidding process with a very short deadline. Our community and the Regional District worked very hard to raise a significant amount of money for our bid. Close to \$1,000,000 (far exceeding the original price offered to Silverado). Some even put their property up for a 2nd mortgage. Although we lost the bid it did bring to light how the province was disposing of Crown Land for Development purposes. Also the Comox Valley Land Trust was formed at this time and as we all know The Trust has been instrumental in preserving much land in the Valley

Thank you for your time and consideration,

Dawn Christian

January 19, 2020

Mayor and Council  
City of Courtenay

By email: [planning@courtenay.ca](mailto:planning@courtenay.ca)

Your Worship and Councillors:

Re: Public Hearing OCP/Zoning Amendment - Lot 1 Lannan Road and 333 Clubhouse Drive –  
Bylaw 2972 and 2973

We ask Council to postpone this rezoning process that will result in a major change to the Official Community Plan. Council has not been presented with sufficient information on the hydrology of the Brooklyn Creek watershed or the value of this remnant forest, which should be conserved in its entirety as a condition of rezoning.

Some of the issues that present themselves for further consideration are:

- Lack of a comprehensive hydrological survey of the Brooklyn Creek watershed
- Lack of discussion of the need to conserve the entire remnant forest to help replenish the aquifer and as wildlife habitat.
- An inadequate environmental review of the property which did not contain a bird, insect or amphibian survey.

**Lack of a comprehensive hydrological survey of the Brooklyn Creek watershed**

In his excellent letter, Ian Moul notes that two of three Brooklyn Creek tributary streams begin in this area so that it functions as a portion of the upper headwaters of the Brooklyn Creek watershed, a salmon bearing waterway. Ian Moul's professional opinion is that,

“... In stark contrast [to efforts in the Town of Comox], the ... Brooklyn Creek watershed in the City of Courtenay ... has seen phased development with no apparent understanding of overall watershed function. The result has been a systematic piecemeal destruction of the natural hydrology of most of the upper watershed on this tributary... most of the natural creek system is now in settling ponds, ditches or buried in culverts.”

This highlights the critical necessity that Council have a full understanding of the natural hydrology of the area: Mr. Moul's request for an ecological review of the “biological function of the Brooklyn Creek watershed” that would analyze this proposed development in the context of the larger picture is prudent.

**Lack of discussion of the need to conserve the entire remnant forest to help replenish the aquifer and as wildlife habitat.**

I ask Council and Mr. Waldhaus to consider the hydrological advantages of conserving in its entirety the remaining seasonal wetland forest on this proposed property. Conservation of this remnant forest with its seepage areas retaining and slowly releasing water into the watershed will greatly aid not only in ensuring stable environmental flow levels for the Brooklyn Creek but in also replenishing the aquifer so much of the Valley relies on for well supply. The current stable level of our aquifer is probably due to the final melting of the Comox Glacier; but the aquifer level is likely to drop in coming years. As Jack Minard, former Executive Director of both the Tsolum River Restoration Society and the Comox Valley Land Trust, former chair of the Local Government Implementation Team for the Comox Valley Conservation Strategy's Community, and former Chair of the Salmon Enhancement and Habitat Advisory Board explains,

“Shallow wells along a ridge of the landscape from Sackville Road to the top of Mission Hill had been drying up over several years. This was due to new ditching intercepting rainfall and running it off the landscape faster and faster. Many homes, after relying on shallow wells for generations, had to drill to at least 250 ft. to get water. These two aquifers (shallow and deep) are separated by a layer of clay and many feet deep of glacial till. Water from the shallow aquifer does recharge the deeper aquifer in a slow manner through seeps and cracks in this separating layer. As development proceeded more ditching intercepted more ground water, runs it off to the streams faster leaving a number of impacts: the shallow aquifer is no longer a viable water source, the deeper aquifer is receiving far less recharge, streams and rivers are impacted by high and fast run off and the landscape becomes extremely dry in the summer, streams dry up and fish populations that require fresh water habitat in the late summer expire. Yes, ditching!” (Jack Minard email to G. Anderson May 2018)

The more water we can keep out of ditches and drainage systems, the more water will seep through to the underlying aquifer, and wild areas where water can pool are also valuable assets in flood control. The biological report commissioned by the developer has not been peer-reviewed, and parts of it were done at one of the driest times of the year. The report does not address the fundamental issue of the broader context of the hydrology of the watershed. Instead it acknowledges that “further assessment would be required to determine connectivity to fish” (page 3) for the north-east corner”. It also appears from photo 6 in this report that a storm drain is located nearby, which is likely draining this property at an abnormally rapid rate and thus distorting the hydrology of the forested seasonal wetland. Climate change mitigation and adaptation is one of the City’s goals, and there is no better ally for climate change mitigation than the conservation of natural wetlands, seasonal or year round.

By delaying this rezoning and investing in a comprehensive understanding of this watershed’s hydrology, Council will be safeguarding the health of Courtenay and attempting to repair some of the damage inflicted on the watershed over the last 30 years.

**An inadequate environmental review of the property which did not contain a bird, insect or amphibian survey.**

The study also did not include a bird, insect and amphibian survey, a normal component of any environmental report. That study would likely show the value of even a small patch of woods to birds, some in declining or threatened populations, competing for the decreasing availability of nesting and feeding sites. The Canadian Wildlife Service notes,

“In order to help ensure that you are complying with the Migratory Birds Convention Act, 1994 and the Migratory Birds Regulations, you should first determine the likelihood of the presence of migratory birds and their nests or eggs when planning activities to be carried out. It is recommended to use a scientifically sound approach that considers the available bird habitats, the migratory bird species likely to be encountered in such habitats, and the likely time period of encounters.” (Cut, Cut, Cut Sierra Club Canada, July 2019).

The proponent’s environmental report noted as many as 50 snags on the property, and in their blog, Conservation Northwest notes,

“Standing dead trees, called snags, provide birds and mammals with shelter to raise young and raptors with unobstructed vantage points. Large downed trees also provide important habitat for wildlife. Hundreds of species of birds, mammals, amphibians, reptiles and fish benefit from snags for food, nesting or shelter! ... Only 30 bird species are capable of making their own nest cavities in trees. The pileated woodpecker is a famous example. Another 80 animal species, like fishers, depend upon previously-excavated or natural tree holes for their nests... The insulation of a tree-trunk home allows wildlife to survive high summer and low winter temperature extremes. Tree cavities and loose bark are used by many animals to store their food supplies, while insects living inside the dead wood eat thousands of forest pests, which can harm living trees. Woodpeckers and creepers feast on the wood-eating insects and provide “sawdust” for ants to process. ... When they eventually fall into or near water and wetlands, fish and amphibians hide under and around dead wood. This aquatic “structure” provides important shelter for juvenile salmon, steelhead, char and trout. Without woody debris in our rivers and streams, these watersheds can’t provide adequate habitat for many native fish species.” (<https://www.conservationnw.org/our-work/wildlands/snag-trees/>)

Earlier surveys of the former larger Lannan Forest showed “two red-listed and one blue-listed plant communities, including an extremely rare occurrence of Aspen-crabapple and slough sledge.” ((\$73 million crown land sell-off Revs Up, Tyee, March 26 2004). These woods are maturing second growth forest of about 60 to 80 years of age, with a significant height that makes them a beautiful feature on the landscape, and this small urban forest will be a valuable asset to the city as it represents so well the natural ecology of post-logging Courtenay. As well as their role as wildlife habitat and carbon sinks, urban trees aid with cleaning air and water, providing cooling benefits in summer, and increasing human psychological and physical health.

Given their value to the community and the stated objectives of community plans, saving this forest in its entirety should be a priority. One of the goals of the Official Community Plan is to ‘protect environmentally sensitive areas and support sustainable development practices.’ A major change to the Official Community Plan must make this goal a priority.

Again, in section 4.10, Environmental Goals are listed as “To preserve and protect environmentally sensitive and unique natural areas, particularly areas along the rivers, streams, and shorelines; To preserve and protect riparian areas; To protect and enhance fish and wildlife habitats; To protect the crucial hydrological functions of the area; ... To work with watershed and stream stewardship groups on environmental related matters.”

Under the section 4.10.4, Environmentally Sensitive Areas are defined as including “watercourses including the sea, ponds, lakes, rivers, streams, natural drainage courses and wetlands, riparian and wildlife habitat” which the City pledges to protect.

And finally, one of the goals of the Parks and Open Space section (4.6.3) 1 is “to identify and protect environmentally sensitive areas, wildlife areas, streams and riparian areas.”... and to support ... “nature parks or ecological parks ... representative of Courtenay’s natural diversity, wildlife or plant protection ... [and] to protect wildlife and riparian habitat.” Permitting the destruction of much of an almost ten acre forest is in direct conflict to all of those objectives. Partial removal of the forest will further affect hydrology and make remaining trees susceptible to blowdown. It is imperative the forest be conserved in its entirety.

### **Conserving the Forest**

It is very troubling that, given the appalling environmental destruction some years ago of most of the Lannan Forest, against the direct wishes of the community that had raised funds to buy those woods, this current development proposal would continue this further destruction of the remaining forest. The municipal staff could not advise the value that will be realized with the rezoning of this property from RU-8 to mixed use residential development, but with the average price of a lot in Crown Isle at \$350,000 (using what appears to be the lowest end price), 330 residential units will yield \$115.5 million dollars. Of course they will not all be single family lots, and there are costs such as the initial land purchase, infrastructure contributions for roads, etc., but it is clear that a great deal of money is going to be made if this major change to the Official Community Plan is approved.

Surely the developer would donate the remaining remnants of the Lannan Forested seasonal wetland, approximately 4 ha (10 acres) of the estimated 16.5 ha (41 acres) proposed development site, to the taxpayers and citizens of Courtenay. This is roughly one quarter of the property to be dedicated in exchange for major development rights.

In the Southlands (the former Spetifore farm) development approval process in Tsawwassen, another major land development similar to Crown Isle, the developer agreed to donate 80% of

the land, including a 90 acre forest, to the municipality of Delta for community gardens, wildlife habitat, public greenways and walkways, in exchange for zoning to develop the remaining 20%. Putting aside the arguments about that project's merit, even at that ratio of land donation it was still immensely worth the developer's decades of effort and project work.

Simply because we are out of the Metro Vancouver area doesn't mean we shouldn't have the same high standards for development. These are the standards of commitment that are now necessary for zoning approvals in the face of the climate and species crisis that is the result of past environmental destruction. Given that Mr. Moul has noted 'some commendable efforts being made by the Crown Isle Golf Course to enhance remnant portions of the upper creek,' (Ian Moul letter), we hope Mr. Waldhaus and the Crown Isle corporation will make this gesture to the community in a spirit of ecological concern and as part of their commitment to 'an expanding parks, natural areas and greenways system'. (Crown Isle letter January 6 2020).

It is critical that this forest be formally committed to City nature reserve in the application before Council contemplates this zoning application again. Your own staff report notes,

"Park dedication and development should occur in the first few phases of a development where applicable. By providing the park early, the future residents know what park amenities they are getting."

In setting high standards for environmental protection in development, Council not only sets precedent that holds future development to similar high standards, but benefits both current and future residents of the Valley. Developers make more money when they sell lots in attractive areas, and nothing makes an area more attractive to prospective residential and commercial buyers than the presence of conserved natural areas, forests and widespread tree plantings and greenway walking paths.

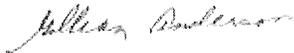
The Star Editorial Board opined that "...The stark consequences of global failures to protect habitat have been well-documented. Most recently, a landmark UN report found that one million species of plants and animals — out of a total of eight million — are at risk of extinction because of human action... Destruction of habitat and loss of biodiversity erodes economies, livelihoods, food security, health and quality of life... We must conserve biodiversity and important ecosystems **wherever they're found**, not just in places where few people live and work and commercial interests are low.... The longer we put off doing that, the less there will be to protect now and forever. "(Canada should move faster on protecting land from development, Star Editorial Board July 28, 2019).

If we are to have a town with a place for wildlife, if we are to have a province and a country replete with wildlife, it is critical that local urban woods are protected. When you look back on your legacy, you will never be sorry if people remember you as someone who stood for conservation of ecologically sensitive areas.

We urge you to postpone this rezoning application. One of the goals outlined in the Official Community Plan is “to continue to develop a strong community image through park development”. The community image we do NOT want is that of a remnant wood being logged and bulldozed yet again.

Thank you for your attention to our concerns.

Sincerely yours,

A handwritten signature in cursive script, appearing to read "Gillian Anderson".

Frank and Gillian Anderson  
PO Box 307  
Merville, B.C.  
V0R 2M0

VERBAL AND WRITTEN  
SUBMISSION  
#1

**Matthews, Rayanne**

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**From:** Blamire, Susan  
**Sent:** Friday, January 17, 2020 4:07 PM  
**To:** Ward, John; Sorichta, Wendy; Buck, Ian  
**Cc:** Fitzgerald, Matthew  
**Subject:** Public Comments RE: Bylaw Nos 2972 & 2973 - OCP & Zoning Amendment (Lannan Road - Crown Isle Development) - MAY

-----Original Message-----

From: Fitzgerald, Matthew  
Sent: Friday, January 17, 2020 3:34 PM  
To: [REDACTED]  
Subject: RE: Lannan Road Development Crown Isle)

Good Afternoon Heide,

To confirm - are your comments below in response to the Public Hearing Notice?

Matthew Fitzgerald RPP MCIP  
Manager of Development Planning  
P: 250-334-4441 (ext. 7255)  
E: mfitzgerald@courtenay.ca

The City of Courtenay proudly serves our community by providing a balanced range of sustainable municipal services.  
OUR CORE VALUES: People Matter | Be Accountable | Depend on Each Other | Pursue Excellence | Celebrate Success

-----Original Message-----

From: Heide May [mailto:[REDACTED]]  
Sent: Wednesday, January 15, 2020 11:24 AM  
To: [REDACTED]  
Cc: Gothard, Nancy <ngothard@courtenay.ca>  
Subject: Lannan Road Development Crown Isle)

Have read Koers & Associates Eng. Ltd Conceptional Servicing Report on Lannan Road Dev.  
Their conceptual Storm Drainage indicates that drainage from ridge will be south through Longland's Golf Course property and then to Brooklyn Creek?

Drainage in this area has been problematic and ever more compounding issues for many years.

A drainage pipe at southeastern portion of Longland's Golf Course ("The Park") circumvents my bordering property but illegally drains unto my land into overgrown ditch at most easterly point of Lot D . - then slowly drains thru an overgrown ditch on Adamas property to Anderton Rd.

Drainage from Crown Isle has also overloaded easement on Lot E and is becoming a "Choke Point" at Parry Place with erosion etc. taking place along my driveway.

As noted before blue flagging was noticed on my property done by unknown surveyors.

I strongly feel that a proper drainage study has to be done by developer before approval by the City of Courtenay.

Thank you for your response.

Heide May

VERBAL AND WRITTEN  
SUBMISSION  
#2

**Matthews, Rayanne**

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**From:** Blamire, Susan  
**Sent:** Monday, January 20, 2020 8:43 AM  
**To:** Ward, John; Sorichta, Wendy; Buck, Ian  
**Cc:** Fitzgerald, Matthew  
**Subject:** Public Comments RE: Bylaw Nos 2972 & 2973 - OCP & Zoning Amendment (Lannan Road - Crown Isle Development) - MAY - Submission #2 FW: Lannan Forest Development and Drainage Problems

Good Morning

This looks like another set of comments sent to Matthew from the same Individual of your follow up question email Wendy, but these look like additional comments.

Happy Planning  
Sue Blamire  
Planning Clerk, City of Courtenay  
Tel: 250-703-4839  
Email: [sblamire@courtenay.ca](mailto:sblamire@courtenay.ca)  
Development Services Info Page: [www.courtenay.ca/dev](http://www.courtenay.ca/dev)

-----Original Message-----

From: Fitzgerald, Matthew  
Sent: Monday, January 20, 2020 8:30 AM  
To: Blamire, Susan <[sblamire@courtenay.ca](mailto:sblamire@courtenay.ca)>  
Subject: FW: Lannan Forest Development and Drainage Problems

Public Hearing comments for distribution please

Matthew Fitzgerald RPP MCIP  
Manager of Development Planning  
P: 250-334-4441 (ext. 7255)  
E: [mfitzgerald@courtenay.ca](mailto:mfitzgerald@courtenay.ca)

The City of Courtenay proudly serves our community by providing a balanced range of sustainable municipal services.  
OUR CORE VALUES: People Matter | Be Accountable | Depend on Each Other | Pursue Excellence | Celebrate Success

-----Original Message-----

From: George [mailto: ] On Behalf Of [ ]  
Sent: Saturday, January 18, 2020 1:54 PM  
To: Fitzgerald, Matthew <[mfitzgerald@courtenay.ca](mailto:mfitzgerald@courtenay.ca)>  
Cc: [ ] town@comox.ca  
Subject: FW: Lannan Forest Development and Drainage Problems

Subject: Lannan Forest Development and Drainage Problems

Name. Heide May

I have resided on Lot D, District Lot 83, Plan 277276, Comox District, since 1978. This property is located in the Anderton Rd Corridor, CVRD and is bordering Longland's Golf Course to the north.

The surrounding areas, ( Crown Isle , Longland's Golf Course etc.) then were heavily forested with many marshes and swamps acting as catchment basins for rainwater.

With development of these areas, deforestation, filling in of swamps and channelization of waters, serious drainage issues have ensued.

In 1981 a. Master Brooklyn Creek Drainage Plan was completed but was altered to suit developers allowing ever greater amounts of water to be drained downhill through drainage pipes. Choke points of water collection were created on Parry Place, Comox.

Hydrology of these areas was forever changed and negatively impacted the surrounding properties and downhill lands. Three jurisdiction, ( City of Courtenay, CVRD and Town of Comox.) are involved.

To make the drainage problem even more complicated the Ministry of Transportation and Highways is responsible for CVRD drainage. The Anderton Corridor is wedged inbetween the City of Courtenay and the Town of Comox.

Post development flows greatly exceed pre development flows as there was no drainage of waters before development started...

Drainage from Longland's Golf Course has been negatively impacting my property at the north western and south eastern portion of Lot D for many years . A pipe now circumvents part of the southeastern areas and drainage water is emptying unto my property without my consent then slowly draining through neighboring overgrown ditch to Anderton Rd , and eventually unto Sim's Farm and the Town of Comox .

Recently I have discovered blue surveyor tapes on my property at southeastern portion and nobody is owning up to having placed them there.

Lannan Forest Development has now applied for a development permit. Crown Isle is now owner of Longland's Golf Course renamed The Park .

It is imperative before the Lannan Forest Development application is granted, that a THOROUGH DRAINAGE STUDY, that includes all three jurisdiction, be completed.

This must include "off-site" retention ponds, impact of drainage to downhill lands and a feasible SOLUTION of these ever compounding drainage issues.

Thank you

Heide May

Sent from my iPad

VERBAL AND WRITTEN  
SUBMISSION  
# 1

**Sorichta, Wendy**

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**From:** Sorichta, Wendy  
**Sent:** Monday, January 20, 2020 12:48 PM  
**To:** Blamire, Susan; Ward, John; Buck, Ian  
**Cc:** Fitzgerald, Matthew  
**Subject:** DONE: Public Comments RE: Bylaw Nos 2972 & 2973 - OCP & Zoning Amendment (Lannan Road - Crown Isle Development) - D'AOUST -FW: Public hearing to the Lannam forest zoning amendment

Good afternoon,

Public comments were forwarded to Council for information this afternoon, January 20th.

Sincerely,  
Wendy

---

**From:** Blamire, Susan  
**Sent:** Monday, January 20, 2020 11:21 AM  
**To:** Sorichta, Wendy; Ward, John; Buck, Ian  
**Cc:** Fitzgerald, Matthew  
**Subject:** Public Comments RE: Bylaw Nos 2972 & 2973 - OCP & Zoning Amendment (Lannan Road - Crown Isle Development) - D'AOUST -FW: Public hearing to the Lannam forest zoning amendment

**From:** Fitzgerald, Matthew  
**Sent:** Monday, January 20, 2020 11:11 AM  
**To:** Blamire, Susan <[sblamire@courtenay.ca](mailto:sblamire@courtenay.ca)>  
**Subject:** FW: Public hearing to the Lannam forest zoning amendment

Public Hearing comments below. Thanks.

**Matthew Fitzgerald** RPP MCIP

Manager of Development Planning

P: 250-334-4441 (ext. 7255)

E: [mfitzgerald@courtenay.ca](mailto:mfitzgerald@courtenay.ca)

*The City of Courtenay proudly serves our community by providing a balanced range of sustainable municipal services.*

**OUR CORE VALUES:** **People Matter** | **Be Accountable** | **Depend on Each Other** | **Pursue Excellence** | **Celebrate Success**

**From:** Nicholas D'Aoust [<mailto:>]  
**Sent:** Monday, January 20, 2020 10:55 AM  
**To:** Fitzgerald, Matthew <[mfitzgerald@courtenay.ca](mailto:mfitzgerald@courtenay.ca)>  
**Subject:** Public hearing to the Lannam forest zoning amendment

Hello Matthew.

I would like to submit a written statement regarding my objection to the proposed drainage of the zoning amendment. There was bad weather on Friday and the notice states that it can only be submitted until Friday.

Here is a picture of the last upgrade to the Stormwater management that appears to be missing pieces to actually control and hold back storm water.

I ask you to allow me to submit a written statement this afternoon to you for you to have for the public hearing this afternoon.

Nick D'Aoust  
1179 Parry Place

Sent from my iPhone



VERBAL AND WRITTEN  
SUBMISSION  
# 2

**Matthews, Rayanne**

---

**From:** PlanningAlias  
**Sent:** Monday, January 20, 2020 2:01 PM  
**To:** Sorichta, Wendy; Ward, John; Buck, Ian; Fitzgerald, Matthew  
**Subject:** Public Comments RE: Bylaw Nos 2972 & 2973 - OCP & Zoning Amendment (Lannan Road - Crown Isle Development) - D'AUOST -(Submission #2) FW: OCP/Zoning Amendment File # OCP00007 (Lannan rd)

**From:** Nicholas D'Aoust [mailto: ]  
**Sent:** Monday, January 20, 2020 1:42 PM  
**To:** PlanningAlias  
**Cc:** Fitzgerald, Matthew  
**Subject:** OCP/Zoning Amendment File # OCP00007 (Lannan rd)

To the councillors of the city of Courtenay,

We are notifying you of our objection to this O.C.P. / Zoning amendment of the Lannan Property. We have reviewed the submitted documents, specifically the conceptual servicing report submitted by Koers Engineering Ltd. It proposes two possibilities to drain storm water from this site; the Lannan road ditch or through Longlands(Crown Isle) to Brooklyn Creek. In no way can storm water from this site be permitted to flow into the Brooklyn Creek drainage system. We have lived adjacent to Crown isles Lake 20 retention pond for 17 years. We have a long history with the storm water management of Crown Isle and the City of Courtenay. The storm water from lake 20 has been a recurring nuisance for us. We believe the infrastructure outside the city of Courtenay has been upgraded to meet the **doubled outflow** form Lake 20 as a result of the updated drainage study performed by Koers Engineering some years ago.(I was the one that forced the city to share this with the Town of Comox and RD)

Given our history we can say that a development of this size cannot proceed without a comprehensive drainage study being completed looking at not only the subject property but also the affected properties and jurisdictions downstream. Have you notified parties down steam? because we were not!

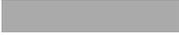
Furthermore, the lake 20 experience has taught us that the work suggested in the drainage study should be done before the development and not after. When I was worried about being flooded again (Lake 20 overflowed and breached it's banks in 2009 flooding my property and house) my last communication with Rich Feucht in October 2016 regarding a swale to prevent overland flooding of my property was that I would have to wait for Hudson Trunk sewer. That meant waiting 3 more years with the possibility of flooding. During those 3 years my property had sediment laden water pumped on it directly and indirectly through Longlands into fish bearing habitat. (Pumped by contractors dealing with storm water during development. This was reported to fisheries.

We are the first private property on the other side of Longlands (Crown Isle) that would receive this storm water. We are in the RD and drain our storm water into ditches on Parry Place. The city of Courtenay can not drain their storm water in rural ditches designed for our storm water.

It took 10 years for the City and Crown Isle to resolve the Lake 20 drainage issues. I still have my meeting notes from May 25th 2010 with Kevin Lagen, Richard Cave and Rick Jackson.

As I said 10 years ago, I am not against development but we are a community and need to work together.

Nick & Tonya D'Aoust

  
1179 Parry Place

VERBAL AND WRITTEN  
SUBMISSION

Jan. 10, 2020

365 – 3399 Crown Isle Dr  
Courtenay, BC, V9N9X7

Attention: Mayor Wells and Courtenay Council:

CC Matthew Fitzgerald - City of Courtenay

Subject:- Destruction Of Wetland associated with a Crown Isle Proposed Development OCP00007  
(Lannan)

The purpose of this letter is to encourage the Courtenay Council to intervene in the case of Development Application OCP00007. Halting the destruction of a patch of wetland along with the sole remaining trees of the old "lannan forest". The area we are focusing on is described in the developer's environmental wetland report in submission OCP00007 to the and highlighted by documentation supplied by the Brooklyn Creek Watershed Society (attached). Worthwhile noting that while The Brooklyn Creek Watershed Society, backed up by various sources, has declared the area in question a wetland, Crown Isle has hired a consultant who has declared the same area to not be a wetland.

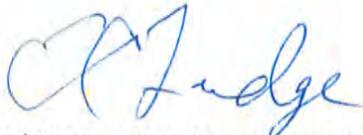
This is not surprising, in the light of Crown Isles' past desecration of the upper Brooklyn Creek to the west of the new Crown Isle Drive. That section of the creek was a valuable salmon habitat, nurtured by volunteers, now gone forever. How Crown Isle was permitted by the various responsible oversight agencies (including Courtenay Development Services) to get away with this travesty is profoundly disturbing! One asks, where was the oversight that was and still is, needed to protect the estuary.

In light of the above and in the face of more destruction, we should be taking a stand showing at least some determination to act as stewards of the environment.

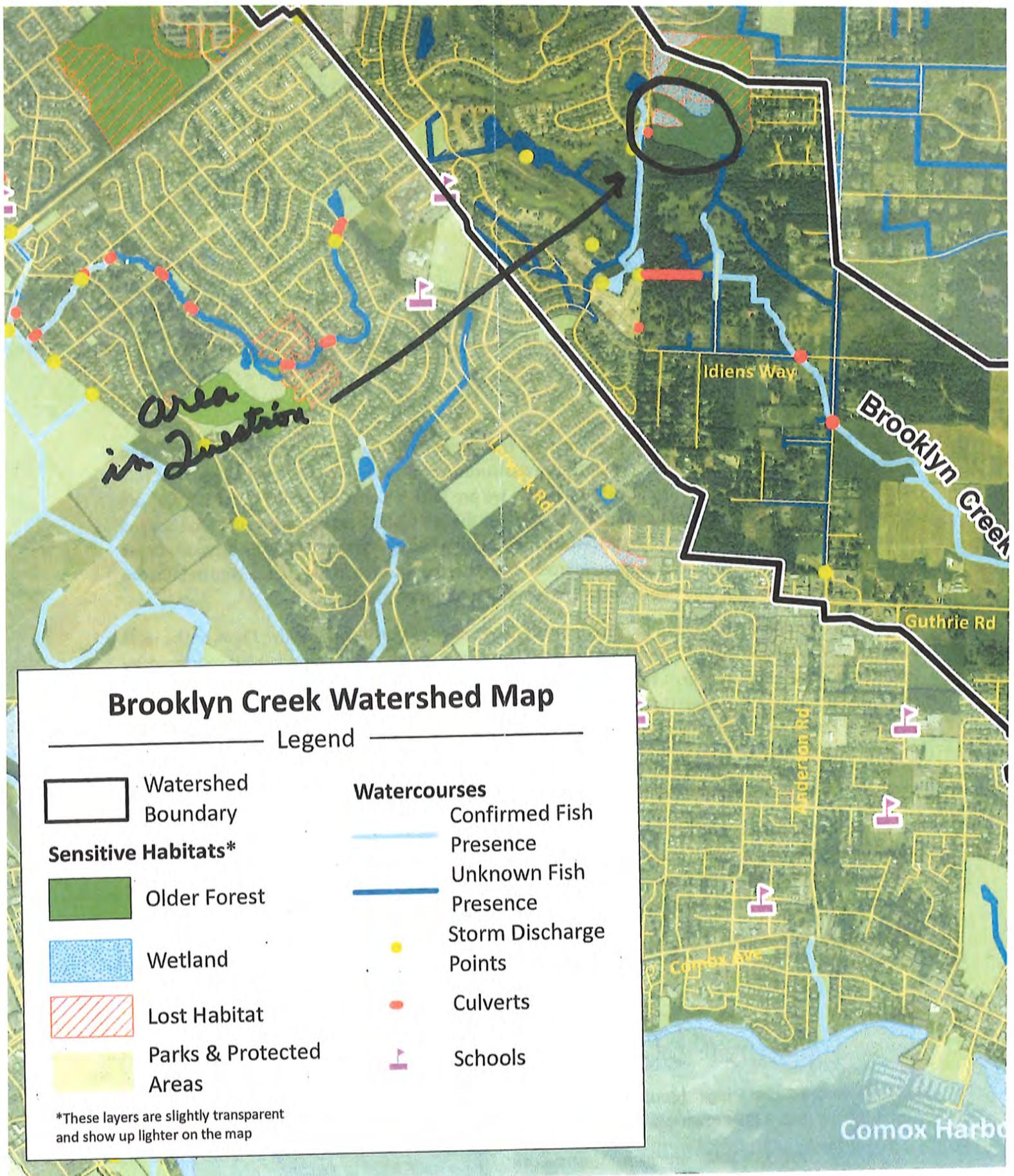
The gradual eroding away of habitat has to stop. We are practicing "Death by a Thousand Cuts". The proposed development of 10 patio homes in the wetland area should be halted immediately. Such a gesture would make a strong symbolic statement to residents and developers alike. Preservation of the estuary has to be in the forefront! Taking a stand for the environment is critical and timely!

Please support this request for the general good of the Comox Valley and its residents.

Sincerely,



Edward Fudge (Courtenay Resident)  
365-3399 Crown Isle Dr, Courtenay, BC V9N9X7



# Brooklyn Creek Watershed Map

## Legend

-  Watershed Boundary
- Sensitive Habitats\***
-  Older Forest
-  Wetland
-  Lost Habitat
-  Parks & Protected Areas
- Watercourses**
-  Confirmed Fish Presence
-  Unknown Fish Presence
-  Storm Discharge Points
-  Culverts
-  Schools

\*These layers are slightly transparent and show up lighter on the map





THE CORPORATION OF THE CITY OF COURTENAY

## STAFF REPORT

**To:** Council

**File No.:** 6480-20-1902 and 3360-20-1911

**From:** Chief Administrative Officer

**Date:** March 16, 2020

**Subject: Follow Up Report - OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 – Lannan Road**

### PURPOSE:

The purpose of this report is to provide a resolution that addresses specific items identified by Council at the February 18, 2020 regular Council meeting related to the proposed bylaw amendments.

### CAO RECOMMENDATIONS:

That based on the March 16, 2020 staff report entitled "Follow Up Report - OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 – Lannan Road." Council approve OPTION 1 and requires the applicant to make revisions to the proposal and supply the information listed below prior to proceeding with the bylaw amendments:

1. All remaining trees within the area identified generally on Schedule No. 1 are to be protected with the exception of tree removal necessary to allow for the extension of the Britannia Place strata as well as the extension of Britannia Way.
2. Require that the location of any proposed stormwater management facility is identified to the satisfaction of all relevant authorities but in no case can the facility be located within the area identified on Schedule No. 2.
3. The development's stormwater management design must be completed to the satisfaction of the City and any other agencies which may be affected depending on the facilities' location.
4. An appraisal is to be provided to the City determining the current property value and the value realized once the subject property is rezoned to help inform Council's decision on amenities.
5. Additional consideration of transportation modes must be provided and integrated into the proposal to reduce the dependence on automobile trips.

Respectfully submitted,

David Allen, BES, CLGEM, SCLGM  
Chief Administrative Officer

**BACKGROUND:**

The subject property is 16.3ha (40.2ac.) in area and located on the edge of East Courtenay adjacent to the Comox Valley Regional District (CVRD) and the Crown Isle golf course/residential community. The subject property was annexed by the City in 2013 and has since remained vacant. Prior to annexation the parcel was logged in 2010 with limited tree cover remaining on the south edge.

The applicant is proposing an amendment to the OCP and zoning bylaw to facilitate the future subdivision of the subject property to permit 330 residential units. The development will function as an extension of the adjacent Crown Isle community. The applicant seeks to develop the property for residential purposes with a similar intensity and style found elsewhere in Crown Isle but with greater diversity of housing types, densities and improved building performance standards.

Council gave the proposed bylaw amendments First and Second Readings on January 6, 2020. A Public Hearing was held on January 20, 2020. The proposal was brought back for Council to consider Third Reading on February 18, 2020. At that meeting Council resolved to proceed with the February 18, 2020 Staff Report's Second Option which was that Council postpone consideration of Third Reading of the bylaws and request that staff return to Council with a resolution that addresses specific items identified by Council. The recommended option contained in this report provides the requested resolution.

Following receipt and review of the information requested, staff will return to Council with a report to consider scheduling a new Public Hearing prior to proceeding with the bylaws.

**OPTIONS:****OPTION 1: (Recommended)**

That based on the March 16, 2020 staff report entitled "Follow Up Report - OCP Amendment Bylaw No. 2972 and Zoning Amendment Bylaw No. 2973 – Lannan Road." Council approve Option No. 1 and requires the applicant make revisions to the proposal and supply the information listed below prior to proceeding with the bylaw amendments:

1. All remaining trees within the area identified generally on Schedule No. 1 are to be protected with the exception of tree removal necessary to allow for the extension of the Britannia Place strata as well as the extension of Britannia Way.
2. Require that the location of any proposed stormwater management facility is identified to the satisfaction of all relevant authorities but in no case can the facility be located within the area identified on Schedule No. 2.
3. The development's stormwater management design must be completed to the satisfaction of the City and any other agencies which may be affected depending on the facilities' location.
4. An appraisal is to be provided to the City determining the current property value and the value realized once the subject property is rezoned to help inform Council's decision on amenities.
5. Additional consideration of transportation modes must be provided and integrated into the proposal to reduce the dependence on automobile trips.

**OPTION 2:**

That Council postpone consideration of Bylaws 2972 and 2973 with a request for more information.

**OPTION 3:**

That Council not proceed with Bylaws 2972 and 2973.

Prepared by:



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Matthew Fitzgerald, RPP, MCIP  
Manager of Development Planning

Reviewed by:



---

Ian Buck, RPP, MCIP  
Director of Development Services

**Attachments:**

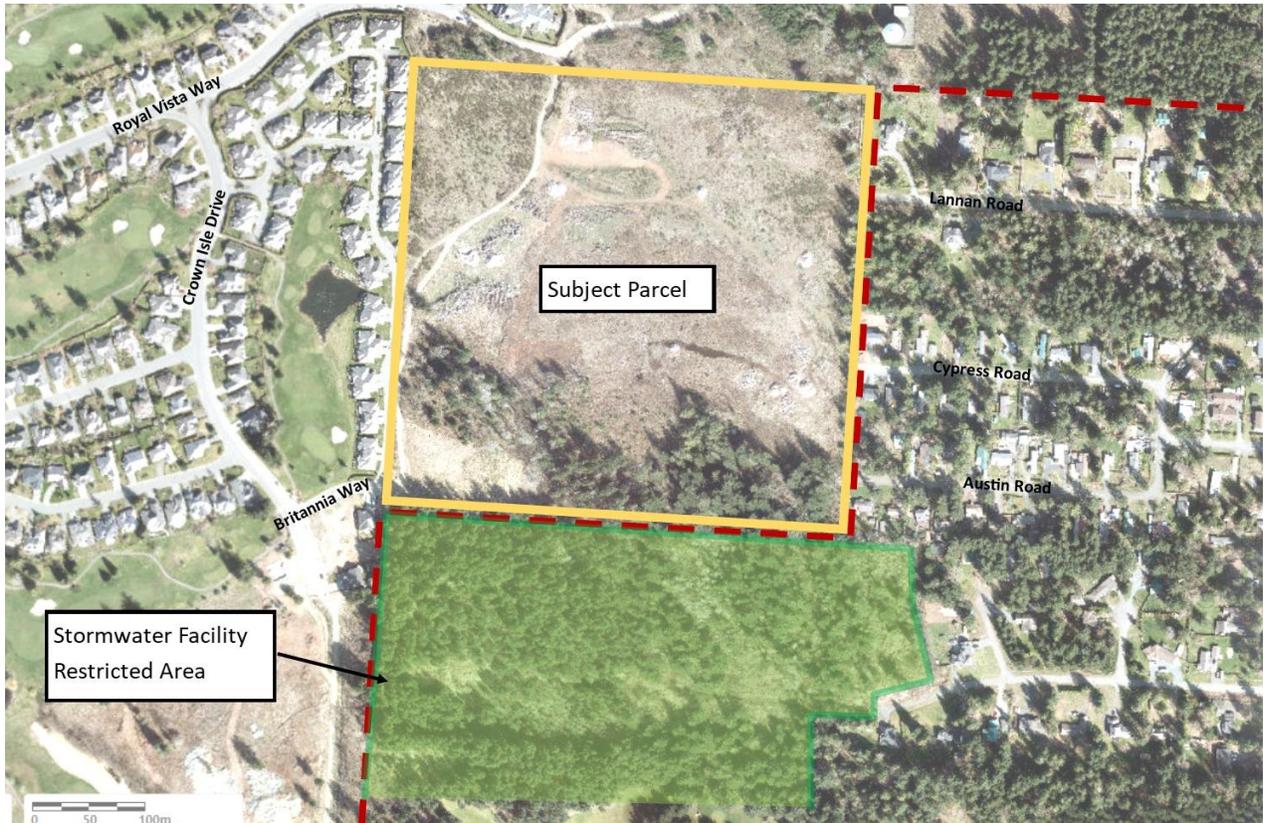
Schedule No. 1 (Protected Trees)

Schedule No. 2 (Stormwater Management Facility Restricted Area)

**Schedule No. 1 (Tree Retention Area)**



**Schedule No. 2 (Stormwater Management Facility Restricted Area)**





THE CORPORATION OF THE CITY OF COURTENAY

## COUNCIL MEMBER REPORT

To: **COUNCIL**

File No.: 0540

From: Councillor Cole-Hamilton

Date (MMM-YYYY): Jun-2023

Subject: **REPORT OF ACTIVITIES AND EVENTS**

	<b>DATE</b> (MMM-DD)	<b>EVENT/LOCATION</b>	<b>COMMENTS</b>
1.	Jun-01	Code of Conduct Review with Reece Harding	
2.	Jun-06	CVRD Sewer Commission	
3.	Jun-06	CVRD Water Committee	
4.	Jun-06	CVRD Regional Parks and Trails Committee	
5.	Jun-06	CVRD Board	
6.	Jun-07	CVRD Agenda Review	
7.	Jun-08	Comox Valley Community Health Network Coordinating Circle	
8.	Jun-10	Project Watershed AGM	

	<b>DATE</b> <i>(MMM-DD)</i>	<b>EVENT/LOCATION</b>	<b>COMMENTS</b>
<b>9.</b>	Jun-12	Climate Caucus Board	
<b>10.</b>	Jun-13	CVRD agenda review	
<b>11.</b>	Jun-13	Vancouver Island and Coastal Communities Climate Leadership Steering Committee Co-chairs' meeting	
<b>12.</b>	Jun-14	Help Cities Lead Steering Committee	
<b>13.</b>	Jun-14	Comox Strathcona Waste Management agenda review	
<b>14.</b>	Jun-14	Council Meeting	
<b>15.</b>	Jun-15	CVRD Strategic Planning	
<b>16.</b>	Jun-16	CVRD Strategic Planning	
<b>17.</b>	Jun-20	Kus Kus Sum site visit	
<b>18.</b>	Jun-21	National Indigenous Peoples' Day Forum	



THE CORPORATION OF THE CITY OF COURTENAY

## COUNCIL MEMBER REPORT

To: **COUNCIL**

File No.: 0540

From: Councillor Cole-Hamilton

Date (MMM-YYYY): Jun-2023

Subject: **REPORT OF ACTIVITIES AND EVENTS**

	<b>DATE</b> (MMM-DD)	<b>EVENT/LOCATION</b>	<b>COMMENTS</b>
1.	Jun-21	CVRD agenda review	
2.	Jun-22	Comox Strathcona Waste Management site tour and meeting	
3.	Jun-22	Comox Valley Community Health Network Coordinating Circle	
4.	Jun-23	ICET Island Coastal Inter-Regional Transportation Study Engagement Session	
5.	Jun-23	Vancouver Island and Coastal Communities Climate Leadership Steering Committee meeting	
6.	Jun-23	Comox Valley Community Health Network Coordinating Circle	
7.	Jun-24	CVRD meeting with Minister Rankin regarding CVRD-KFN relations	
8.	Jun-26	Meeting with Arjun Singh re B.C. Affordable, Net Zero, Offsite Wood Housing Industrial Development Initiative	

	<b>DATE</b> <i>(MMM-DD)</i>	<b>EVENT/LOCATION</b>	<b>COMMENTS</b>
<b>9.</b>	Jun-26	Presentation by BC Seniors' Advocate Isobel MacKenzie	
<b>10.</b>	Jun-26	Meeting with Council to review CVRD agenda	
<b>11.</b>	Jun-27	Meeting with Matthew Green, MP regarding Climate Caucus	
<b>12.</b>	Jun-27	CVRD Board Meeting	
<b>13.</b>	Jun-28	CVRD agenda review	
<b>14.</b>	Jun-28	Council Meeting	
<b>15.</b>	Jun-28	Association of Vancouver Island and Coastal Communities Solid Waste Management Committee	
<b>16.</b>	Jun-29	Climate Caucus BC Chapter Meeting	
<b>17.</b>	Jun-29	Help Cities Lead Steering Committee	
<b>18.</b>	Jun-29	Meeting with Minister Heyman, regarding Help Cities Lead	



THE CORPORATION OF THE CITY OF COURTENAY

# COUNCIL MEMBER REPORT

To: **COUNCIL**

File No.: 0540

From: Councillor Frisch



Date (MMM-YYYY): Jul-2023

Subject: **REPORT OF ACTIVITIES AND EVENTS**

	DATE (MMM-DD)	EVENT/LOCATION	COMMENTS
1.	Jul-07	Peer Assisted Care Team funding Announcement by Minister Whiteside	Minister of Mental Health and Addictions announced PACT funding for the Comox Valley
2.	Jul-13	Sheltering in Parks Information Session	Learnt about sheltering in parks and potential policy options
3.			
4.			
5.			
6.			
7.			
8.			



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Dawn Collins

[Dawn.collins@cyclingwithoutage.com](mailto:Dawn.collins@cyclingwithoutage.com)

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<https://cyclingwithoutage.org>



## STAFF REPORT

**To:** Council

**File No.:** 3360-20-2201/RZ000065

**From:** Director of Development Services

**Date:** July 26 2023

**Subject:** Zoning Amendment Bylaw No. 3063 – 1814 Grieve Ave

### PURPOSE:

At the regular meeting of Council held on July 12, 2023, Council passed a resolution not to hold a public hearing as per Section 464(2)(b) and gave notice as per Section 467 of the *Local Government Act*. As per Bill 26, notice has been given prior to First reading of Zoning Amendment Bylaw No. 3063. The purpose of this report is for Council to consider an application to rezone the property located at 1814 Grieve Avenue from Residential One S Zone (R-1S) to Residential One E Zone (R-1E). This would facilitate a proposed subdivision for the creation of two additional lots while retaining the existing home on the remainder lot. Staff are recommending First, Second, and Third readings of Zoning Amendment Bylaw No. 3063.

**LEGAL DESCRIPTION:** Lot 4, Section 68, Comox District, Plan 15115

### BACKGROUND:

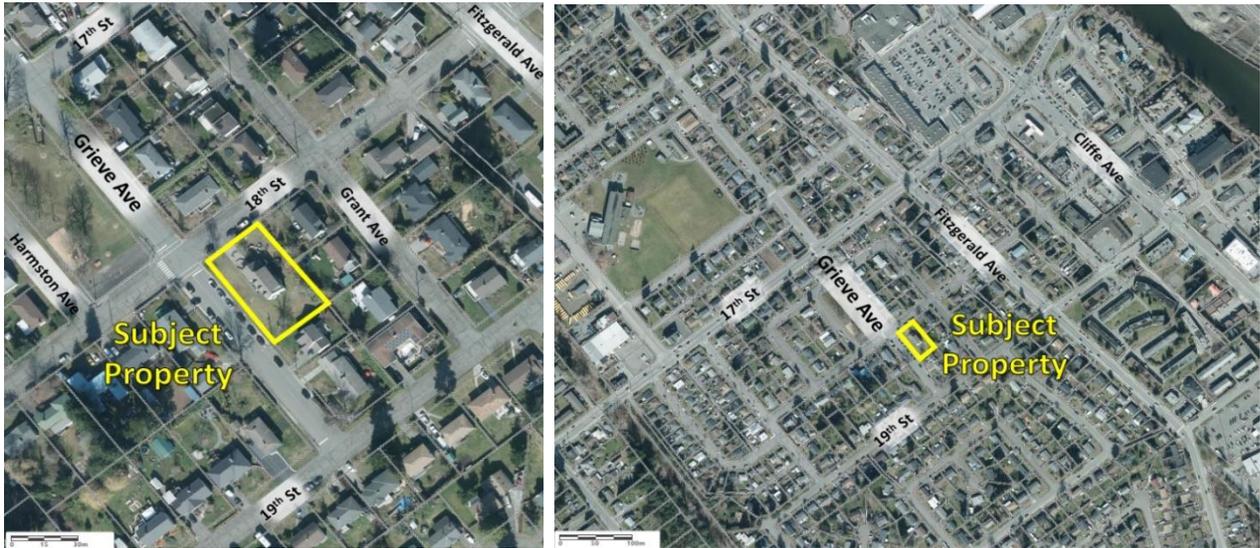
The subject property currently has a single detached house in the centre of the property with a secondary suite above the attached garage and is located at 1814 Grieve Avenue (**Figure 1**).

The property has a total area of 1,560 m<sup>2</sup> (0.4 acre), is within the Residential One S (R-1S) zone and designated Urban Residential within the Official Community Plan. The property was rezoned from R-1 to R-1S to allow the secondary suite in June 2021 (Bylaw No. 3027).



**Figure 1:** View of Subject Property at 1814 Grieve Ave

The subject property is located diagonally across from Maple Park, within 500 m of Courtenay Elementary School and Thrifty Foods, and within 1 km of Downtown, the Driftwood Mall and numerous parks. (**Figure 2**).



**Figure 2:** Subject Property Location and Context

These destinations are easily accessible by car or bicycle and within walking distance to bus stops. Nearby land use is mostly single detached residential (zoned R-1) with a number of townhouses on Fitzgerald Avenue.

The applicant is proposing to create two single residential dwellings with secondary suites to either side of the existing dwelling (**Figure 3**). A subdivision application will be required to create the two proposed lots as illustrated in Figure 4 below:

- A 390 m<sup>2</sup> corner lot (proposed Lot 1)
- A 669 m<sup>2</sup> central lot retaining the existing suited house
- A 474 m<sup>2</sup> interior lot suitable for another suited residence (proposed Lot 2)

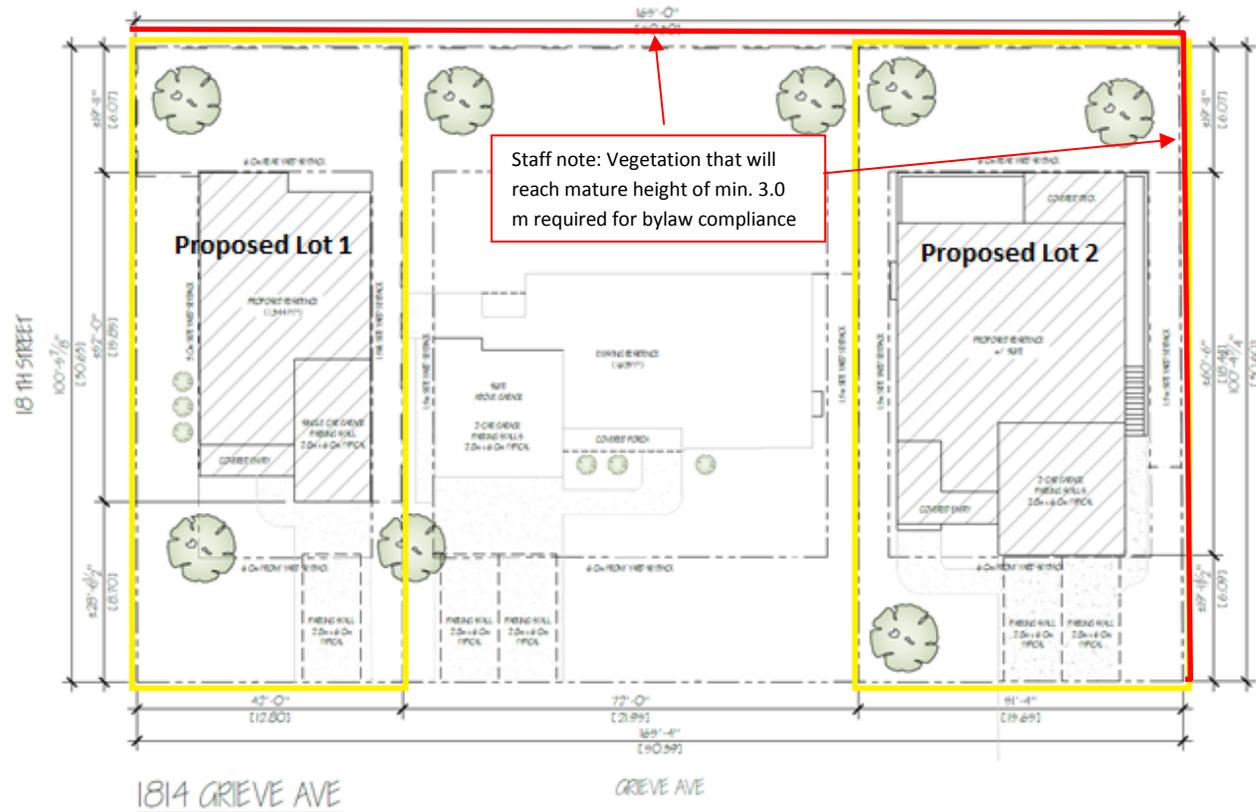


Figure 3: Site Plan

The development proposal facilitates infill development within an established neighbourhood, designated Urban Residential in the Official Community Plan (OCP). The property is not subject to a Local Area Plan. The **Figure 4** conceptual rendering shows the existing house and secondary suite with 2 new proposed homes of similar styles on either side.



Figure 4: Conceptual Rendering

**DISCUSSION:**

**Zoning Bylaw No. 2500, 2007 Review**

The R-1E zone was created to facilitate compact lot creation and development to enable residential intensification while preserving existing housing stock. The applicant’s rationale for the rezoning can be found in **Attachment 3**. Table 1 below compares the R-1S Zone to the proposed R-1E zone.

Section 8.1.55 (1) requires that a vegetated buffer that will reach a minimum of 3.0 m in height upon maturity shall be provided and maintained to the satisfaction of the City on all pre-existing property lines

adjoining all other adjoining properties. The intent is to provide screening for neighbours to improve fit of increased residential density. A section 219 covenant will be required to ensure this buffer is maintained.

**Table 1:** Zoning Analysis

Attribute	Existing R-1S Zone	R-1E Zone	Proposed Development
Permitted Use	a. Single residential; b. Secondary suite; c. Accessory buildings and structures	a. Single residential; b. Secondary suite (min. lot 450 m <sup>2</sup> ); c. Secondary residence (min. lot 600 m <sup>2</sup> ); d. Carriage house (min. lot 600 m <sup>2</sup> ); e. Home occupation; f. Accessory buildings and structures	Single residential; Secondary suite (min. lot 474 m <sup>2</sup> )
Density (min. lot size)	a. 650 m <sup>2</sup> ; b. 725 m <sup>2</sup> (corner)	300 m <sup>2</sup> (3,230 ft <sup>2</sup> )	390 m <sup>2</sup> (4,199 ft <sup>2</sup> )
Density (max. Floor Area Ratio)	N/A	0.7	<0.7 to be required for building permit
Min. Lot Frontage	a. 18.0 m; b. 19.5 m corner	a. 10 m; b. 13 m corner lot	13 m
Max. Lot Coverage	40%	40%	<40%
Front Setback (minimum)	7.5 m	6.0 m (a 1.0 m projection is permitted)	6.0 m
Rear Setback (minimum)	9.0 m	6.0 m (a 1.0 m projection is permitted)	6.0 m
Side Setbacks (minimum)	a. 1.5 m and total 4.5 m both sides; b. 4.5 m any one side that flanks street	a. 1.5 m; b. 3.0 m any side that flanks a street, excluding a lane; c. 3.0 m on one side of the principal building where a secondary residence or carriage house behind the principal building lacks side or rear street or laneway access (in order to ensure access)	a. 1.6 m; b. 3.0; c. N/A
Principal Bldg. Height	8.0 m	8.0 m	<8.0 m to be required for building permit
Vehicular Parking Stalls	2 per single residential unit; 1 per secondary suite. Standards in accord with Zoning Div. 7	2 per single residential unit; 1 per secondary suite. Standards in accord with Zoning Div. 7 as well as zone specific options described in rows below	Design complies – see next row
Parking Reduction option for strata lots when 2	N/A	Minimum requirement for primary residence may be reduced by 1 vehicular space	Existing residence can use garage for bikes to meet (3-1=2)

Attribute	Existing R-1S Zone	R-1E Zone	Proposed Development
Secure Covered Bicycle Spaces provided			requirement if subdivision occurs before garage is renovated to face Grieve Ave
Parking Max. Yard Area	N/A	50%	<50%
Landscape Screening Height Min.	N/A	3.0 m (upon maturity, along pre-existing property lines, to City's satisfaction)	To be required for building permit
Min. Driveway Width (Division 7)	4.57 m	4.57 m	Corner lot driveway needs to broaden as annotated by staff – easily accommodated

**Infrastructure**

At subdivision, security for the off-site works will be required for the frontage improvements to centreline of Grieve Avenue and 18<sup>th</sup> Street fronting 1814 Grieve Avenue. These road works including removal and replacement of pavement, concrete curb, pavement markings, signage, sidewalk, boulevards and driveway letdowns on Grieve Avenue; and new pavement & replacement of the existing driveway letdown with new sidewalk on 18<sup>th</sup> Street per Bylaw 2919.

**Landscaping**

Tree cutting (permit required) on site will occur to facilitate the proposed subdivision and construction thereafter. The Tree Density Target for this property is 8 trees. The site plan (**Figure 3**) shows the 8 proposed trees as well as the additional 3 m landscape screening to be secured by a *Land Title Act* Section 219 covenant at building permit stage.

Prior to building permit issuance, the landscape plan and cost estimate that includes plants and growth medium, prepared by a qualified professional, is required to meet Zoning Bylaw No. 2500, 2007, Section 8.1.55 (1) requirements for each proposed lot. Security for estimated cost must be provided, to be released upon confirmation of acceptable planting by the qualified professional.

**Subdivision**

An application will need to be made to support the zoning amendment and a requirement for a Preliminary Layout Review (PLR) will be required to be issued prior to zoning adoption.

**POLICY ANALYSIS:**

This proposal meets the following objectives and policies detailed in Official Community Plan Bylaw 3070, 2022.

Urban Residential Land Use Designation:

- *Policy 1:* Support gentle infill that encourages greater housing choices and tenure types

- The small lots proposed suit construction of modest-sized detached residences while retaining the existing house and adding one more secondary suite.

**Buildings and Landscape:**

- *Objective 4:* The designs of new buildings complement neighbourhood character
  - The proposed design is consistent with the existing and neighbouring home and the new dwellings to be permitted are single detached dwellings and suites in keeping with the neighbourhood.

**Affordable Housing:**

- *Objective 1:* A variety of housing options are permitted and positively integrated in all neighbourhoods
  - Policy AH 1: Support higher housing densities, including amending the Zoning Bylaw to permit two dwelling units per single residential lot, in all residential land use designations, as described in the Managing Growth Policy section of this Plan, and in accordance with protection of Environmentally Sensitive Areas policies.
    - The proposed development increases the number of units from two to five.
  - Policy AH 2: Amend the Zoning Bylaw to reduce the minimum lot size requirements and establish maximum lot size requirements in the Urban Residential designation to support densification of existing and future neighbourhoods. In the establishment of lot sizes, ensure that the ability to accommodate a secondary dwelling unit is considered, and that wherever Environmentally Sensitive Areas are present, their protection shall take precedence.
    - The proposal re-zones the Urban Residential property to R-1E, the residential zone with the smallest minimum lot size (300 m<sup>2</sup>) and allowance for secondary suites at 450 m<sup>2</sup>, which the proposal will meet for two of the three lots post-subdivision.
  - Policy AH 4: Require that a diversity of housing types and unit sizes be provided in new rezoning applications for subdivisions. Ensure that development of multi-residential units occur in early phases of the subdivision.
- *Objective 2:* No net loss of rental housing
  - The proposal retains the existing house with its secondary suite while increasing supply.

**Community Amenity Contribution**

Staff have been empowered to negotiate the community amenity monetary contributions as part of a rezoning application for net gain in density, the increase in density is two lots.

The OCP does not provide an exemption for zoning amendment applications made prior to the adoption of the OCP. This application was made prior to the adoption of the OCP and considerable time was spent with the applicant in the pre-application process. There is no guidance in the OCP for staff to negotiate community amenity contributions in this situation in Part D, Section B Community Amenity Contribution Policy.

New OCP Bylaw No. 3070, 2022, preferentially targets affordable housing units and 'in-kind' capital community amenity assets, or monetary contributions in lieu, of \$5,000 per net new lot up to 650 m<sup>2</sup> per net new lot for the Affordable Housing Amenity Reserve Fund and \$1,000 per net new lot for the Parks,

Recreation, Culture, and Senior Facility Reserve Fund. The total contribution to meet these monetary targets would be \$12,000 for the proposed development.

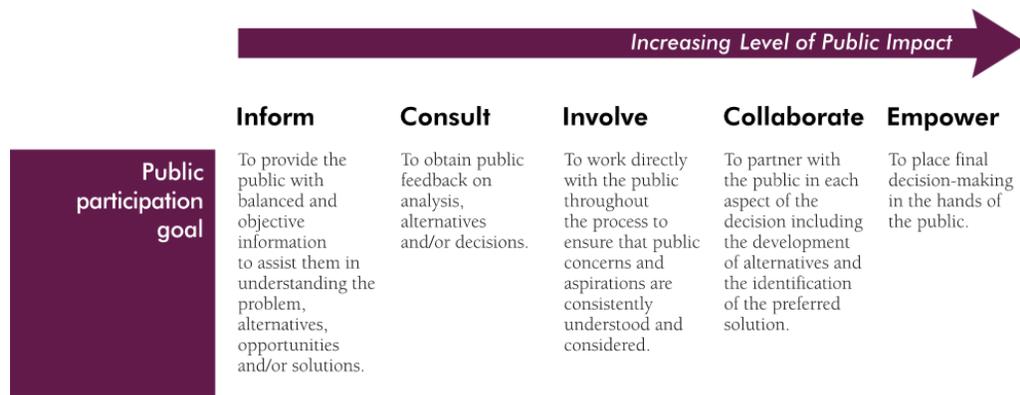
The applicant has provided a letter of willingness to provide community amenity contributions based on the now repealed OCP CAC policy as follows: \$1,000 per net new lot to the Affordable Housing Amenity Reserve Fund as well as \$1,000 per net new lot to the Parks, Recreation, Culture and Senior Facilities Reserve Fund, totalling \$4,000.

The difference between the new CAC Policy and the repealed CAC policy is \$8000. Council can request staff to revisit the negotiation of CAC contributions with the applicant as noted in Council Options.

Should Council support the proposed Community Amenity Contribution, a *Land Title Act* Section 219 covenant will be required to secure the community contribution prior to adoption of the bylaw.

**PUBLIC ENGAGEMENT:**

Staff inform and consult the public based on the IAP2 Spectrum of Public Participation.



The first Public Information mailout was provided February 3<sup>rd</sup>, 2022. The applicant distributed an alternative public information package to property owners and occupants within 100 m of the property and collected and summarized feedback. Unfortunately, the mailout contained errors.

A second mailout was provided March 17<sup>th</sup> within a two-week period in accordance with the Alternative Development Information Meeting process. The information and summary of the consultation process and public comments can be found in **Attachment 2**.

One comment was received in support of the development based on expected impact on property values, noted in the second summary. The City received three comments opposing the development after the applicant completed the summary report. Issues raised include neighbourhood fit and density, trees and greenspace, vehicle parking and traffic, building height, and uncertain affordability impact.

As per Section 467 of the *Local Government Act*, notices of a public input opportunity for the regular meeting of Council on July 26 were mailed on July 13, 2023 by the City to the 53 owners and/or occupants of properties within a 100 m radius of the subject property. Two consecutive newspaper advertisements were published in the Comox Valley Record on July 12<sup>th</sup> and 19<sup>th</sup> publication (**Attachment 4**). As of the date of writing this report no comments have been received. Any written received by 1:00 pm July 26 will be sent to Council and Staff will update Council at the meeting.

The subject property is located within 800 m of Cliffe Avenue, a designated highway. In accordance with Section 52(3) of the **Transportation Act** the Ministry of Transportation must grant its approval prior to adoption of the bylaw.

**REGIONAL GROWTH STRATEGY REFERENCE:**

The Comox Valley Regional Growth Strategy (RGS) is a framework for future land use, and sets basic direction for planning, policies, and action for all member municipalities, including Courtenay. The RGS is guided by a number of growth management principles that are incorporated by this proposed application: This development proposal is consistent with the RGS Housing Goal to “ensure a diversity of affordable housing options to meet evolving regional demographics and needs” including:

- Promote the efficient use of land, provide greater transportation choices, reduce public servicing costs, and achieve environmental benefits through compact growth.
- Promote intensification, compact growth and supportive public transit services throughout designated Municipal Areas as the primary means of accommodating population and employment growth.

**FINANCIAL IMPLICATIONS:**

There are no direct financial implications related to the processing of this application as the fees are designed to offset administrative costs.

**ADMINISTRATIVE IMPLICATIONS:**

Processing Zoning Bylaw amendments is a statutory component of the corporate work plan and a core duty of the Department of Development Services. Work to date has primarily been carried out by Development Services staff, although other departments have provided referral comments. It is not expected to cause delays for other projects.

Should Council deny the rezoning amendment a zoning amendment could not be reconsidered for a year unless Council considers a request to reconsider with 2/3 vote in favour.

**ASSET MANAGEMENT IMPLICATIONS:**

The applicant submitted a site servicing report on servicing capacity and a general site servicing plan. Based on this, staff confirmed site servicing. Detailed engineering plans will be required as part of the subdivision application. Staff have identified in review of the preliminary engineering plans that Grieve Ave and 18<sup>th</sup> St frontage improvements will be required as part of the subdivision PLR.

**STRATEGIC PRIORITIES REFERENCE:**

This initiative addresses some of the goals that guide Council’s strategic priorities:

- The proposal provides allows two net new small lots for infill housing located in walking distance to the downtown and services. This location is near the Frequent Transit Route #1 Anfield Centre / Comox Mall and cycling routes allowing for reduced vehicle dependence. Infill housing makes efficient use of existing municipal infrastructure.

**OPTIONS:**

1. Recommended Option  
THAT Council give First, Second and Third Readings to “Zoning Amendment Bylaw No. 3063” (1814 Grieve Ave) subject to the following conditions prior to adoption:
  - a. 219 Covenant for Community Amenity Contributions;
  - b. 219 Covenant to ensure a 3 m vegetation buffer is installed along the northeast and southeast property lines; and
  - c. A Preliminary Layout Review be issued.
  
2. THAT Council give First Reading of “Zoning Amendment Bylaw No. 3063” (1814 Grieve Ave) and request further information from staff. (see Community Amenity Contributions)
  
3. THAT Council defeat “Zoning Amendment Bylaw No. 3063” (1814 Grieve Ave) (see administrative implications)

**ATTACHMENTS:**

Attachment 1 Concept Site Plan and Perspectives  
Attachment 2 Public Information Mailout Summary  
Attachment 3 Applicant’s Summary  
Attachment 4 Newspaper Advertisement  
Attachment 5 Zoning Amendment Bylaw No. 3063

Prepared by: Mike Grimsrud, Planner II  
Reviewed by: Marianne Wade, RPP, MCIP, Director of Development Services  
Concurrence: Geoff Garbutt, M.Pl., MCIP, RPP, City Manager (CAO)





PLEASE NOTE:  
EXISTING AND PROPOSED DWELLINGS  
MAY NOT APPEAR EXACTLY AS ILLUSTRATED

**WIND ROSE** | DESIGN  
INC.



PLEASE NOTE:  
EXISTING AND PROPOSED DWELLINGS  
MAY NOT APPEAR EXACTLY AS ILLUSTRATED

**WIND ROSE** | DESIGN  
INC.

Summary report of the mail out notification: Date Feb.21.23

Dear City of Courtenay,

Please summary of the mail out for 1814 Grieve Ave.

- a) Date of mail out; - Feb.3/23
- b) Number of comments received and by which means (email, mail and phone calls received); zero
- c) Information provided in the mail out; - Attached
- d) A summary of questions raised /response and major discussion points. - none

Thanks so much!

Tatum Taker

604-354-0117

tatumtaker@gmail.com

To Whom It May Concern,

This letter is to inform you that an application for development permit to rezone 1814 Grieve Ave to R-1 E (current zoning is R1-S) in recognition of the land use for greater densification and inclusionary land use regulation by converting an over sized, under utilized parcel through the provision of smaller lot sizes and secondary suites within single family residential lots.

The change of zoning would allow for two additional lots to be subdivided from the current lot size of 0.39 acres, to create three lots with an area of not less than 300 m<sup>2</sup> per lot. The original house will remain on the centre lot with the lot size of 668.9m<sup>2</sup>, and the two additional lot sizes being 473.8 m<sup>2</sup> and 390.1 m<sup>2</sup>. These sizes meet all the requirements under the zoning R-1E.

The change of zoning to R-1 E would provide secondary suites in single family residential lots that are greater than 450m<sup>2</sup>, this zoning would increase density and provide opportunity for more affordable housing, giving a variety of housing types, thus a more compact community by creating lots consistent with current lots without introducing multi- family. The provision of small lot infill to the existing neighbourhood supports the increase in density near major destinations in the city. As well as provides affordable housing options with the mix of legal suites in residential single-family homes. This will allow for three single family homes with two of the homes meeting the requirements for legal rental suites, giving 5 residences and creating a variety of affordability. R-1E zoning exists at 1550 Willemar Ave, which is in close proximity to the subject property of 1814 Grieve Ave.

The building design and landscape requirements will be recognized as per City of Courtenay, using the property to promote and enhance the neighbourhood by matching architectural details of adjoining properties, the neighbourhood consists of two story with basement buildings of single-family homes. The new buildings of single family homes would take into consideration the scale and massing to enhance surrounding properties by taking considerable care to balance the elevations to create contemporary styling. The goal would be to propose building designs to incorporate attractive design by using multiple face, multiple roof lines, for a contemporary updated appearance using materials that will have longevity.

All of the proposed lots will have street to garage access off of Grieve Ave. All door fronts will face towards Grieve Ave, keeping the street scape style consistent with neighbouring properties. The landscape will incorporate a street side tree per lot to enhance a warm entry feel from the road side. Great consideration will be taken to keep the charm and character in the neighbourhood.

The trees on street scape will use native species to appropriately enhance the neighbourhood by incorporating recommended landscape design to respect our community and environment. They also offer cooling shade and rainwater absorption. Standard Building Code requirements for green energy will be incorporated. The requested R-1 E zoning and the proposed building



<https://prospero.courtenay.ca/TempestLive/ourcity/Prospero/Details.aspx?folderNumber=RZ000065>

FOLDER NUMBER: RZ000065

Email is best for comments☺

tatumtaker@gmail.com

Summary report of the mail out notification: Date Feb.21.23

Staff Note:  
Summary date not  
updated from  
previous summary.  
Received April  
10th 2023

Dear City of Courtenay,

Please summary of the mail out for 1814 Grieve Ave.

- a) Date of mail out; **March.17/23**
- b) Number of comments received and by which means (email, mail and phone calls received); **one**
- c) Information provided in the mail out; - **Attached**
- d) A summary of questions raised /response and major discussion points. – **Response was it will increase their neighbouring property value, so go for it!**

Staff note: 3 additional comments were received by the City and sent to the applicant after this summary was written, attached below and discussed in Staff Report SR DDS 2023-05-10 Zoning Bylaw No. 3063 (1814 Grieve Ave)

Thanks so much!  
Tatum Taker  
604-354-0117  
tatumtaker@gmail.com

To Whom It May Concern,

This letter is a follow-up to inform you that an application for development permit to rezone 1814 Grieve Ave to R-1 E (current zoning is R1-S) in recognition of the land use for greater densification and inclusionary land use regulation by converting an over sized, under utilized parcel through the provision of smaller lot sizes and secondary suites within single family residential lots.

The change of zoning would allow for two additional lots to be subdivided from the current lot size of 0.39 acres, to create three lots with an area of not less than 300 m<sup>2</sup> per lot. The original house will remain on the centre lot with the lot size of 668.9m<sup>2</sup>, and the two additional lot sizes being 473.8 m<sup>2</sup> and 390.1 m<sup>2</sup>. These sizes meet all the requirements under the zoning R-1E.

The change of zoning to R-1 E would provide secondary suites in single family residential lots that are greater than 450m<sup>2</sup>, this zoning would increase density and provide opportunity for more affordable housing, giving a variety of housing types, thus a more compact community by creating lots consistent with current lots without introducing multi-family. The provision of small lot infill to the existing neighbourhood supports the increase in density near major destinations in the city. As well as provides affordable housing options with the mix of legal suites in residential single-family homes. This will allow for three single family homes with two of the homes meeting the requirements for legal rental suites, giving 5 residences and creating a variety of affordability. R-1E zoning exists at 1550 Willemar Ave, which is in close proximity to the subject property of 1814 Grieve Ave.

The building design and landscape requirements will be recognized as per City of Courtenay, using the property to promote and enhance the neighbourhood by matching architectural details of adjoining properties, the neighbourhood consists of two story with basement buildings of single-family homes. The new buildings of single family homes would take into consideration the scale and massing to enhance surrounding properties by taking considerable care to balance the elevations to create contemporary styling. The goal would be to propose building designs to incorporate attractive design by using multiple face, multiple roof lines, for a contemporary updated appearance using materials that will have longevity.

All of the proposed lots will have street to garage access off of Grieve Ave. All door fronts will face towards Grieve Ave, keeping the street scape style consistent with neighbouring properties. The landscape will incorporate a street side tree per lot to enhance a warm entry feel from the road side. Great consideration will be taken to keep the charm and character in the neighbourhood.

The trees on street scape will use native species to appropriately enhance the neighbourhood by incorporating recommended landscape design to respect our community and environment. They also offer cooling shade and rainwater absorption. Standard Building Code requirements for green energy will be incorporated. The requested R-1 E zoning and the proposed building



<https://prospero.courtenay.ca/TempestLive/ourcity/Prospero/Details.aspx?folderNumber=RZ000065>

FOLDER NUMBER: RZ000065

Please return your Comments by: March.31/22 to Myself, Tatum Taker or the city (see below).  
Comments can be submitted to the City of Courtenay by one of the following methods:

- Drop your comment sheet off in the drop box located at the front entrance of the City of Courtenay or mail: City of Courtenay, Planning Services Department, 830 Cliffe Avenue, Courtenay BC V9N 2J7
- Email your comments to [planning@courtenay.ca](mailto:planning@courtenay.ca)
- Fax your comments to 250-334-4241

**From:** [REDACTED]  
**To:** [PlanningAlias](#)  
**Subject:** Folder RZ000065  
**Date:** Monday, March 20, 2023 3:30:20 PM

---

I had responded to Tatum Taker's proposal in February.  
As requested, I am forwarding this to the City of Courtenay.

- > Dear Tatum
- > Thank you for your letter of proposal.
- > I discussed this with a realtor, and his advice is that it should increase our property value, provided that the new homes are well maintained with responsible owners/tenants.
- > We trust that the new owners/tenants will also be good neighbours.
- > Regards

[REDACTED]

- >
- >

**From:** [REDACTED]  
**To:** [PlanningAlias](#)  
**Subject:** Comments re:folder number RZ000065  
**Date:** Thursday, March 30, 2023 8:26:45 PM  
**Attachments:** [1814 Grieve Comments.docx](#)

---

Please see the attached letter with comments regarding Folder Number RZ000065.

[REDACTED]

RE: Rezoning Proposal for 1814 Grieve Ave. Folder Number RZ000065

To Whom It May Concern:

I am writing this letter in response to the rezoning proposal for the lot next door to ours at 1814 Grieve Ave.

I am very disappointed to see this being put forward. Our previous neighbours, Mr. and Mrs. Hamilton built that house and lived in it until they passed away. I believe they were instrumental in creating Maple Park across the street. I am certain that they would be disappointed in this plan as well.

I will comment on the items in the Sustainability Compliance Checklist:

***Balances the scale and massing of buildings in relation to adjoining properties:*** I do not believe it does. Our neighbourhood has many larger lots and older homes. Adding two houses to this corner lot leaving the existing home in place would be overcrowding. We inquired about the space between our houses when 1814 Grieve Ave was being put on the market and we were told that the lot is 10 feet too narrow to build another house there. There is already a suite in the existing house. That is enough.

***Supports a range of incomes:*** Is there anywhere stated what the proposed rent would be? The checklist states that the suites would support lower rent options, but it is not specific. I do not believe that Tatum Taker is interested in providing anyone with affordable housing. If the rent that would be charged is in line with what is currently the norm, that does not support affordability.

***Is a positive impact on views and scenery and preserves and provides greenspace, trails, and landscaping:*** I feel that the trees and greenspace that are currently in place are more positive for the neighbourhood. Adding two more houses on this lot with driveways facing the front as well as reorienting the driveway of the existing house will allow very little space for yards. Another point which is NOT in line with the existing neighbourhood.

***Provides multi-functional street:*** The existing house on this lot has a suite. At one point there were 4 SUV's, two large boats and a storage unit parked on this property (where one additional house is proposed). Not to mention a trampoline and two storage sheds as well. This alone was unsightly. If two new houses are built, each with a suite, and each dwelling having two vehicles, that is 8 MORE vehicles on this corner. The parking available for each unit would not accommodate for this, which puts extra vehicles on the street. This does NOT improve our neighbourhood.

From the OCP re: Infill Areas

***These areas include all lower-density residential zones throughout the city, often referred to as single residential. Today some neighbourhoods of Courtenay, within these areas, are***

*permitted a secondary residence, while others are not. In support of the growth strategy, infill development will be permitted throughout Courtenay in the form secondary suites and duplexes and detached secondary residences. Multi-residential will be supported along the Frequent Transit Network.* The plan mentions allowing secondary suites or detached secondary residences. TWO additional residences EACH with a suite is too much densification for our neighbourhood and does not fit with the OCP in my opinion.

In addition to the items outlined above there have been concerns with the owners of the single house. The first tenants of the house (I believe they were Tatum Taker's children) let their dog run loose on the yard. They did not clean up after the dog and it was very unsightly, disgusting, and likely a health hazard. I complained several times to bylaw enforcement and there is a file that you can look up. To me this speaks to their care for the neighbourhood. They don't care.

They are not trying to improve the neighbourhood; they do not care about affordable housing and they do not care about their neighbours. In my opinion, they care about making money.

We were excited when a new family was moving in next door, we were looking forward to the possibilities. We are disappointed with our new neighbours and hope that this proposal does NOT get approved. The one house with a suite seems to be enough for our neighbourhood to handle.

Thank you for your consideration,



**From:** [REDACTED]  
**To:** [PlanningAlias](#)  
**Subject:** Folder Number: RZ000065  
**Date:** Thursday, March 30, 2023 6:18:20 PM

---

Hello,

We are writing this in response to an application for rezoning from R-1S to R-1E for the purposes of subdivision and development, Folder Number: RZ000065. We have been homeowners and residents in this neighbourhood since December 2012. We feel strongly that if this application is approved that it would be a disservice to this neighbourhood. We have read through the OCP and from our understanding this would not be within the OCP guidelines. This is a neighbourhood of generous lots and single family homes with the option of secondary residences. This project does not fit with the distinctiveness of the existing community. Does this development fit within Courtenay's Official Community Plan?

We did receive 2 letters from the developer and they were vague in every aspect of their plans. For example the noted comparison to 1550 Willemar Avenue is not within close proximity nor does it compare to the scope of development being proposed. The letters mention affordability over and over again, without any elaboration. They also mention density which isn't a characteristic of this neighbourhood.

While we support affordable housing and density (in appropriate areas), these are some of the negatives we see with this development.

- increased traffic in a quiet residential area with a park across the street and many children in the area. Not to mention the environmental impact of increased traffic.
- people have chosen to live here for its quiet family oriented nature and this has the potential to open the door to further rezoning applications.
- the adjoining lots will be negatively impacted by the close proximity of the purposed dwellings.

Thank you,

[REDACTED]

Sent from [Mail](#) for Windows

**From:** [REDACTED]  
**To:** [PlanningAlias](#)  
**Subject:** Folder Number RZ000065  
**Date:** Friday, March 31, 2023 11:26:50 AM

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## Re: 1814 Grieve Avenue

Thank you for providing us with this opportunity to comment on the proposed development at 1814 Grieve Avenue.

We understand the need for housing and the need for affordable housing, however, we have concerns about the proposed development for this lot.

From our perspective, the planned proposal of three houses with five residences seems excessive. We believe this would create far too much density for the lot as well as for the street and the neighbourhood.

In addition to over density, including the increase in vehicle traffic and on-street parking challenges, are the proposed 'multiple' roof lines. We are concerned that roof lines will exceed the current roof lines on the existing house and neighbouring homes. In addition, we are not sure that the plans for the new proposed houses and their roof lines will be in keeping with the more simple and humble designs of this low key 1960's neighbourhood.

We do not understand the sentence in the letter that states, "*The new buildings of single family homes would take into consideration the scale and massing to enhance surrounding properties by taking considerable care to balance the elevations to create contemporary styling.*"

To summarize, we believe this development is too aggressive for this neighbourhood. We believe only one new dwelling should be allowed and there should only be a maximum of three residences, not five, as proposed by the developer.

Thank you,

[REDACTED]

Nov.17/21

City of Courtenay  
830 Cliffe Avenue  
Courtenay BC V9N2J7

## Sustainability Conformance Statement and Evaluation

**Attention:** Department of Planning Services

Re: 1814 Grieve Ave.  
Lot 4, Plan VIP15115, Section 68, Comox Land District  
PID 004-192-150  
Area -Jurisdiction -Roll: 06-204-01211.010

### **Summary Overview**

Topside Pacific Ventures Ltd is proud to be applying for development permit to rezone 1814 Grieve Ave to R-1 E (current zoning is R1-S) in recognition of the land use for greater densification and inclusionary land use regulation by converting an oversized, under utilized parcel through the provision of smaller lot sizes and secondary suites within single family residential lots.

### **Land Use**

The change of zoning would allow for two additional lots to be subdivided from the current lot size of 0.39 acres, to create three lots with an area of not less than 300 m<sup>2</sup> per lot. The original house will remain on the centre lot with the lot size of 668.9m<sup>2</sup>, and the two additional lot sizes being 473.8 m<sup>2</sup> and 390.1 m<sup>2</sup>. These sizes meet all the requirements under the zoning R-1E.

The change of zoning to R-1 E would provide secondary suites in single family residential lots that are greater than 450m<sup>2</sup>, this zoning would increase density and provide opportunity for more affordable housing, giving a variety of housing types, thus a more compact community by creating lots consistent with current lots without introducing multi- family. The provision of small lot infill to the existing neighbourhood supports the increase in density near major destinations in the city. As well as provides affordable housing options with the mix of legal suites in

residential single-family homes. This will allow for three single family homes with two of the homes meeting the requirements for legal rental suites, giving 5 residences and creating a variety of affordability. R-1E zoning exists at 1550 Willemar Ave, which is in close proximity to the subject property of 1814 Grieve Ave.

### **Building Design**

The building design and landscape requirements will be recognized as per City of Courtenay, using the property to promote and enhance the neighbourhood by matching architectural details of adjoining properties, the neighbourhood consists of two story with basement buildings of single-family homes. The new buildings of single family homes would take into consideration the scale and massing to enhance surrounding properties by taking considerable care to balance the elevations to create contemporary styling. The goal would be to propose building designs to incorporate attractive design by using multiple face, multiple roof lines, for a contemporary updated appearance using materials that will have longevity.

### **Transportation**

The site is located at the corner of 18<sup>th</sup> St and Grieve Ave, which is within close proximity to public transit, more importantly it is within walking distance of parks, schools, grocery stores and commercial spaces. Thrifty's is on the corner of 17<sup>th</sup> St and Cliffe Ave, as well as the retail plaza that includes Starbucks and Brown social house. The site is centrally located with Courtenay Elementary School walking distance, a mere 700m to the northwest, and Driftwood Mall 1.4km to the South. This subdivision proposal satisfies the City's desire to provide greater densification within an urban site to allow walking/biking to everyday amenities to promote a healthy lifestyle.

### **Infrastructure**

Sewer, water, gas, hydro, telephone, road, sidewalk, garbage collection services already exist to the current home at 1814 Grieve Ave. No extension of City services is required. Only the connection of laterals to the 2 new buildings will be needed. Any additional studies that may be required will be provided upon request.

### **Character & Identity**

All of the proposed lots will have street to garage access off of Grieve Ave. All door fronts will face towards Grieve Ave, keeping the street scape style consistent with neighbouring properties. The landscape will incorporate a street side tree per lot to

enhance a warm entry feel from the road side. Great consideration will be taken to keep the charm and character in the neighbourhood.

### **Environmental**

The trees on street scape will use native species to appropriately enhance the neighbourhood by incorporating recommended landscape design to respect our community and environment. They also offer cooling shade and rainwater absorption. Standard Building Code requirements for green energy will be incorporated. The requested R-1 E zoning and the proposed building design for this site are expected to result in short-term, low level environmental impact to the neighbourhood; much of which can be addressed through City standard mitigation measures.

Thank-you for your review of this proposal, I look forward to your response with the success of the adopted Zoning R1-E and subdivision for greater densification and inclusionary land use.

Yours truly, Tatum Taker

Topside Pacific Ventures Ltd.  
1808 Astra Rd. Comox, BC, V9M4B4  
604-354-0117  
[tatumtaker@gmail.com](mailto:tatumtaker@gmail.com)





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### COMOX VALLEY WEATHER

Wed 07/12	Thu 07/13	Fri 07/14	Sat 07/15	Sun 07/16	Mon 07/17	Tue 07/18
Mainly sunny	Mainly sunny	Mainly sunny	Mainly sunny	Light rain	Light rain	Mainly sunny
24°	25°	26°	26°	25°	24°	24°

Creating Smiles with Care



Complete • Partials  
Rebase • Reline • Repair  
Free Consultations

**Valley Denture Centre**

Mike Radeka  
Dentist

3318 6th St. Courtenay 250-334-4732

Have an opinion?  
Email letters@comoxvalleyrecord.com



See mine and other listings in next week's **Royal LePage Buyers Guide**

Or  
Online at [philedgett.com](http://philedgett.com)  
Ask for Phil Edgett  
Cell: 250-897-5089  
[phile@island.net](mailto:phile@island.net)

**I support the Branch #17 Courtenay Legion!**

**Lower Lounge**  
FMI 250-334-4911  
Open Tuesday to Saturday  
Doors open at 12 Noon - last call at 6:30 pm  
Entrance at the rear down the ramp  
**July 15th** - Music from 2pm - 5pm  
Double Play

Bingo is on Summer break Returning September 7th

**ROYAL LePAGE** 250-334-3124  
In the Comox Valley 121-750 COMOX RD, COURTENAY

# Godspeed to the 'fastest aircraft that ever served in the Canadian Forces'

**Olivier Laurin**  
Record staff

On the evening of July 6, a small group of people gathered at the Comox Heritage Airpark to pay homage and wish farewell to its CF-104 Starfighter.

Among this crowd was retired Lt.-Col. Dan Dempsey, who piloted the aircraft in its glory days.

"The Starfighter was the fastest aircraft that ever served in the RCAF and Canadian Forces," said Dempsey. "It was a Mach 2 airplane that

would fly twice the speed of sound.

"This particular airplane happens to be one of the fastest starfighters that we ever flew. It has actually flown as a test flight up to Mach 2.4 (2960 km/h)."

Faster than the emblematic F-18 and the current F-35, this supersonic fighter jet was stationed in Cold Lake, Alta., before ending up at the Comox Heritage Airpark following its retirement.

Originally designed in 1954 by Lockheed's legendary aeronauti-

cal engineer Kelly Johnson, most of the Canadian Starfighter fleet was manufactured in Montreal.

Added to the Canadian military inventory in 1962, the aircraft was first used for its reconnaissance and nuclear strike abilities.

"Fortunately, we never had to use it," said Dempsey. "But the whole idea was to prevent and deter conflict by being ready. And we were ready. Canadians did very well with this airplane and were very highly respected in NATO."

Flown by 15 countries, the aircraft rapidly became a favourite of many NATO member states in Europe.

## New beginning

After spending the last three decades sit-



A crew prepares to lift the iconic CF-104 Starfighter for its move from the Comox Heritage Airpark to the B.C. Aviation Museum in Victoria. (Olivier Laurin / Comox Valley Record)

ting in Comox's Heritage Airpark, the aircraft is now on its way to Victoria's BC Aviation Museum.

"We're going to strip the airplane right down to bare metal and then hopefully

refinish it back in the original form that it flew in when it first came off the assembly line," said Dempsey. "It's been rendered un-flyable, but it's going to be a beautiful static airplane."

Though Dempsey said that the renovation of the plane will take several months, the museum hopes the plane will be ready in time to be unveiled for RCAF's 100th anniversary next year.

## PUBLIC INPUT OPPORTUNITY

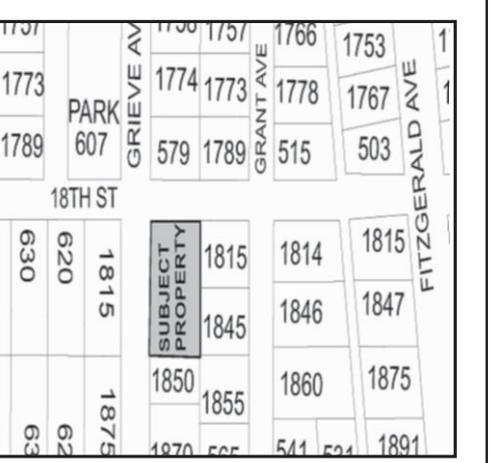
### Zoning Amendment Bylaw No. 3063

**1814 Grieve Avenue**  
Courtenay, BC  
Lot 4, Section 68,  
Comox District, Plan VIS5235  
File No. RZ000065

In accordance with s.464(2) of the Local Government Act, a public hearing on Zoning Amendment Bylaw No. 3063 is not required. Under s.467 of the Local Government Act notice is hereby given that Council will consider 1st reading of Zoning Amendment Bylaw No. 3063 at the July 26th, 2023 regular Council meeting. The purpose of the proposed bylaw is to rezone the above noted property from Residential One S Zone (R-1S) to Residential One E Zone (R-1E) to allow a proposed subdivision for the creation of two additional lots while retaining the existing home.

**Get more information:**  
View a copy of the proposed bylaw and relevant documents on our website [www.courtenay.ca/devapptacker](http://www.courtenay.ca/devapptacker) (search by address or file number).  
Written submissions must be received by the City no later than **1:00 pm, Wednesday, July 26, 2023** to ensure their availability to Council at the meeting.

**Council Meeting**  
Wednesday, July 26th 2023, 4:00 pm  
**Watch meeting live online:**  
[www.courtenay.ca/councilmeetings](http://www.courtenay.ca/councilmeetings)



**HAVE YOUR SAY:** ✉ 830 Cliffe Ave. Courtenay, BC V9N 2J7  
📧 [planning@courtenay.ca](mailto:planning@courtenay.ca)



**CITY OF COURTENAY**  
Development Services

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**THE CORPORATION OF THE CITY OF COURTENAY**

**BYLAW NO. 3063**

**A bylaw to amend Zoning Bylaw No. 2500, 2007**

The Council of the Corporation of the City of Courtenay in open meeting assembled enacts as follows:

- 1. This bylaw may be cited for all purposes as **“Zoning Amendment Bylaw No. 3063”**.
- 2. That “Zoning Bylaw No. 2500, 2007” be hereby amended as follows:
  - (a) by rezoning Lot 4, Section 68, Comox District, Plan 15115 (1814 Grieve Avenue), as shown in bold outline on **Attachment A** which is attached hereto and forms part of this bylaw, from Residential One S Zone (R-1S) to Residential One E Zone (R-1E); and
  - (b) That Schedule No. 8, Zoning Map be amended accordingly.

3. This bylaw shall come into effect upon final adoption hereof.

A Decision not to hold a Public Hearing was made on July 12, 2023 pursuant to Section 464(2)(b) of the Local Government Act and notice of this decision was given in accordance with Section 467 of the Local Government Act in two editions of the Comox Valley Record on the    day of July,2023 and on the    , 2023

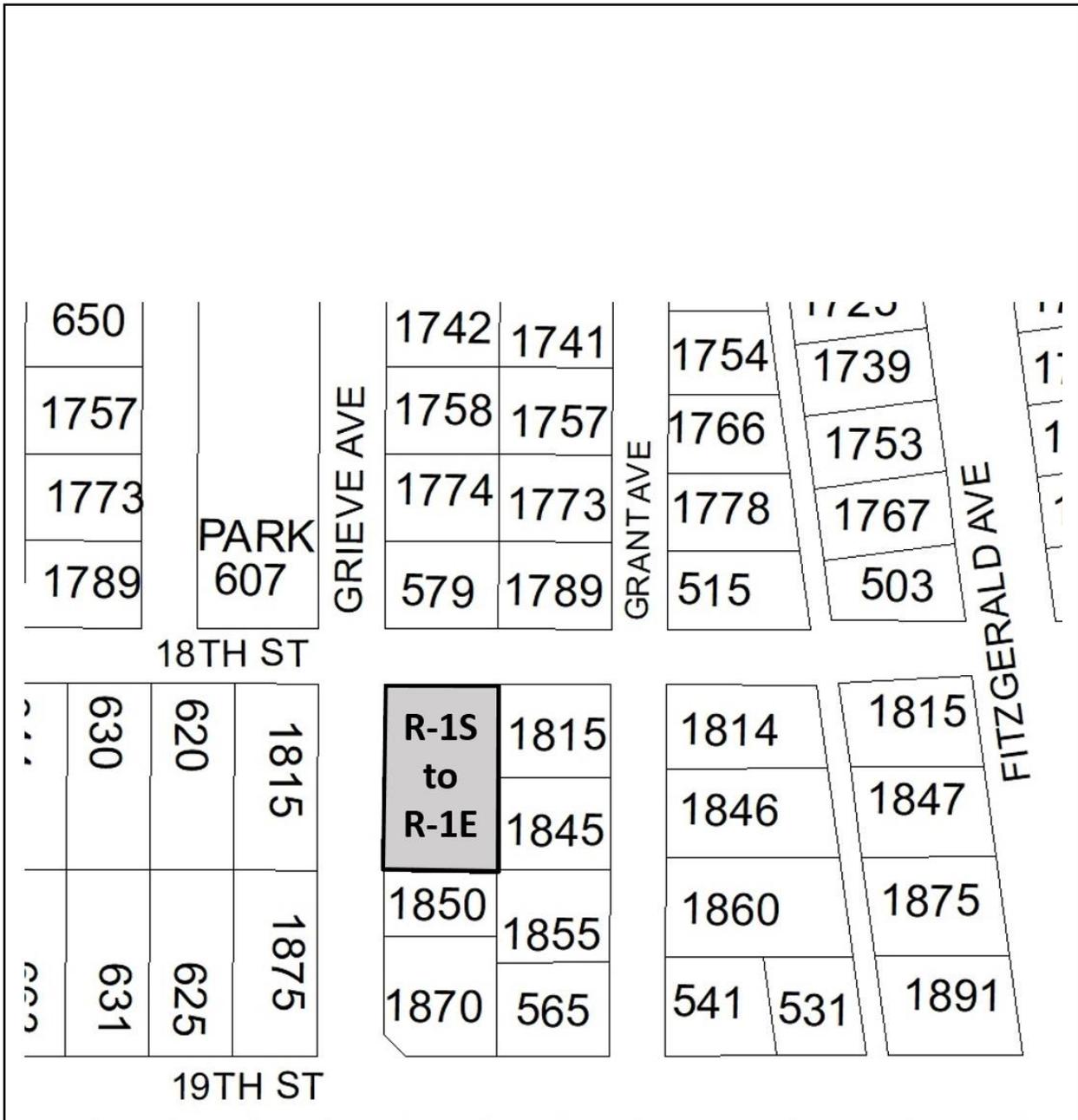
Read a first time this	day of	, 2023
Read a second time this	day of	, 2023
Read a third time this	day of	, 2023
Finally passed and adopted this	day of	, 2023

\_\_\_\_\_  
Mayor Bob Wells

\_\_\_\_\_  
Adriana Proton, Corporate Officer

Approved under S.52 (3) (a) of the *Transportation Act*

\_\_\_\_\_  
Tallina McRae, Development Services Officer  
Ministry of Transportation and Infrastructure  
Vancouver Island District



**THE CITY OF COURTENAY**  
**ATTACHMENT "A"**  
 Part of Bylaw No. 3063, 2023  
 Amendment to the  
 Zoning Bylaw No. 2500, 2007



## STAFF REPORT

**To:** Council

**File No.:** 3360-20-2302/RZ000075

**From:** Director of Development Services

**Date:** July 26, 2023

**Subject:** Zoning Amendment Bylaw No. 3095 – 4655a Madrona Place

### PURPOSE:

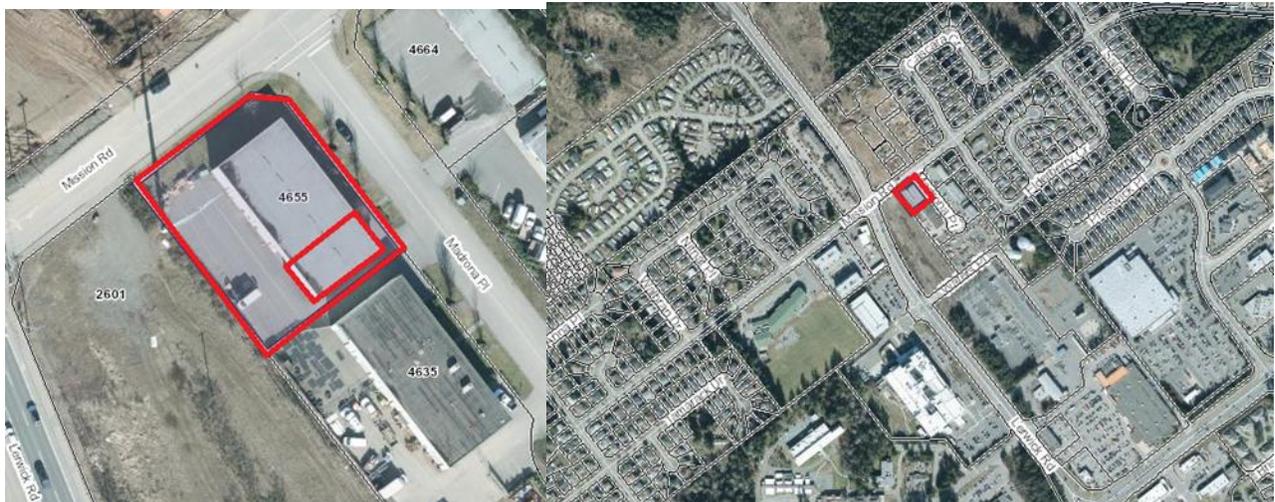
At the regular meeting of Council held on July 12, 2023, Council passed a resolution not to hold a public hearing as per Section 464(2)(b) and gave notice as per Section 467 of the *Local Government Act*. As per Bill 26, notice has been given prior to First reading of Zoning Amendment Bylaw No. 3063. The purpose of this report is for Council to consider an application to for a Zoning Bylaw text amendment to Part 24 – Industrial Two Zone (I-2), section 8.24.1 *Permitted Uses* to add day care use on a site-specific basis for the subject property located at 4655a Madrona Place. Staff are recommending First, Second, and Third readings of Zoning Amendment Bylaw No. 3095.

**Legal Description:** Strata Lot 5, District Lot 236, Comox District, Strata Plan VIS5235.

### BACKGROUND:

The subject property is one unit in a multi-unit light industrial building in the Upper Ryan Road neighbourhood (Figure 1).

**Figure 1 – Subject Property Location/Context**



The building is approximately 30 years old and the unit (Figure 2) purpose-built as a dance studio which generally operates after school and evenings. The facility is currently made up of three dance studios, an office, storage space, change rooms and three washrooms and operates from 4:30 to 9 pm. There are up to

150 dance registrants each season with a maximum of 35 dance students in the building (10 to 14 students per studio room) at any one given time and two dance instructors.

**Figure 2 – Subject Building Unit**



The subject property is located in the Industrial Two (I-2), Light Industrial zone and the 'Town Centre' land use designation in the OCP (Figure 3)

**Figure 3 – Zoning and OCP Land Use**

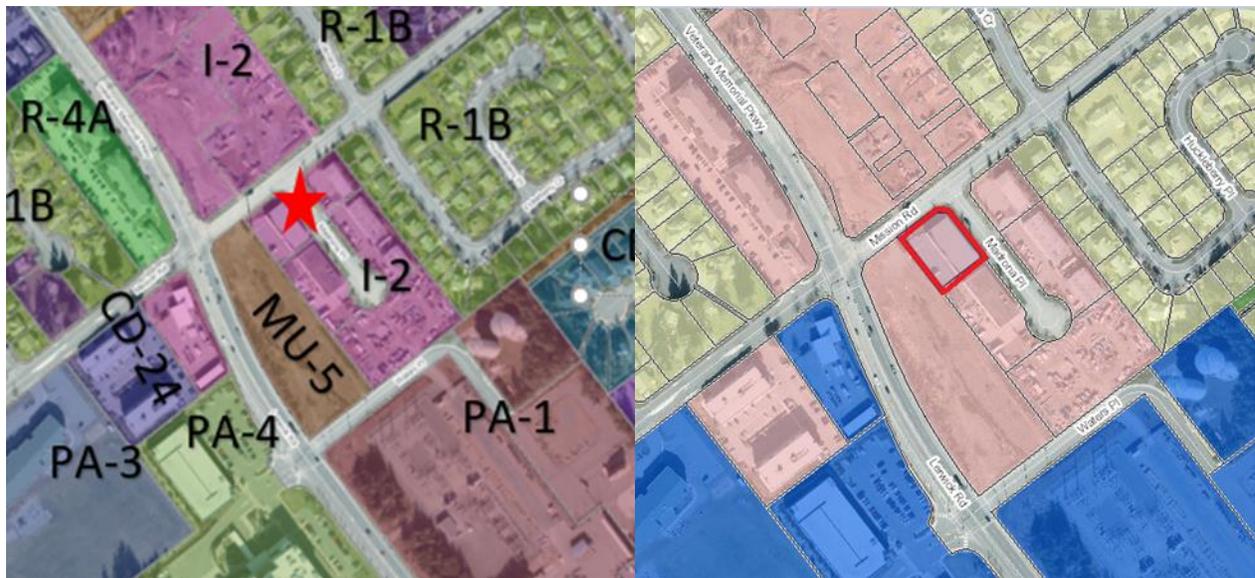


Table 1 below describes the surrounding zones, land designations, and actual uses surrounding the subject property.

**Table1 Surrounding Land Uses and Zoning**

Direction	OCP	Zone	Actual Use
North East	Town Centre and Urban Residential	I-2, R-1B, CD-1A	Light Industrial residential
North	Town Centre	R-4A	Townhouse (under construction)
East	Town Centre Institutional	1-2 PA-1	BC Hydro Facilities
Southwest	Town Centre Institutional	PA-3 PA-4 CD-24 MU-5 I-2	NI Hospital vacant land Fortis BC Facilities
West	Town Centre and Urban Residential	I-2 R-1B	Light Industrial buildings Multi-Dwelling Apartment

The applicant is proposing to provide child care operation to accommodate up to a maximum of 16 children ages 2.5 to 5 years which will operate Monday to Friday from 7:30 am to 3:30 pm. Attachment 1 contains the applicant’s proposal.

Child care operations are licensed by Island Health pursuant to the *Community Care and Assisted Living Act* and *Child Care Licensing Regulations*, the applicant will be required to obtain this license prior to obtaining a business licence for the child care operations.

**DISCUSSION:**

Zoning and OCP Review

The subject property is zoned I-2 zone which permits a wide range of uses including facilities for adults with disabilities, fitness facility, and school but does not permit day care. Currently, Daycare is a permitted use in R-4, R-4A, and CD-10 zones. The current Zoning Bylaw has limited zones that permit day care which impacts supply of child care services.

Bylaw 2948 was an amendment to the I-2 zone for a site specific use for day care and family development uses for 1625 and 1679 McPhee Avenue. These properties are designated in the OCP as a neighbourhood centre which permits community services which includes child care (day care). Similar situation to the subject property.

Although OCP General Land Use policy 2 (p.57) states that “Community Services including childcare facilities are supported in all land use designations except Agricultural, Light Industrial, and Future Growth, the subject

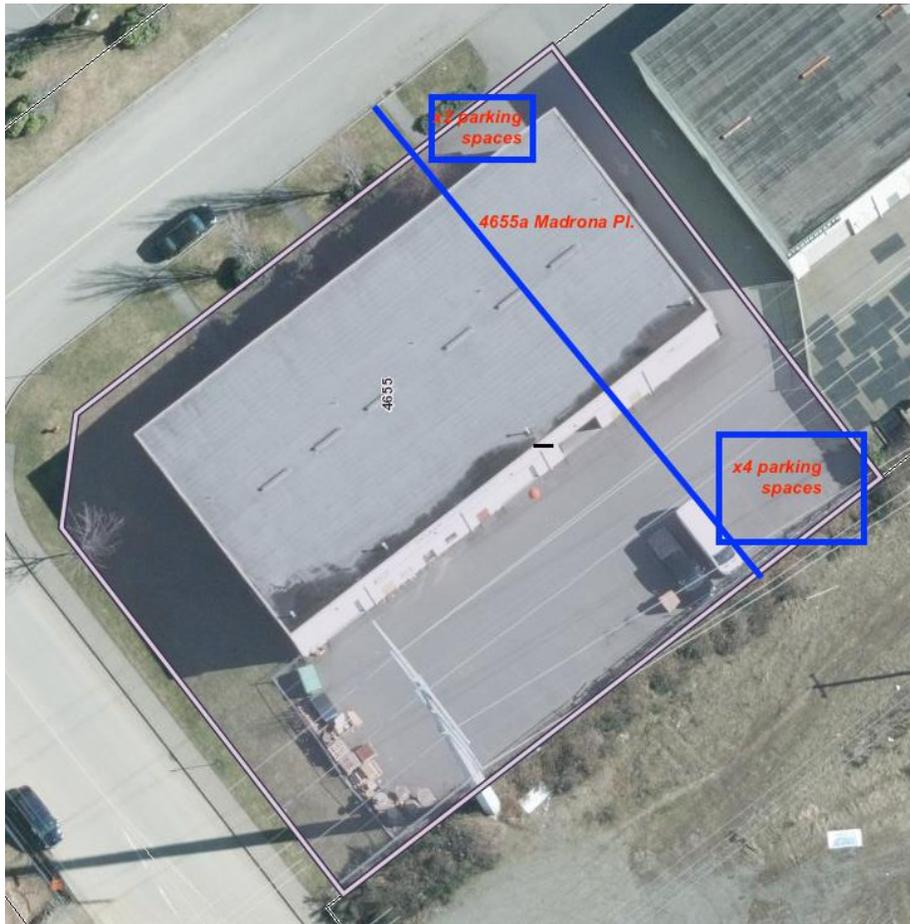
property is designated as a Town Centre and which does permit community services including child care (day care).

It is the zoning that designates the subject property as Light Industrial and the OCP land designation encourages community services for the subject property as it is within the Town Centre. Given that the I-2 zone has been amended once to permit site specific zoning for day care and that the OCP has designated this subject property as Town Centre which permits child care, staff are proposing a site specific amendment for the day care use at 4655a Madrona Place. Staff acknowledge that the zoning for this area will be considered in the zoning bylaw update to align with the OCP policies.

**Parking**

The subject property unit has six parking spaces: two in front, four in the rear of the building as shown in Figure. 4. The remainder of spaces are used by other building tenants.

Figure 4 – Location of Parking Spaces



Division 7 of the Zoning Bylaw regulates off-street parking and loading spaces.

*“7.1.2 (3) states where more than one use is located on a parcel or involves collective parking for more than one building or use, the **total number of spaces shall be the sum of the various classes of uses calculated separately**, and a space required for one use or a loading space shall not be included in calculations for any other use. However, parking and loading space requirements for churches/places of worship and associated assembly halls or classrooms shall be the greater of the requirements for the two uses calculated separately, provided the two are not used concurrently.”*

Schedule 7A of the Zoning Bylaw establishes the minimum number of off-street parking spaces based on the proposed use as one parking space per employee. “Dance studio” use isn’t a specifically identified use in the parking regulations. The closest use includes school and day care, both of which require 1 space per employee.

The child care program will have three staff and the dance studio has two staff, totalling five employees. The applicant owns and operates both businesses. As per Figure 4 there are six parking stalls and the Zoning Bylaw requires 5 parking spaces as such the parking requirements can be met.

#### Licensing for Day care

In consultation with the applicant, an Island Health licensing officer indicated that off-site locations of the outdoor play spaces are permissible subject to safety plan and approval. All aspects of the childcare centre will be reviewed by Island Health and must be approved prior to operation.

#### Need for Day care

The *Comox Valley Child Care Action Plan* prepared for the Comox Valley Regional District in partnership with the City of Courtenay and Town of Comox, December 2019 clearly identifies the need as follows:

- 81% of children in the Comox Valley do not have access to licensed child care
- 87% of children aged 0 – 3 do not have access to licensed child care
- 88% of children 6-12 do have access to licensed before and after school care

#### OCP POLICIES

This proposal meets the following objectives detailed in Official Community Plan Bylaw 3070, 2022.

#### Land Use:

- *General Land Use Policies*
  - 2. Community services facilities including childcare facilities are supported in all land use designations except Agricultural, Light Industrial, and Future Growth.
    - The subject property is zone I-2 but has a Town Center land use designation.
- *Objective 2:* The majority of community growth is strategically guided into growth centres to create more 10-minute neighbourhoods
  - Policy LU 6 Co-locate residential, commercial, institutional, and suitable employment-generating land uses in the Downtown, Town Centres & Urban Corridor, and Neighbourhood Centres.
    - The subject property is located in the Upper Ryan Road Town Center and close to numerous residential neighbourhoods and large employers.

Social Infrastructure:

- **Objective 2:** Coordinated, inclusionary, and systems-based responses are in place to address evolving complex social issues.
  - Policy SI 9 Work regionally to increase child care spaces as identified in the Comox Valley Child Care Action Plan (2019).
    - This childcare center will provide an additional 16 childcare spaces.

Local Economy:

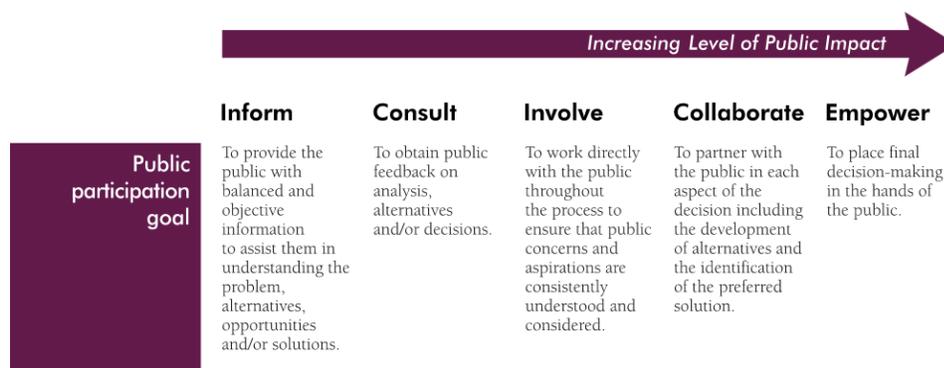
- **Objective 4:** People are at the heart of local economic development and are able to access adequate supports to participate in the economy.
  - LE 17 Ensure that social policies such as, but not limited to, *affordable housing* and child care are integrated with economic policies to support 'people-centred' forms of economic development.
    - The business owner is expanding her dance studio business to provide necessary childcare in a growing neighbourhood and will provide employment for two early childhood educators.

Community Amenity Contribution:

- Policy 6 identifies child care facilities as a desirable community amenity.
  - This childcare centre will provide an additional 16 childcare spaces in the region.

**CITIZEN/PUBLIC ENGAGEMENT:**

Staff will “Consult” the public based on the IAP2 Spectrum of Public Participation:



© International Association for Public Participation [www.iap2.org](http://www.iap2.org)

As required by Development Applications Procedures Bylaw No. 2790, 2014 a sign was posted on the property and a notice of the application was mailed to 33 neighbours within a 100 m radius of the subject property on March 14. The notice is included as **Attachment 2**. As permitted in Development Applications Procedure Bylaw No. 2790, the Interim Director of Development Services determined no Public Information Meeting was necessary given the consistency with the OCP.

Two responses were received. One response supported the proposed child care. The second response asked how the additional vehicle traffic of the child care activity might and the new multi-family development in the area might impact them. Staff response is below:

*Due to the low volume of traffic (a maximum of 16 additional vehicles coming to the childcare centre to drop off/pick up children) and the location in a Town Center, a traffic impact study was not required. The proponent anticipates that some of the children will live in the surrounding neighbourhoods so walking is an option. The commenter lives across Mission Road. "Connecting Courtenay, the City's Transportation Master Plan", published in September 2019 identifies future improvements for roads, intersections, pedestrians and cycling. The intersection at Mission Road and Veteran's Memorial Parkway/Lerwick Road is not identified as being a high vehicle collision intersection or one with unreasonable levels of vehicular congestion.*

The application is consistent with the Official Community Plan. In accordance with Section 464(2) of the *Local Government Act* a public hearing is not required, and recommended not be held, as the proposed bylaw is consistent with the OCP.

In accordance with Section 467, public notice was provided that a public hearing would not be required, and opportunity for public comment was provided. Public notice was published in the Comox Valley Record on July 12th and July 19th. Information on the Zoning Amendment Bylaw No. 3095 and mailed to owners and/or occupants within a 100-metre radius.

At the time of the publishing of this report, no public comments had been received. Comments received after writing this report are presented to Council prior to First reading of the Bylaw.

As required by Section 52(3) of the **Transportation Act** where the subject property is located within 800 m of a controlled access highway, the Ministry of Transportation must grant its approval prior to Council's consideration of approval. The subject property is located within 800 m of Ryan Road, a designated highway.

#### **REGIONAL GROWTH STRATEGY REFERENCE:**

The Comox Valley Regional Growth Strategy (RGS) is a framework for future land use, and sets basic direction for planning, policies, and action for all member municipalities, including Courtenay. The RGS is guided by a number of growth management principles that are incorporated by this proposed application:

- Promote the efficient use of land, provide greater transportation choices, reduce public servicing costs, and achieve environmental benefits through compact growth.
- Promote intensification, compact growth and supportive public transit services throughout designated Municipal Areas as the primary means of accommodating population and employment growth.

#### **FINANCIAL IMPLICATIONS:**

There are no direct financial implications related to the processing of this Zoning Bylaw amendment application as the fees are designed to offset the administrative costs.

#### **ADMINISTRATIVE IMPLICATIONS:**

Processing this application is part of the core duties of the Department of Development Services. Should Council not move forward with the zoning bylaw amendment a rezoning application could not be considered for a year unless Council considers a request to reconsider with 2/3 vote in favour.

**ASSET MANAGEMENT IMPLICATIONS:**

There are no asset management implications related to this proposed new use.

**STRATEGIC PRIORITIES REFERENCE:**

This initiative addresses some of the goals that guide Council’s strategic priorities:

The proposal will provide much needed childcare services in the Region as over 80% of children in the Comox Valley do not have access to licensed childcare thereby adding to the City’s social infrastructure. The location in the Upper Ryan Town Center is close to surrounding residential neighbourhoods and large employers thereby making this a stronger neighbourhood.

**OPTIONS:**

1. (Recommended) THAT Council give First, Second and Third Reading to “ Zoning Amendment Bylaw No. 3095” to amend Zoning Bylaw No. 2500, 2007, Part 24 – Industrial Two Zone (I-2), section 8.24.1 *Permitted Uses* to add day care use in Unit A of Strata Lot 5, District Lot 236, Comox District, Strata Plan VIS5235 (4655a Madrona Place).
2. THAT Council provide alternative direction to staff. (Please see Administrative Implications).
3. THAT Council deny Zoning Amendment Bylaw No. 3095.

Prepared by: Nancy Gothard, RPP, MCIP Manager of Community and Sustainability Planning

Reviewed by: Marianne Wade, Director of Development Services, RPP, MCIP

Concurrence: Geoff Garbutt, RPP, M.PI., MCIP, City Manager (CAO)

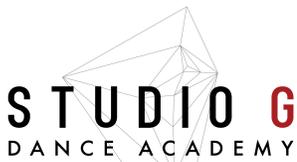
Attachments to the staff report

Attachment 1 – Applicant Proposal

Attachment 2 – Public Information Mail Out Notice

Attachment 3 – Bylaw No. 3095, 2023

Attachment 4 – Newspaper Advertisement



**Address:** 4655A Madrona Pl, Courtenay, BC, V9N 9E7 **Phone:** 250 334 1074 **Email:** [info@studiogdanceacademy.com](mailto:info@studiogdanceacademy.com)

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November 21, 2022

Attention: City of Courtenay

With our growing community and need for childcare within the Comox Valley region, I am writing to you to fulfill the request to allow a licenced childcare centre to run at my current business address that is presently operating as a dance studio. Address: 4655a Madrona Pl, Courtenay, V9N 9E7. The building zoning is I-2 and I am requesting for a “text amendment” to allow for a licenced child care centre to run in addition to the evening dance classes that are presently operating.

There are x3 dance studios within the building, one of which will be converted into the “group childcare” class room for ages 30 months – 5 years. The building currently has 3 washrooms, x6 parking spaces available for staff; x4 are located at the back the building, and x2 are located at the front.

The proposed plan for the childcare program is as follows:

- 8:00am – 4:30pm: Childcare centre operating hours (Mon – Fri).
- The remaining two empty dance studios will be used for recreational use to explore dance, drama, music, singing, arts and crafts.
- 16 children maximum.
- x3 staff members for the childcare program (above licensing ratio at 1:8).
- Outdoor playtime at the following locations within walking distance: Elderberry Crescent green space, Walbran Park, and Sandwick Park.
- Planned opening date: Summer 2023

The dance studio/ classes will continue to operate as follows:

- 3:45pm – 9:00pm: dance class operating hours (Mon – Fri).
- Use of upstairs studio and the studio at the rear of the building with high ceilings.
- Within the first opening hour of dance classes, there is a cross-over with the childcare program operating times. Dance classes will be scheduled strategically to avoid the same finish time as the childcare program within that particular hour. Alternatively, dance class clients can use the back door to enter the building within the hour cross-over period.
- x2 staff members for the dance studio.



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All licensing requirements were discussed with Stephen Morgan at Island Health Childcare licensing department in April 2022; one of which was finding alternative options for outdoor play space. As the building does not have allocated outdoor space, Stephen did emphasis that, as long as a safety plan is proposed and approved by Island Health for transporting the children to the nearest play area/ green space, then a childcare facility can still be approved for licensing.

Additionally, I am currently at NIC full time completing my ECCE certification until June 2023, therefore, I am also becoming familiarized of the finer details required for a licensed facility.

Further plans and detailed information regarding meeting the licensing requirements will be proposed to Island Health in due course upon approval of the requested "text amendment" for zoning.

If you would like further information, please do not hesitate to contact me on:

Email: [info@studiogdanceacademy.com](mailto:info@studiogdanceacademy.com)

Cell: 250 650 7923

Regards

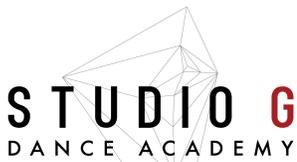
A handwritten signature in black ink, appearing to read "Gemma Stefan", is enclosed in a light grey rectangular box.

Gemma Stefan

Owner & Artistic Director of Studio G Dance Academy Ltd

R.A.D Registered Teacher (CBTS) *Royal Academy Of Dance*

*BA Jazz Theatre Dance*



Address: 4655A Madrona Pl, Courtenay, BC, V9N 9E7 Phone: 250 334 1074 Email: [info@studiogdanceacademy.com](mailto:info@studiogdanceacademy.com)

March 14<sup>th</sup> 2023

Re: SITE SPECIFIC REZONING TO ADD DAYCARE AS PERMITTED USE IN  
THE INDUSTRIAL TWO ZONE FOR PROPERTY 4655A MADRONA PL, COURTENAY

To Owner & Occupant,

We are writing to you to inform you of the request for a “text amendment” proposed to The City of Courtenay, in order for a licensed daycare to be permitted at address: Studio G Dance Academy Ltd, 4655a Madrona Pl, Courtenay, BC, V9N 9E7. The building is zoned 1-2 (Industrial Two) and will remain under this code, yet permit a “daycare” to operate along side the long-standing dance service offered to local families in the community.

The building was “purpose built” for recreational dance classes in 2002 and successfully still offers this service to children aged three years to nineteen years old during after school hours. In addition to the evening dance classes, Studio G Dance Academy Ltd is striving to provide the community with a quality childcare service for 30 months to five years old, with an emphasis on performing arts during regular school hours. With the current lack of childcare within the Comox Valley community, we hope to help local families with young children by offering an innovative performing arts daycare.

See map of property on reverse side.

To view relevant documents on The City of Courtenay website, visit: [www.courtenay.ca/devapptracker](http://www.courtenay.ca/devapptracker)  
Search by address or file number: RZ000075

If you have any questions or comments for Studio G Dance Academy Ltd, please contact us via email or phone by Friday, March 31<sup>st</sup> 2023.

Contact: 250-334-1074 / [info@studiogdanceacademy.com](mailto:info@studiogdanceacademy.com)

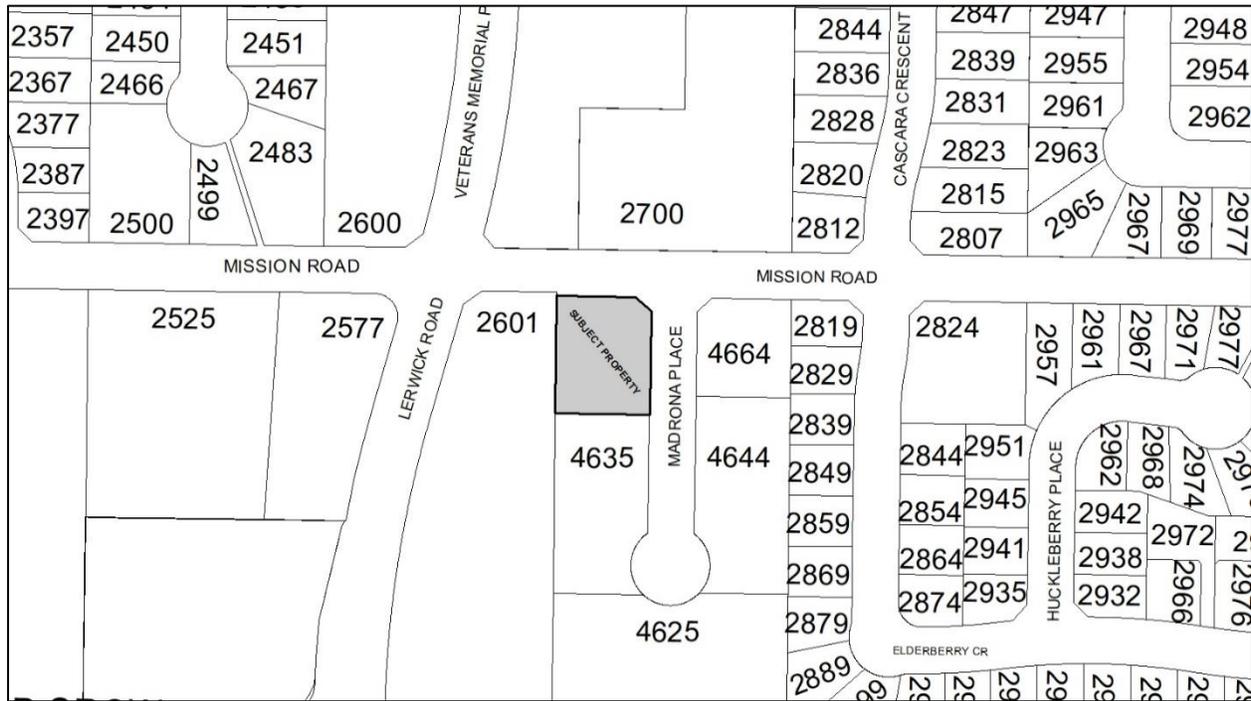
Sincerely,

A handwritten signature in black ink, appearing to read "Gemma Stefan", is enclosed in a thin black rectangular border.

Gemma Stefan  
Owner & Artistic Director  
*BA Hons Jazz Theatre Dance*  
*R.A.D CBTS*

**SGDA**





**THE CITY OF COURTENAY**  
**ATTACHMENT "A"**  
 Part of Bylaw No. 3095, 2023  
 Amendment to the  
 Zoning Bylaw No. 2500, 2007

# CVRD imposes high-risk activities ban

SUBMITTED  
Black Press

In accordance with the BC Wildfire Act and provincial fire regulations, the CVRD fire departments have enacted their high-risk activities bylaw (as of Friday July 7).

This ban applies to all properties within the CVRD's Fire Protection Areas within the Comox Valley. The ban does not apply to the City of Courtenay, Town of Comox, and Village of Cumberland.

"Our spring has already been very hot and dry, which makes it even more important to protect our community, property and beautiful landscapes around us," explains Bruce Green, Regional Rural Fire Chief / Fire Chief, Oyster River Fire Rescue.

"Within all areas of the Comox Valley including Hornby and Denman Islands, all high-risk fire activities are now banned until further notice. This ban expands on the existing campfire ban along with the smoking ban, which applies within all CVRD regional parks."

The CVRD bylaws and the Wildfire Act define "high risk activities" as:

- Mechanical brushing (example: industrial scale brushing)
- Disk trenching (example: mechanical preparation of logged site)
- Preparation or use of explosives (example: blasting)
- Using fire or spark-producing tools, including cutting tools (example: cutting torches, metal grinders)
- Using or preparing fireworks or pyrotechnics (example: fireworks display)
- Grinding, including rail grinding (example:

angle grinder)

- Mechanical land clearing (example: excavator or skidder logging or digging out stumps)
- Clearing and maintaining rights of way,

including grass mowing (example: commercial right of way mowing; BC hydro brushing. Not residential lawn mowing.

Any of the following activities carried out in a cutblock excluding a road, landing, roadside work area or log sort area in the cut block.

- Operating a power saw (example: cutting firewood off a road in a combustible area)
- Mechanical tree felling, woody debris piling or tree processing, including de-limbing (example: logging activity or cutting firewood off a road in a combustible area)
- Welding (example: any welding off a road)
- Portable wood chipping, milling, processing or manufacturing (example: these activities when done outside of an industrial worksite within a fire protection district)
- Skidding logs or log forwarding unless it is improbable that the skidding or forwarding will result in the equipment contacting rock (example: logging activity)
- Yarding logs using cable systems (example: any logging activity that uses cable yarding equipment)

The ban will cover all CVRD Electoral Area fire departments including:

- Oyster River Fire Department
- Fanny Bay Fire Department
- Hornby Island Fire Department
- Union Bay Fire Department
- Denman Island Fire Department

For more information on high risk activities and to learn which fire protection area you reside in, visit the High Risk Activities page at [comoxvalleyrd.ca](http://comoxvalleyrd.ca).

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## PUBLIC INPUT OPPORTUNITY Zoning Amendment Bylaw No. 3095

**4655-A MADRONA PLACE**  
Courtenay, BC  
Strata Lot 5, District Lot 236,  
Comox District, Strata Plan VIS5235  
File No. RZ000075

In accordance with s.464(2) of the Local Government Act, a public hearing on Zoning Amendment Bylaw No. 3095 is not required. Under s.467 of the Local Government Act notice is hereby given that Council will consider 1st reading of Zoning Amendment Bylaw No. 3095 at the July 26th, 2023 regular Council meeting. The purpose of the bylaw is to amend the Zoning Bylaw, Part 24- Industrial Two Zone (I-2), section 8.24.1 Permitted Uses to add Daycare in Unit A of Strata Lot 5, District Lot 236, Comox District, Strata plan VIS5235 (4655A Madrona Place). The subject property is on the adjacent map.

### Get more information:

View a copy of the proposed bylaw and relevant documents on our website [www.courtenay.ca/devapptacker](http://www.courtenay.ca/devapptacker) (search by address or file number).

Written submissions must be received by the City no later than **1:00 pm, Wednesday, July 26, 2023** to ensure their availability to Council at the meeting.

### Council Meeting

Wednesday, July 26th 2023, 4:00 pm

Watch meeting live online:

[www.courtenay.ca/councilmeetings](http://www.courtenay.ca/councilmeetings)



**HAVE YOUR SAY:** ✉ 830 Cliffe Ave. Courtenay, BC V9N 2J7  
📧 [planning@courtenay.ca](mailto:planning@courtenay.ca)



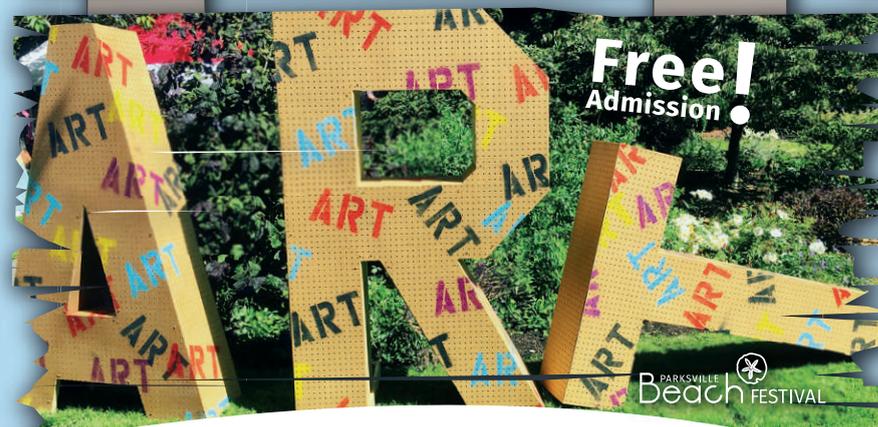
**CITY OF COURTENAY**  
Development Services

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## Art in the Park

**JUL 22, 10 am – 6 pm | JUL 23, 10 am – 4 pm**

# Comox Valley Schools honours winners of Minecraft Challenge

Submitted

Comox Valley Schools has announced the winners of the district-wide Minecraft Challenge, an educational initiative designed to engage students with the world of Minecraft while enhancing their problem-solving, creativity, and teamwork skills. There are three categories of winners being celebrated for their exceptional creativity and innovation.

In the Primary Category (Grades K-3), Anwyn Therrien and Maia Allans from Cumberland Commu-

nity School claimed first place with a world promoting sustainability and compassion. The judges were particularly impressed by their innovative pick-and-plant gardening system, renewable energy initiatives, and the inclusion of food reserves for those in need.

“The Minecraft Challenge provided our students with an opportunity to combine their creativity with valuable lessons about environmental stewardship and social responsibility,” said district information technology support teacher, Kara Dawson.

“We’re tremendously proud of these students for their achievements and their ability to envision and design solutions for future scenarios.”

The Intermediate Category (Grades 4-7) saw Ethan Taylor from Valley View take first place. His futuristic spacecraft design, complete with a fusion generator, advanced replicators, and a self-sufficient hydroponic bay, earned high praise for its creativity and ingenious use of space technology.

In the High School Category (Grades 8-12), Hazelwynne Robertson from NIDES won with her inventive creation of an underwater world designed to withstand global warming. The inclusion of crop and animal domes, trash collection facilities, and a sophisticated oxygen production system stood as a testament to the potential of sustainable living in extreme conditions.

In second and third place, respectively, across all categories, students showcased a range of ideas, from sustainable living solutions to futuristic space designs.

Each class with the highest average score was awarded a pizza party for the whole class.

Participants showcased a dedication to creativity and critical thinking, highlighting the potential of the Minecraft Challenge to inspire and engage young learners.



Intermediate Category 1st place winner Ethan Taylor from Valley View Elementary School. Photo supplied



Primary Category 1st place winners Anwyn Therrien and Maia Allans from Cumberland Community School. Photo submitted

## List of winners

### Primary Category (K-3)

1st Place – Anwyn Therrien and Maia Allans from Cumberland Community School

2nd Place – Alice Scott, Charlie Mercer, April Seeley, Gabby Morin Gonzales from Miracle Beach Elementary School

3rd Place – Wolfgang Berg, DeMar Wan and Rocky Smalberg from Cumberland Community School

### Intermediate Category (4-7)

1st Place – Ethan Taylor from Valley View

2nd Place – Colin Armstrong, Alfred Darlow, Cash Cunningham, Ethan Lee from Huband Park  
3rd Place – Arlo Turgano, Ezra Webb, Dobe Ofong, Ryu Ferguson-Shiina, Reid Thomson, Owen Pendak, Daniel Shute from various schools – Challenge Program

### High School Category (8-12)

1st Place – Hazelwynne Robertson from NIDES

2nd Place – Isabelle Aubin from NIDES

3rd Place – Rosalie Duprey from NIDES

## PUBLIC INPUT OPPORTUNITY Zoning Amendment Bylaw No. 3095

**4655-A MADRONA PLACE**  
Courtenay, BC  
Strata Lot 5, District Lot 236,  
Comox District, Strata Plan VIS5235  
File No. RZ000075

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### Get more information:

View a copy of the proposed bylaw and relevant documents on our website [www.courtenay.ca/devapptracker](http://www.courtenay.ca/devapptracker) (search by address or file number).

Written submissions must be received by the City no later than **1:00 pm, Wednesday, July 26, 2023** to ensure their availability to Council at the meeting.

### Council Meeting

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*Owner of North Island Dental, General Dentist*

**#1120 2525 Mission Road in Courtenay**

**CORRECTION OF NOTICE: PUBLIC NOTICE GIVEN PRIOR TO 1ST READING OF BYLAW  
PUBLIC INPUT OPPORTUNITY  
Zoning Amendment Bylaw No. 3095**

**4655-A MADRONA PLACE  
Courtenay, BC  
Strata Lot 5, District Lot 236,  
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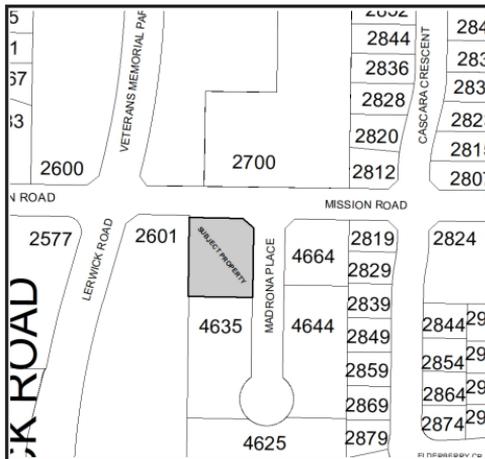
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# STAFF REPORT

To: Council

File No.: 3360-20-2105/RZ000058

From: Director of Development Service

Date: July 26, 2023

Subject: Zoning Amendment Bylaw No. 3037 – Third Reading Report – 1590 Piercy Avenue

## PURPOSE:

The purpose of this report is for Council to Consider Third Reading of Zoning Amendment Bylaw No. 3037.

## LEGAL DESCRIPTION:

That Part of Lot 3, Section 41, Comox District, Plan 4764, Shown Outlined in Red on Plan 1402 R.

## BACKGROUND:

The zoning amendment application is to establish a new Comprehensive Development 39 (CD-39) zone, and rezone the property from R-2 to CD-39 to allow a multi-unit housing development consisting of nine town house units at the subject property shown in Figure 1.

Council gave First and Second Reading to “Zoning Amendment Bylaw No. 3037” (1590 Piercy Avenue) on June 14, 2023 to create a new Comprehensive Development 39 Zone (CD-39) and rezone the subject property to CD-39.

At the June 14 meeting, Council requested that Electric Vehicle (EV) charging infrastructure be installed for vehicular parking stalls. The applicant’s proposal is included in the discussion below.

A Public Hearing was held July 19, 2023, during which a letter of support was provided and a number of questions and concerns were raised by three members of the public. Staff provide clarification on technical matters in the discussion below. The public comment is attached to this report and minutes form part of the July 26, 2023 agenda.

**Figure 1 – Subject Property**



## DISCUSSION:

### Public hearing comments and concerns

Questions were raised, and answered, as follows:

1. Concern over traffic impact and traffic safety to intersections of Piercy Avenue and Cumberland Road and Piercy Avenue and 17<sup>th</sup> Street.
  - Staff comment, and clarification: The parking studies provided for the proposal did not examine the impact of the development to the identified intersections. During the review of the application, staff and other agencies did not identify a concern with the service or safety levels of either of these intersections at this time.
2. Parking proposal is inadequate
  - Staff comment: the parking proposal is for 1 stall per dwelling unit and 1 visitor parking for the 9 unit development for a total of 10 stalls. This is a lower parking ratio than the standard vehicular parking ratios outlined in the Zoning Bylaw which would otherwise require a total of 13 stalls. AS this is a CD zone, the city can modify parking requirements to achieve the OCP policies to support active transportation and Climate Change.
  - As such the reduction of three parking stalls was permitted, as the parking studies identified the ability for e-bikes to provide meaningful alternatives to vehicle use given the close proximity of the proposed development to the city centre. Each dwelling unit will be provided with a minimum of two dedicated, secured and electrified bike parking stalls. Electrified visitor bike parking will also be provided.
3. How is the application meeting City's tree requirements, how will these be enforced?
  - Staff comment: The City's Tree Bylaw sets expectations regarding retention of healthy mature trees and replacement of trees when removing trees on a property, and that a target of 50 trees per hectare be achieved.
  - Properties smaller than 4000 m<sup>2</sup> (approximately 1 acre) may meet their tree density target (TDT) through retention, replacement of paying cash-in-lieu into the Tree Planting and Replacement Reserve Fund. Half of the replacement trees to achieve the Tree Bylaw replanting requirements shall be native.

This property is approximately 2000 m<sup>2</sup>, and has a TDT of 10 trees. The applicant is proposing to retain two mature trees and replant 32 more. Of these, three replacements will be required to be native species which will be achieved through the landscape plan. The landscape plan is registered on title as part of the form and character Development Permit, which will be obtained following a successful rezoning outcome. The City requires that securities be provided for all landscaping to ensure that it is installed as planned.

4. How is the proposal contributing to affordable housing?
  - Staff comment: Affordable housing is a key amenity identified for rezoning application amenity negotiations. The OCP provides guidance on amenity negotiations, identifying the preference for 15% of net increase in number of units to be price restricted. The OCP also provides monetary targets options in lieu or in tandem with price restricted units (or provision of any other amenities). The target contribution is \$4,000/new multi-residential

unit that may be placed into the City’s Affordable Housing Reserve Fund. The applicant has offered \$40,000 into this fund. Price restricted units are evaluated as not appropriate for a development of this scale.

The application is for townhouse units in two and three bedroom configurations. These are commonly referred to as ‘missing middle’ forms of housing which inherently contribute to a greater diversity and affordability range within the larger housing market.

5. 1590 and 1580 Piercy Avenue shared property line: Garbage enclosure location concern and fencing
  - A neighbour stated concerns over placement of the waste receptacle facilities and odour.
  - Staff comment: The waste receptacle facilities location is adjacent that of the facility at 1580 Piercy Avenue, thus focusing the area impacted by waste facilities across the two developments. Other locations of the facility at 1590 Piercy would not be accessible by waste management services given the proposal’s overall site design. The enclosure will be designed to minimize odour and visibility with use of materials and screening.

The fencing between the two properties is in good shape and will continue to remain. No disruption to that existing fencing is proposed.

6. There are currently drought restrictions. Is there enough water to service this new development?
  - Staff response: Water use is estimated to nearly triple in the summer as a result of outdoor water use. Water conservation is particularly important during these summer months when the Comox Lake reservoir is being drawn down prior to the seasonal rainfall/snowpack melt replenishment. There is adequate water to meet new resident’s needs provided that water is used efficiently. The Comox Valley Regional District and member municipalities collectively are working towards water conservation by reducing water demand of outdoor water use during the summer months, and with improved efficiency of water fixtures, appliances, and usage behaviours.

### **EV parking stall charging**

OCP policy supports EV charging as part of parking standards, and directs that the Zoning Bylaw be updated to incorporate EV standards. Until such time as the Zoning Bylaw is updated, the City lacks a regulatory framework to require or direct specifications on EV charging facilities in new developments.

The applicant has responded to Council’s request by proposing that all 10 parking stalls will include separate 240 volt “Level 2” charging facilities. This includes the one stall for each dwelling unit as well as the one shared visitor’s parking stall. The design details will be addressed during the building permit application.

### **OPTIONS:**

1. THAT Council give Third Reading to Zoning Bylaw No. 3037, 2023 (1590 Piercy Ave); and THAT Final Reading of the bylaw be withheld pending:
  - a. registration of a Section 219 covenant to secure the community amenity contributions of \$40,000, to be provided prior to issuance of a building permit; and
  - b. registration of an easement to permit drainage from the subject property on to the Island Corridor Foundation lands.
2. THAT Council defer consideration of Bylaw No. 3037 with a request for more information.

3. THAT Council Defeat Bylaw No. 3037.

**ATTACHMENTS:**

1. June 14, 2023 Staff Report at First Reading
2. Bylaw No. 3037
3. Electric Vehicle parking stall charging proposal
4. Public Comment

Prepared by: Nancy Gothard, RPP, MCIP, Manager of Community and Sustainability Planning

Reviewed by: Marianne Wade, RPP, MCIP, Director of Development Services

Concurrence: Kate O'Connell, Acting City Manager



# STAFF REPORT

**To:** Council  
**From:** Director of Development Services  
**Subject:** Zoning Amendment Bylaw No. 3037 – 1590 Piercy Ave

**File No.:** 3360-20-2105/ RZ000058  
**Date:** June 14, 2023

## PURPOSE:

The purpose of this report is for Council to consider a Zoning Bylaw amendment application to establish a new Comprehensive Development 39 (CD-39) zone, and rezone the property from R-2 to CD-39 to allow a multi-unit housing development consisting of nine town house units.

## LEGAL DESCRIPTION:

That Part of Lot 3, Section 41, Comox District, Plan 4764, Shown Outlined in Red on Plan 1402 R.

## EXECUTIVE SUMMARY:

This report details a zoning amendment application to permit a multi-unit housing development containing nine town houses in three buildings on a 2,032 m<sup>2</sup> sized property. The subject property is located in a Secondary Growth Centre (McPhee Neighbourhood Centre) surrounded by a mix of multi-unit housing developments and single-residential homes. The proposed development is consistent with OCP land use policies. Development Services Department staff support this zoning amendment application.

## BACKGROUND:

This application was originally received in May 2021. For various reasons including adoption of the new OCP, the application has not been presented for bylaw readings until now. This application is therefore reviewed in part with reference to both the old OCP and new OCP.

The subject property is approximately 0.203 ha in size and is located on Piercy Avenue between 17th Street and Cumberland Avenue. The site contains an existing single-residential building and is covered by a mix of shrubs, trees, and grasses. The site slopes west to east with an average slope of 2%. Vehicular access is from Piercy Avenue. **Figure 1** shows the subject property location.

**Figure 1 – Subject Property**



The subject property is within the Residential Two (R-2) zone. Surrounding properties are a mix of single-residential dwellings and multi-unit residential buildings. See Table 1 below.

**Table 1 – Surrounding Zoning and Use**

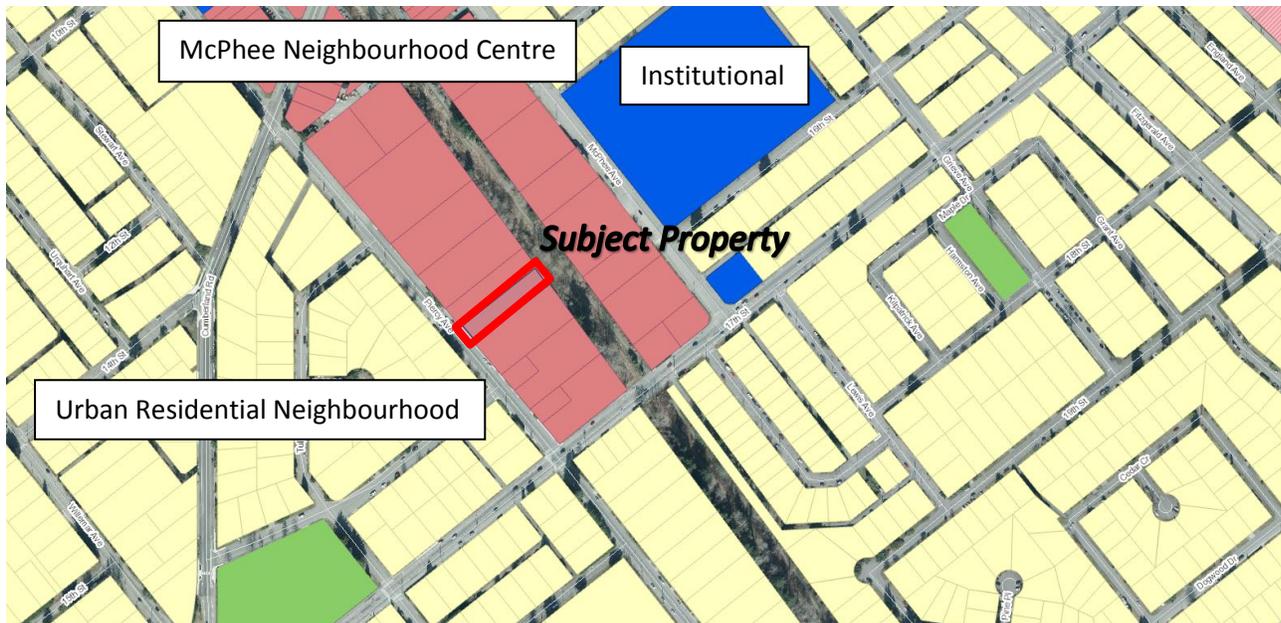
Direction	Zoning	Use
West	R-2 (Residential Two)	Multi-residential – 6 townhomes
South east	R-3 (Residential Three)	Multi-residential – 10 townhomes
South west (across Piercy Ave)	R-2 (Residential Two)	Single residential dwellings
North east (rear)	I-3 (Industrial Three)	Island Corridor Foundation right of way

By means of comparison, the subject property is slightly larger than the property at 1580 Piercy Ave, neighbour to the west that contains six units in the form of 3 duplex units. That property is approx. 1947 m<sup>2</sup> in area with a 20.5 m frontage. The subject property is 2,030 m<sup>2</sup> (0.5 ac) with a 21.6 m frontage.

The Official Community Plan (OCP) designates the subject property and properties on the east side of Piercy Avenue between as 17<sup>th</sup> Street and west of Cumberland Rd and properties across the Island Corridor as “Neighbourhood Centre”. A diversity of multi-residential housing choices and neighbourhood scale commercial uses are supported within this designation. Across Piercy Avenue the OCP Land Use designation for these properties is “Urban Residential” (Figure 2).

The OCP designates this subject property to be in the form and character Development Permit Area for Commercial, Industrial, Mixed-Use Developments, and Multi-Residential Dwellings with Three or More Units (DPA-1) and staff have reviewed for general compliance. There is no development permit application at this time and one will be required prior to building permit issuance.

**Figure 2 – OCP Land Use Designations**



The applicant proposes to amend the zoning bylaw to facilitate the construction of nine residential units in three buildings: a duplex that fronts Piercy Avenue; a fourplex located in the centre of the lot; and a triplex at the rear. See **Figure 3** for a site plan of the proposed development and **Figure 4** for a conceptual rendering of the development (without landscaping). The applicant’s proposal is summarized in **Attachment 1**.

**Figure 3 – Conceptual Development Layout**



Architectural and landscape drawings are shown in **Attachment 2 and 3**. These may be subject to refinement as part of subsequent development permit application process should the zoning bylaw amendment be approved.

**Figure 4– Site Plan**



**DISCUSSION:**

**Zoning Review**

The subject property is zoned R-2 which does not permit multi-residential development. The proposed development requires a zoning bylaw amendment to accommodate the infill development. Because an existing comparable zone (the R-3 zone) regulations would not permit this particular proposal, a comprehensive development zone (CD-39) based upon the R-3 zone has been drafted for Council’s consideration. The proposed CD-39 zone is attached as **Attachment 5**.

**Table 2** below compares the proposed CD-39 zone to the R-3 zone to identify the differences. If the R-3 was applied to this property, these differences would require variances to be obtained by Council separately.

The proposed on-site parking reduction included in the table is supported pursuant to the parking studies (**Attachment 4**) submitted by the applicant.

**Zoning Review - Table 2**

	R-3 Zone	Proposed (CD-39 Zone)	Deviations that would require a variance
Lot size	1,250 m2	2,030 m2	Larger lot size
FAR	0.40	0.40	
Lot Coverage	none	22.3 %	
Lot Frontage	30.0 m	21.6 m	8.4 m less lot frontage width
Setbacks			
- Front	7.5 m	7.5 m	
- Rear	7.5 m	7.3 m	Rear yard setback is 7.3 m, 0.2 m less at the NE corner due to lot shape.
- Side	4.5 m total with a min of 1.5 m 6.0 m when the back of the building is adjacent to or faces a side lot line	2.8 m (NW) 1.5 (SE)	Side yard setbacks total 4.3 m, 0.2 m less due to lot width. Building 2 (triplex) rear elevation faces side lot line (east) with a 5.0 m setback due to lot width.
Building Height			
- Principle	10.0 m	6.5 m	Lower due to building form

	<b>R-3 Zone</b>	<b>Proposed (CD-39 Zone)</b>	<b>Deviations that would require a variance</b>
Usable Open Space	30.0 m <sup>2</sup> for each DU with 1 bdrm 50.0 m <sup>2</sup> for each DU with 2+ bdrms Total – 450 m <sup>2</sup>	Total - 1,065 m <sup>2</sup>	More useable open space to allow for private open space for each unit as well as community open suitable for family housing and will contain some furniture.
Accessory Building		Covered garbage enclosure 2.8 m 13.0 m <sup>2</sup>	Garbage enclosure is zero lot line so it's accessible to contractors.
<ul style="list-style-type: none"> <li>- Height 4.5 m</li> <li>- Size 50.0 m<sup>2</sup> or 10% of rear yard In side or rear yard only.</li> <li>- Siting 1.5 m from side or rear lot line</li> </ul>		Is at zero lot line, side yard (west)	
Parking (Section 7)			
<ul style="list-style-type: none"> <li>- Vehicular 1.2 per DU + 10% visitor <b>Total – 11 + 2 = 12</b></li> <li>- Bicycle Class II (Occupant) – 18 Class I (Visitor) – 2</li> <li>- EV Bicycle 9</li> </ul>		<ul style="list-style-type: none"> <li>1 per DU + 1 visitor <b>Total – 9 + 1 = 10</b></li> <li>Class II (Occupant)– 18</li> <li>Class I (Visitor)– 8</li> <li>9</li> </ul>	Two fewer on-site parking stalls are proposed based upon parking analyses prepared by Watt Consulting and supported by the OCP.

**Outdoor Amenity Space, Landscaping and Trees**

The total outdoor amenity space is 1065 m<sup>2</sup> which includes front yards and private rear porches for each unit and a larger amenity area located between the four townhouses and three townhouses. This area will contain some outdoor furniture.

The garbage/recycling enclosure located west of the parking area is to be located at zero lot line. This enclosure is small at 13.0 m<sup>2</sup> and 2.8 m height. It will be constructed of materials that complement the building materials. The location of the enclosure at the zero lot line is necessary given site constrictions and waste receptacle access requirements. The enclosure of the garbage/recycling facility was proposed to address comments from the neighbour.

Landscape buffers will be planted around the perimeter of the property ranging from 1.2 m in width to 3.4 m in width for the north side yard (left), between 1.5 to 1.8 m in the south side yard (left) and 4.5 m buffers will be planted in the rear and in front yards except for driveway. In addition to the landscape buffer around the perimeter a 1.8 m wood fence will be installed as well as privacy fences between patios. Site furniture is also proposed including benches and a picnic table. Refer to **Attachment 3** of this report for the landscape plan.

The landscape plan shows protection of two mature maple trees and tree replacement for those that are being removed (32 new trees). The arborist report notes that trees located in the perimeter are cottonwood or red-alder and are not suitable for the landscape plan. These species are also not eligible for tree bylaw retention candidates (outside of Environmentally Sensitive Areas). Other trees have structural characteristics which preclude them from maturing into healthy, defect-free trees.

---

### ***Access, Parking and Bikes***

Parking for this project is detailed in the two traffic/parking studies prepared by WATT Consulting Group, dated March 30, 2020 and July 4, 2022 (***Attachment 4***). The studies determined the total expected parking demand for the proposed development is 10 parking spaces total: one per dwelling unit and one visitor parking space for a total of ten, or 1.11 spaces per unit.

The parking area and 2.0 m wide strip of the driveway will be permeable surfaces of core grass/core gravel and meets OCP policy NE 16 to limit the extent of impervious surfaces on private and public land.

On-street parking use was observed for both studies, in the evening hours, the peak demand time for residential use. The 2020 study observed a 9% occupancy rate, out of 157 total spaces. And the 2022 study observed a 23% occupancy rate based on 143 parking spaces. These findings reflect that the surrounding residential land uses do not rely heavily on on-street parking during peak demand time for residential use.

The subject property will be served by a 6 m wide driveway access. The parking area will be permeable surfaces of core grass/core gravel.

### ***Infrastructure***

The applicant proposes to discharge via point source flows directly into the adjacent private Island Corridor Foundation (ICF) property. The applicant has provided confirmation from ICF confirming they will permit this action and will enter into an easement with the proponent. This easement will be required to be registered on the title of the property prior to Council's consideration of final approval.

### **POLICY ANALYSIS:**

This proposal meets the following objectives detailed in Official Community Plan Bylaw 3070, 2022.

#### Land Use:

- ***Objective 1:*** Community growth is located away from hazardous lands, agricultural lands and environmentally sensitive areas.
  - The subject property contains no environmentally sensitive areas.
- ***Objective 2:*** The majority of community growth is strategically guided into growth centres to create more 10-minute neighbourhoods
  - The subject property is located in the McPhee Neighbourhood Centre 1.1 km from commercial/retail amenities and personal and professional services. There are two bus stops within a 6-minute walk and another stop within 11-minute walk. Sidewalks are located on both side of Piercy Avenue. There is an existing bike route 600 m from the subject property and 900 m from a future proposed bike route. The Island Corridor multi-use pathway, runs along the rear property line.
- ***Objective 3:*** Moderate infill development occurs across the entire city outside growth centres
  - The development proposes a floor area ratio of .40 and is consistent with the R-3 zone, the most similar low-density multi-residential zone.
  - The nine units are located in three buildings and are similar to surrounding multi-unit developments.

#### Streets and Transportation:

- ***Objective 6:*** The amount of land dedicated to parking is minimized
  - The parking proposed is located on impervious surfaces. Two fewer parking spaces are proposed based upon two professional parking studies.

- **Objective 7:** Parking standards reflect electric vehicle and cycling needs
  - The proposal includes required bike parking and EV charging facilities.

Buildings and Landscape:

- **Objective 2:** New buildings are highly energy and water efficient, perform at net-zero emissions standard and produce renewable energy
  - These Part 9 buildings will be constructed to the BCBC Step 3 high energy performance standards.
- **Objective 4:** The designs of new buildings complement neighbourhood character
  - The proposed design and layout is consistent with the surrounding townhouse developments.

Affordable Housing:

- **Objective 1:** A variety of housing options are permitted and positively integrated in all neighbourhoods
  - **Policy AH 1:** Support higher housing densities, including amending the Zoning Bylaw to permit two dwelling units per single residential lot, in all residential land use designations, as described in the Managing Growth Policy section of this Plan, and in accordance with protection of Environmentally Sensitive Areas policies.
    - The proposed development increases the number of units from two to nine.
  - **Policy AH 6:** Encourage the provision of 3+ bedroom units as part of a mix of unit types in new multi-residential buildings to create more housing choices for families.
    - The proposal includes two-three bedroom units. Also, the large useable open space in the middle of the development will allow for outside play space for young children.

Natural Environment:

- **Objective 3:** Courtenay's air, water, and soil are clean
  - **Policy NE 16:** Limit the extent of impervious surfaces on private and public land.
    - The percent of impervious surfaces for paved areas and buildings is 48% in total. The pervious areas include the driveway, parking area, landscape buffers, and open space.

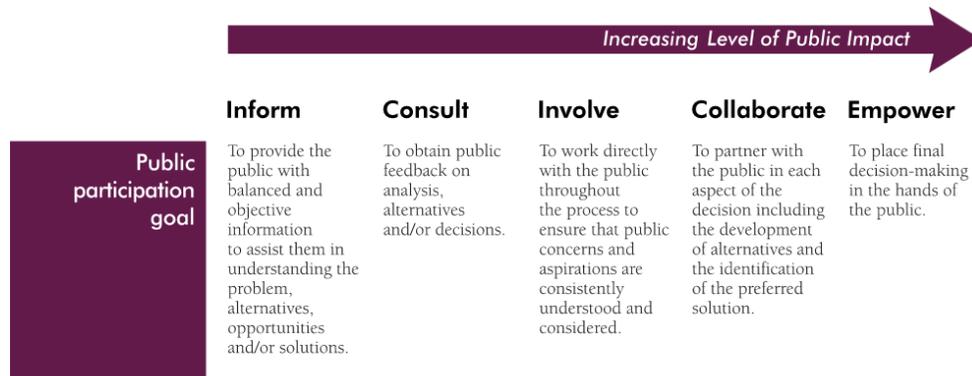
**Community Amenity Contribution**

The applicant has confirmed amenity contributions of \$40,000. See **Attachment 6** for a copy of the applicant's letter.

Prior to final adoption of Bylaw No. 3037, a section 219 covenant to secure the community amenity contributions of \$40,000 must be completed and registered on the title of the subject property. The amenity contribution will be provided prior to issuance of the building permit.

**CITIZEN/PUBLIC ENGAGEMENT:**

Staff will "**Consult**" the public based on the IAP2 Spectrum of Public Participation:



The applicant mailed out a public information package on May 28, 2021 to 80 property owners and resident occupiers within 100 m of the subject property. The Public Information meeting (PIM) mail out can be found in **Attachment 7**. The comments received by the City and applicant can be found in **Attachment 8** together with staff responses. The following summarizes some of the substantive comments received and staff responses:

1. The garbage area is located too close to the neighbouring units.  
*This comment resulted in the garbage area being redesigned so it is enclosed. The proposed location is necessary to accommodate the garbage trucks turning radius.*
2. Proximity of one of the buildings to the neighbouring units is too close and privacy will be lost. The landscape buffer should be of larger trees.  
*The proposed duplex dwelling units will be located between 1.5 m (4.95 ft) and the rear triplex 2.2 m (7.3 ft) from the property lines. This siting is permissible in most residential zones. A large maple is being retained in the rear of the triplex building and a landscape buffer is proposed to be planted around the perimeter of the property.*
3. The (first) parking study methodology has flaws regarding when it was completed, the comparable developments that were used and assessment of on street parking  
*This comment resulted in the applicant providing an updated parking study. Both studies are attached. The consultants concluded that the proposed number of on-site parking stalls is suitable for the proposed residential use and that there is adequate on street parking for the residential use.*
4. Traffic light should be installed at 17<sup>th</sup> St and Piercy Ave.  
*The City's Transportation Plan (2019) does not identify this intersection as a high collision intersection. However, Piercy Ave itself is a recognized cycling route in the City's Cycling Network Plan and cycling improvements at the intersection of Piercy and 17<sup>th</sup> are budgeted in the 2023 work plan.*

Should Zoning Amendment Bylaw No. 3037 receive First and Second Readings, a statutory public hearing will be held to obtain public feedback in accordance with the *Local Government Act*.

As required by Section 52(3) of the **Transportation Act** where the subject property is located within 800 m of a controlled access highway, the Ministry of Transportation must grant its approval prior to Council's consideration of approval. The subject property is located within 800 m of Cliffe Avenue, a designated highway.

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**REGIONAL GROWTH STRATEGY REFERENCE:**

The Comox Valley Regional Growth Strategy (RGS) is a framework for future land use, and sets basic direction for planning, policies, and action for all member municipalities, including Courtenay. The RGS is guided by a number of growth management principles that are incorporated by this proposed application:

- Promote the efficient use of land, provide greater transportation choices, reduce public servicing costs, and achieve environmental benefits through compact growth.
- Promote intensification, compact growth and supportive public transit services throughout designated Municipal Areas as the primary means of accommodating population and employment growth.

**FINANCIAL IMPLICATIONS:**

There are no direct financial implications related to the processing of this Zoning Bylaw amendment application as the fees are designed to offset the administrative costs.

The application, if approved, will be required to apply for and be issued a form and character development permit. The development will also be subject to City and Regional District development cost charges which are determined at time of building permit based on the final building design. Because this is an infill development no new civil infrastructure is being developed beyond replacing existing.

**ADMINISTRATIVE IMPLICATIONS:**

Processing this application is part of the core duties of the Department of Development Services. Should Council not move forward with the zoning bylaw amendment a rezoning application could not be considered for a year unless Council considers a request to reconsider with 2/3 vote in favour.

**ASSET MANAGEMENT IMPLICATIONS:**

The applicant submitted engineered civil plans for water, sewer, and stormwater to service the development. The submissions are adequate to confirm the site can be serviced. Final engineering plans will be required as part of the building permit application.

The off-site transportation related improvements include removing and relocating the driveway let down and replacing the existing sidewalk on the Piercy Avenue frontage.

**STRATEGIC PRIORITIES REFERENCE:**

This initiative addresses some of the goals that guide Council's strategic priorities:

- The proposal provides nine two- and three-bedroom units of infill housing with common amenity space located in walking distance to the downtown and services. This location is along public transportation and cycling routes and cycling infrastructure is included in the development allowing for reduced vehicle dependence. Infill housing also makes efficient use of existing municipal infrastructure

**OPTIONS:**

1. THAT Council give First and Second Reading to "Zoning Amendment Bylaw No. 3037" (1590 Piercy Avenue) to amend Zoning Bylaw NO. 2500, 2007 create a new CD-39 Zone and rezone the subject property to CD-39 with the following conditions met prior to final adoption:
  - a. A section 219 covenant registered on title to secure the community amenity contributions of \$40,000 to be provided prior to issuance of the building permit.

---

b. An easement to permit drainage from the subject property on to the Island Corridor Foundation lands; and

THAT Council direct staff to advertise a statutory Public Hearing for “Zoning Amendment Bylaw No. 3037”.

2. THAT Council give First Reading of Zoning Bylaw No. 3037 (1590 Piercy Ave) and refer to staff for further information prior to second reading.
3. That Council deny Zoning Amendment Bylaw No. 3037 (1590 Piercy Ave) . (please see Administrative Implications).

**Staff recommends Option 1**

Prepared by: Brigid Reynolds, RPP, MCP, MCIP, Contract Planner

Reviewed by: Nancy Gothard, RPP, MCIP Manager of Community and Sustainability Planning  
Marianne Wade, Director of Development Services, RPP, MCIP

Concurrence: Geoff Garbutt, RPP, M.Pl., MCIP, City Manager (CAO)

Attachments to the staff report

Attachment 1 - Applicant proposal

Attachment 2 - Architectural plans

Attachment 3 - Landscape plans

Attachment 4 - Parking studies

Attachment 5 - Bylaw 3037 and CD-39 Zone

Attachment 6 - Letter of confirmation for amenity contribution

Attachment 7 - PIM mail out notice

Attachment 8 - Comments received and staff responses

# Nine Peaks – 1590 Piercy Avenue

## Development Proposal

Perspective Design Build LTD is applying to change the Zoning of 1590 Piercy avenue from R-2 to R-3 for the purpose of constructing nine townhouse units. Seven of these townhouses will be two-bedroom units and two will be three-bedroom units. They will be separated into three buildings: a two unit building facing Piercy Avenue, a four unit building in the heart of the property and a three unit building along the rear.

The lot will be developed to have a driveway, onsite parking, a garbage enclosure, bicycle parking facilities, green space, an amenity area, pathways, and a variety of native and ornamental plants and trees. Two large maple trees on the property will be retained. The driving infrastructure and the parking infrastructure will be permeable and consist of core gravel and core grass.

The proposed development conforms with the R-3 Zoning as follows:

Section 8.3.1 Permitted Uses: The project is a multi-family residential dwelling which conforms to the usage.

Section 8.3.2 Lot Size: The lot is 2030 meters squared which is above the minimum of 1250 meters squared.

Section 8.3.4 Floor area ratio: The proposed floor area ratio is 38.27%, below the 40% maximum.

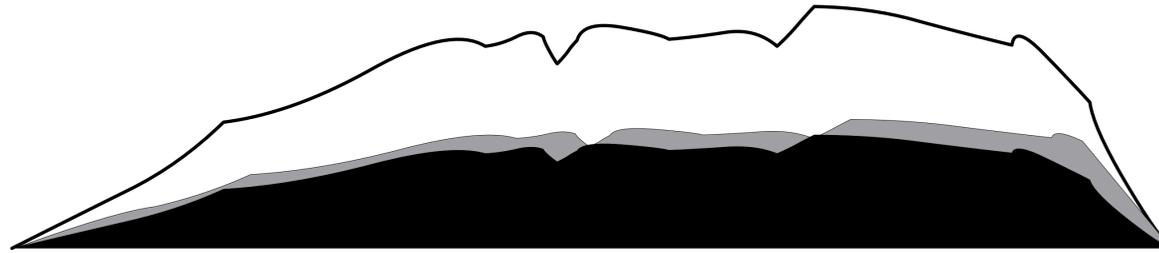
Section 8.3.5 Setbacks: All of the setbacks are observed.

Section 8.3.6 Height of Buildings: At 6.5 meters in height the proposed development is below the 10 meter maximum.

Section 8.3.7 Usable open Space: The development is required to have 450 meters squared of open usable space and the project is designed to have 1065 meters squared.

Section 8.3.9 Off-Street Parking: The on-site parking supply is 10 spaces and 30 bicycle parking spaces. A minimum of 10% of these spaces will have e-bike charging capacity and a minimum of 10% of these spaces are sized to accommodate cargo bicycles. These designs are in accordance with the parking study supplied by Watt Consulting for the project.

Section 8.3.3 Lot frontage: The required minimum lot frontage is 30 meters and this lot only has a frontage of 21.644 meters. The added setback challenges and lot coverage challenges have been addressed and the lot will function well as an R-3 lot. The neighboring lot Strata Plan EPS3363 Has a similar frontage and is a successful multifamily development.



# NINE PEAKS

1590 PIERCY AVENUE, COURTENAY



**DRAWING INDEX  
ARCHITECTURAL**

- P1 SITE PLAN
- P2 FOUNDATION PLAN
- P3 FLOOR PLANS
- P4 ROOF PLAN
- P5 SECTIONS
- P6 ELEVATIONS



**PERSPECTIVE DESIGN  
BUILD LTD.**  
1160 4TH ST., COURTENAY  
BRITISH COLUMBIA V9N 1H8

**DUPLEX  
DETAILED DESIGN**

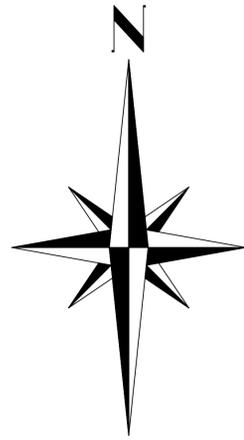
**TO SCALE ON 36X24  
PRINT FORMAT ONLY**

COVER SHEET	0.0
REVISION	1

**VERSION FOR RE-ZONING PURPOSES**

# COURTENAY DISTRICT, PLAN 4764 TOPOGRAPHIC SURVEY PLAN

1590 PIERCY AVENUE, COURTENAY  
SCALE 1 : 150 (METRIC)



### PROJECT DATA

ZONING R2 (TO BE RE-ZONED R3)  
LOT AREA 0.5 ACRES (2030.5 SQ M)

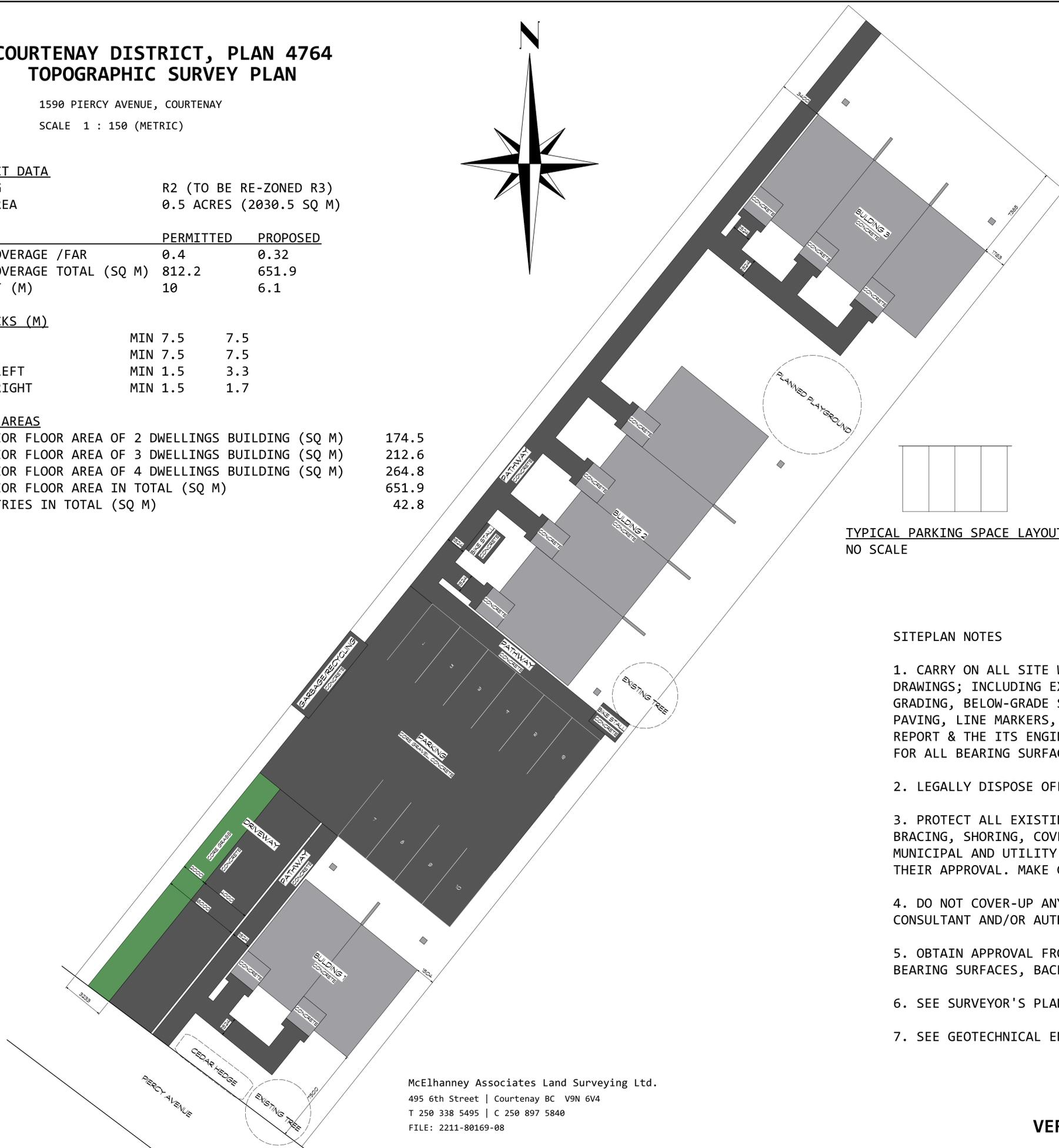
ITEMS	PERMITTED	PROPOSED
LOT COVERAGE /FAR	0.4	0.32
LOT COVERAGE TOTAL (SQ M)	812.2	651.9
HEIGHT (M)	10	6.1

### SETBACKS (M)

	MIN	7.5	7.5
FRONT	MIN	7.5	7.5
REAR	MIN	7.5	7.5
SIDE LEFT	MIN	1.5	3.3
SIDE RIGHT	MIN	1.5	1.7

### FLOOR AREAS

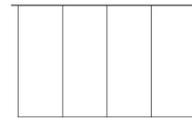
EXTERIOR FLOOR AREA OF 2 DWELLINGS BUILDING (SQ M)	174.5
EXTERIOR FLOOR AREA OF 3 DWELLINGS BUILDING (SQ M)	212.6
EXTERIOR FLOOR AREA OF 4 DWELLINGS BUILDING (SQ M)	264.8
EXTERIOR FLOOR AREA IN TOTAL (SQ M)	651.9
(9)ENTRIES IN TOTAL (SQ M)	42.8



OFF-STREET PARKING SPACES (PER DWELLING INCL.10% VISITOR PARKING)	REQUIRED	PROPOSED
	14 (1.5)	10 (1.1)

### BICYCLE PARKING ADDITION

LONG TERM PARKING SPACES	-	30
SHORT TERM PARKING SPACES	-	8



TYPICAL PARKING SPACE LAYOUT  
NO SCALE

OTHER PARKING LOT SPECIFICATIONS SHALL FOLLOW  
DIVISION 7, BYLAW 2500 (2007) REQUIRMENTS

SEE PARKING STUDY ISSUED AND SIGNED BY WATT CONSULTING GROUP,  
FILE NUMBER 2785.B01; MARCH 30, 2020

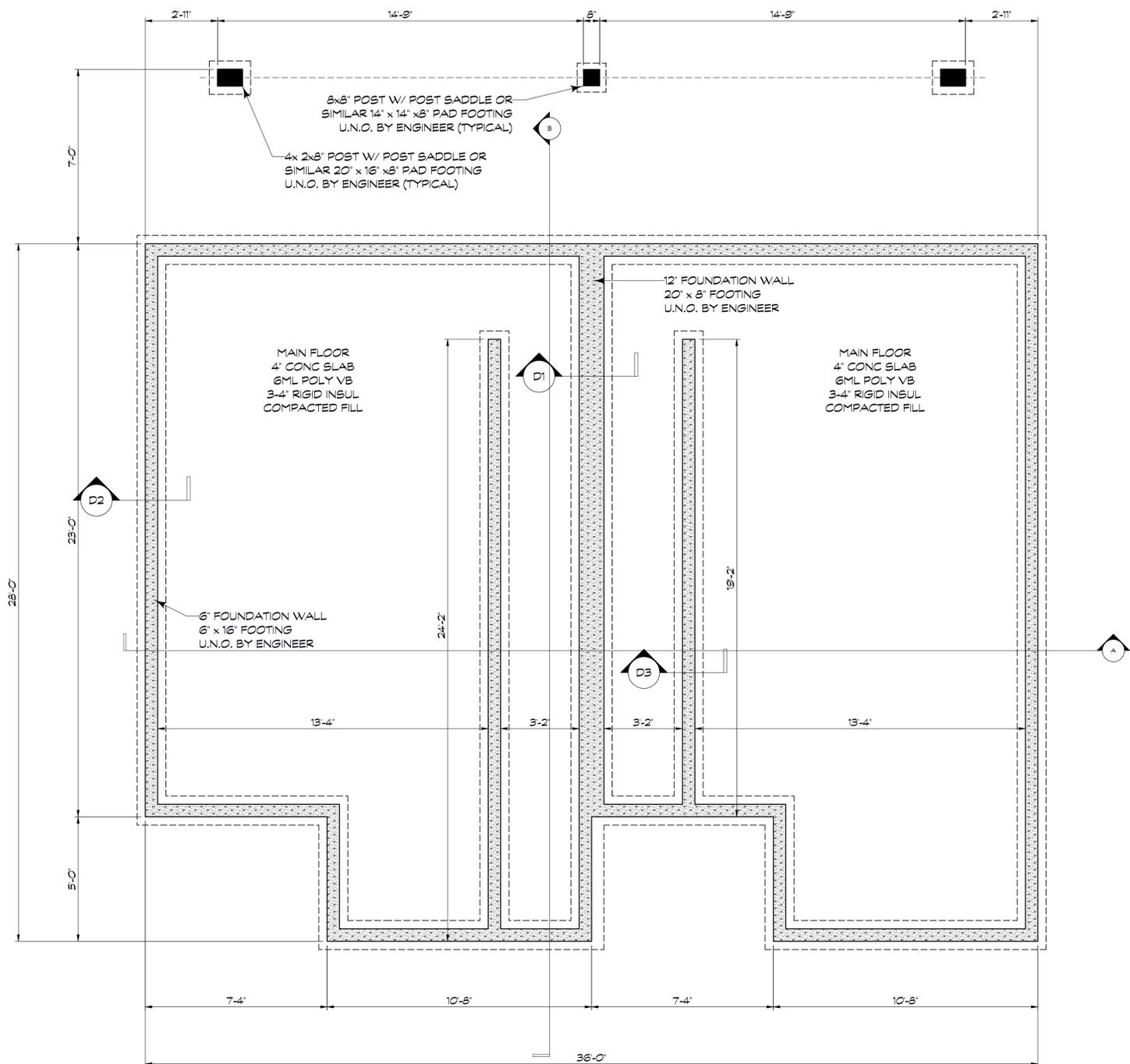
### SITEPLAN NOTES

1. CARRY ON ALL SITE WORK SHOWN ON OR READILY INFERRABLE FROM THE PERMIT DRAWINGS; INCLUDING EXCAVATION, DEWATERING, BACKFILLING, ROUGH & FINISHED GRADING, BELOW-GRADE SERVICES, PLANTING, SODDING, FENCING, CURBING, PAVING, LINE MARKERS, SIGNAGE, ETC. CO-ORDINATE ALL WORK WITH THE SOIL REPORT & THE ITS ENGINEER. PROVIDE INSPECTIONS, TEST AND REPORTS, FOR ALL BEARING SURFACES, BACKFILL MATERIALS, AND COMPACTION.
2. LEGALLY DISPOSE OFF-SITE ALL EXCAVATED MATERIAL, & ITEMS REQUIRING REMOVAL.
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4. DO NOT COVER-UP ANY WORK UNTIL PROPERLY INSPECTED BY THE PERTINENT CONSULTANT AND/OR AUTHORITY.
5. OBTAIN APPROVAL FROM GEOTECHNICAL / STRUCTURAL ENGINEER FOR ALL BEARING SURFACES, BACKFILL MATERIALS, AND COMPACTION.
6. SEE SURVEYOR'S PLAN FOR PROPERTY LINE DIMENSIONS AND DIRECTION.
7. SEE GEOTECHNICAL ENGINEER'S REPORT FOR SOIL / BEARING CONDITIONS.

McElhanney Associates Land Surveying Ltd.  
495 6th Street | Courtenay BC V9N 6V4  
T 250 338 5495 | C 250 897 5840  
FILE: 2211-80169-08

VERSION FOR RE-ZONING PURPOSES

1.FE801/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 1
Project Location 1590 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title SITE PLAN	



**FOUNDATION PLAN**  
SCALE: 3/8" = 1'-0"

~68 LINEAR FT PER DWELLING

**NOTE:**  
ALL POINT LOADS MUST BE ASSESSED BY AN ENGINEER AND FOOTING SIZES INCREASE AS REQUIRED TO SUPPORT LOADS

**NOTES:**

**GENERAL NOTES**

- ALL WORK SHALL CONFORM TO CURRENT BUILDING CODES AND LOCAL BYLAWS
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS

**CONCRETE**

- ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 20MPA AT 28 DAYS
- FOOTINGS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR SOIL BEARING CAPACITY OF 2500 PSF. LOCAL CONDITIONS AND / OR LOCAL PRACTICE MAY NECESSITATE A MORE STRINGENT FOOTING DESIGN WHICH, MAY REQUIRE CONFIRMATION BY A CERTIFIED STRUCTURAL ENGINEER. THIS WILL BE THE RESPONSIBILITY OF THE OWNER / CONTRACTOR TO PROVIDE.
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION OR ALTERNATIVE METHOD SHALL BE USED TO ENSURE INSULATION OF FOUNDATION AS PER LOCAL BUILDING CODE
- ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING LIMITS STATED IN BUILDING CODES REQUIRE DESIGN BY A REGISTERED STRUCTURAL ENGINEER
- ALL FOOTINGS TO HAVE 2 ROWS OF MIN. NO. 4 REBAR 3' CLEAR FROM SIDE AND BOTTOM
- ALL WOOD CONTACTING CONCRETE TO BE SEPARATED WITH APPROVED MATERIAL

**STRUCTURAL**

- ALL WOOD FRAMING TO BE #2 OR BETTER DOUGLAS FIR OR SPRUCE
- ALL LINTELS TO BE 2-2X10 #2 DOUGLAS FIR OR BETTER UNLESS OTHERWISE NOTED
- LAMINATE STUDDING UNDER ALL LOAD BEARING POINTS
- JOISTS ARE TO BE DOUBLED UNDER PARTITIONS
- ALL ENGINEERED COMPONENTS TO BE INSTALLED TO MANUFACTURES SPECS.

**PLUMBING**

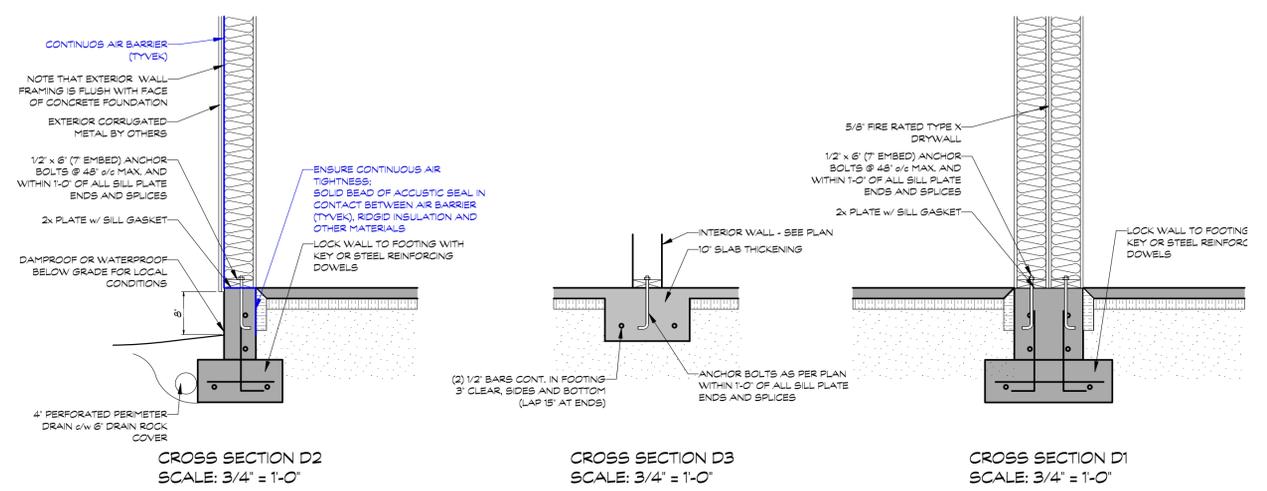
- PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS NOTED BELOW
- A) WATER CLOSET = 1.6 GAL PER FLUSH
- B) SHOWER HEAD = 2.5 GPM MAX
- C) LAVATORY FAUCETS = 2.2 GPM MAX
- D) SINK FAUCETS = 2.2 GPM MAX TITLE 24, VCBC, UPC

**EGRESS WINDOWS (BEDROOMS)**

- FINISHED SILL 59" ABOVE FLOOR MAX.
- NET OPENING TO BE 3.77 SQUARE FEET MINIMUM, WITH NO DIMENSION LESS THAN 15"

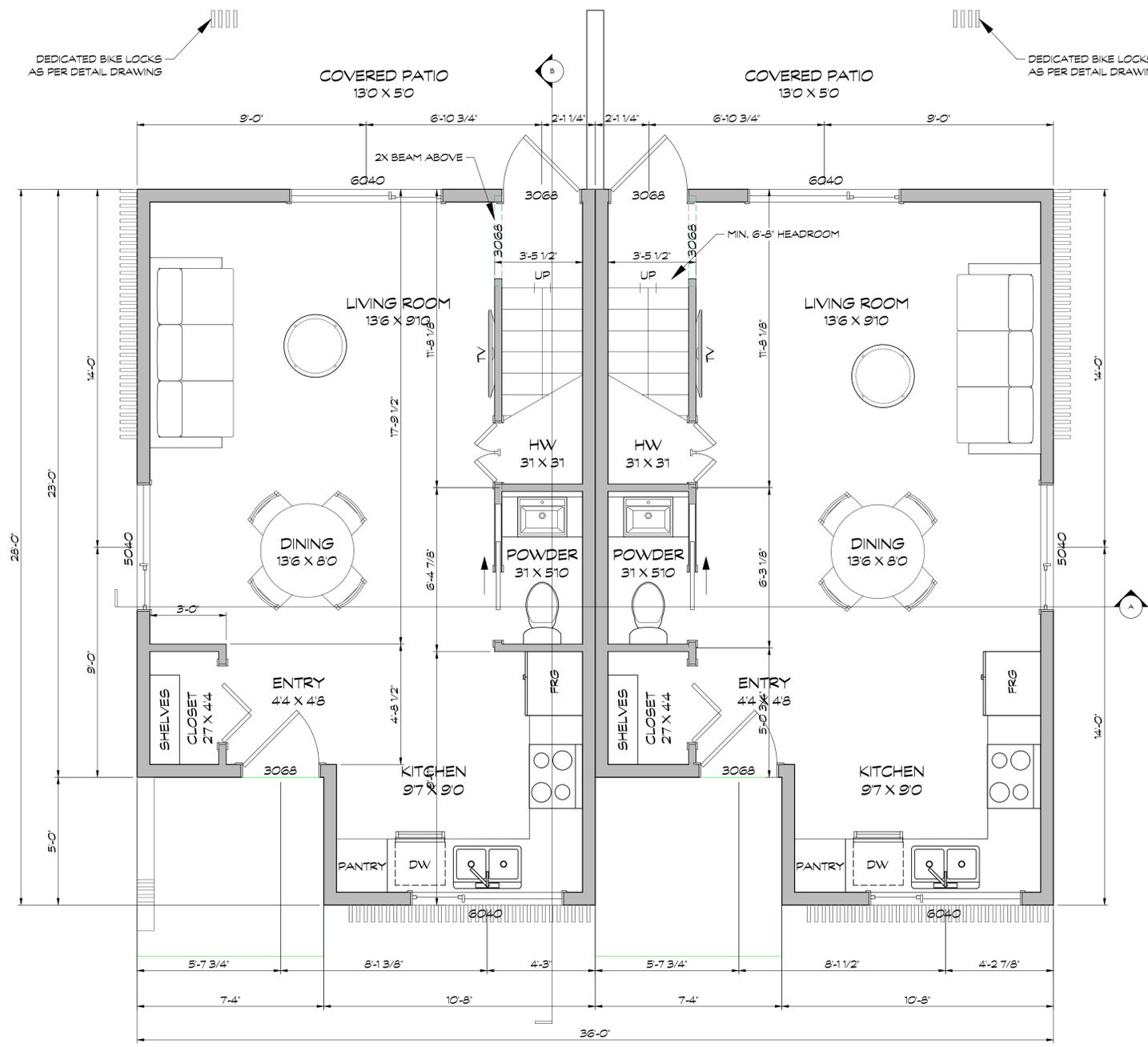
**MECHANICAL AND VENTILATION**

- BUILDING MUST BE PROVIDED WITH MECHANICAL VENTILATION DESIGN BY OTHERS
- ATTIC TO BE VENTED MINIMUM 1:300 OF AREA
- ONE HALF OF ROOF VENTS TO BE LOCATED IN UPPER PORTION OF ATTIC SPACE, AT LEAST 3'-0" HIGHER THAN EAVE OR CORNICE VENTS
- 22' x 30' MIN. ATTIC ACCESS. INSULATE AND WEATHER STRIP DOOR. 30' MIN. HEAD CLEARANCE

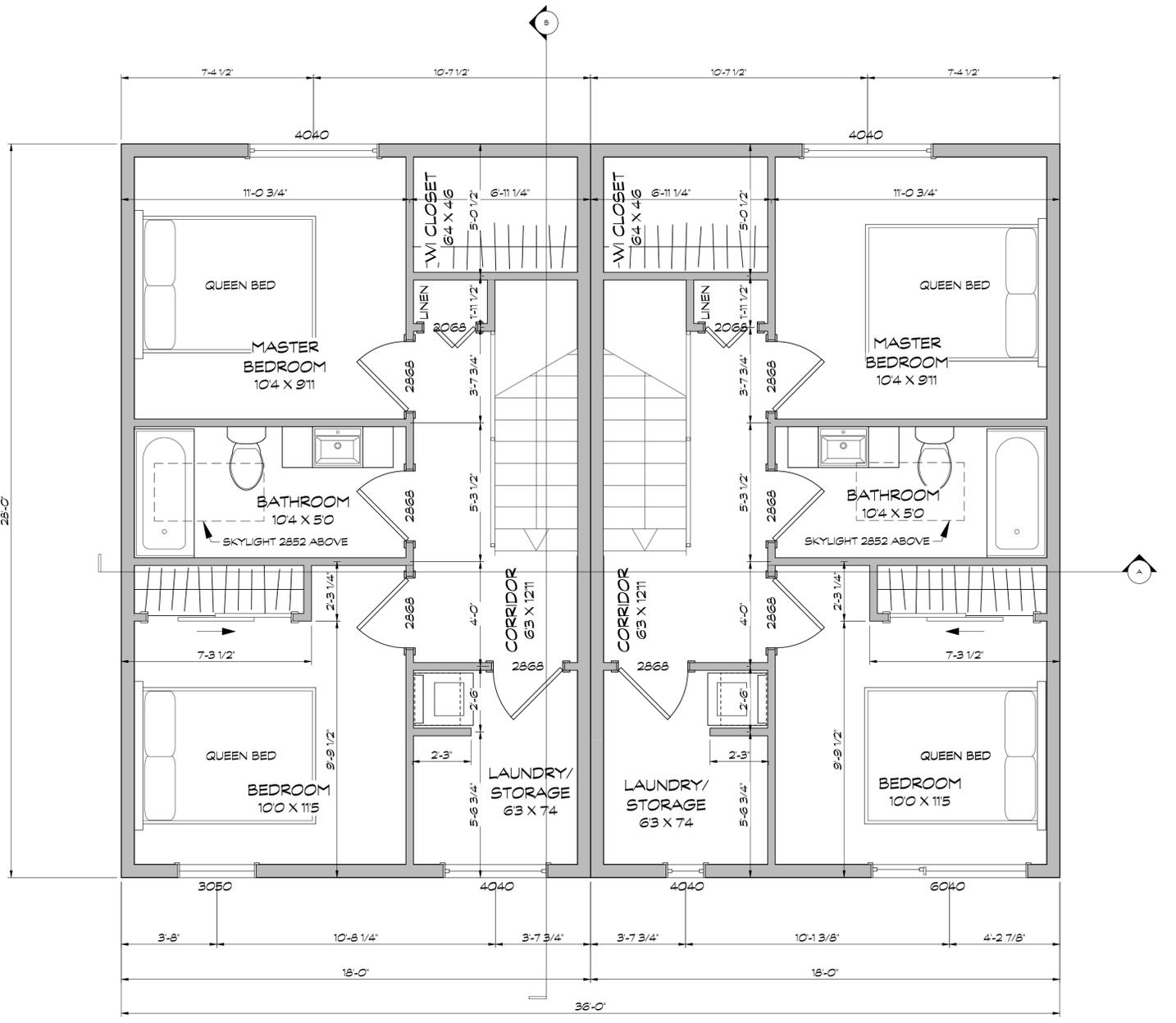


**VERSION FOR RE-ZONING PURPOSES**

1.FEB01/21 Concept Design for Review	
ISSUE NOTES	
PERSPECTIVE	Sheet No. 2
Project Location 1598 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title FOUNDATION PLAN	



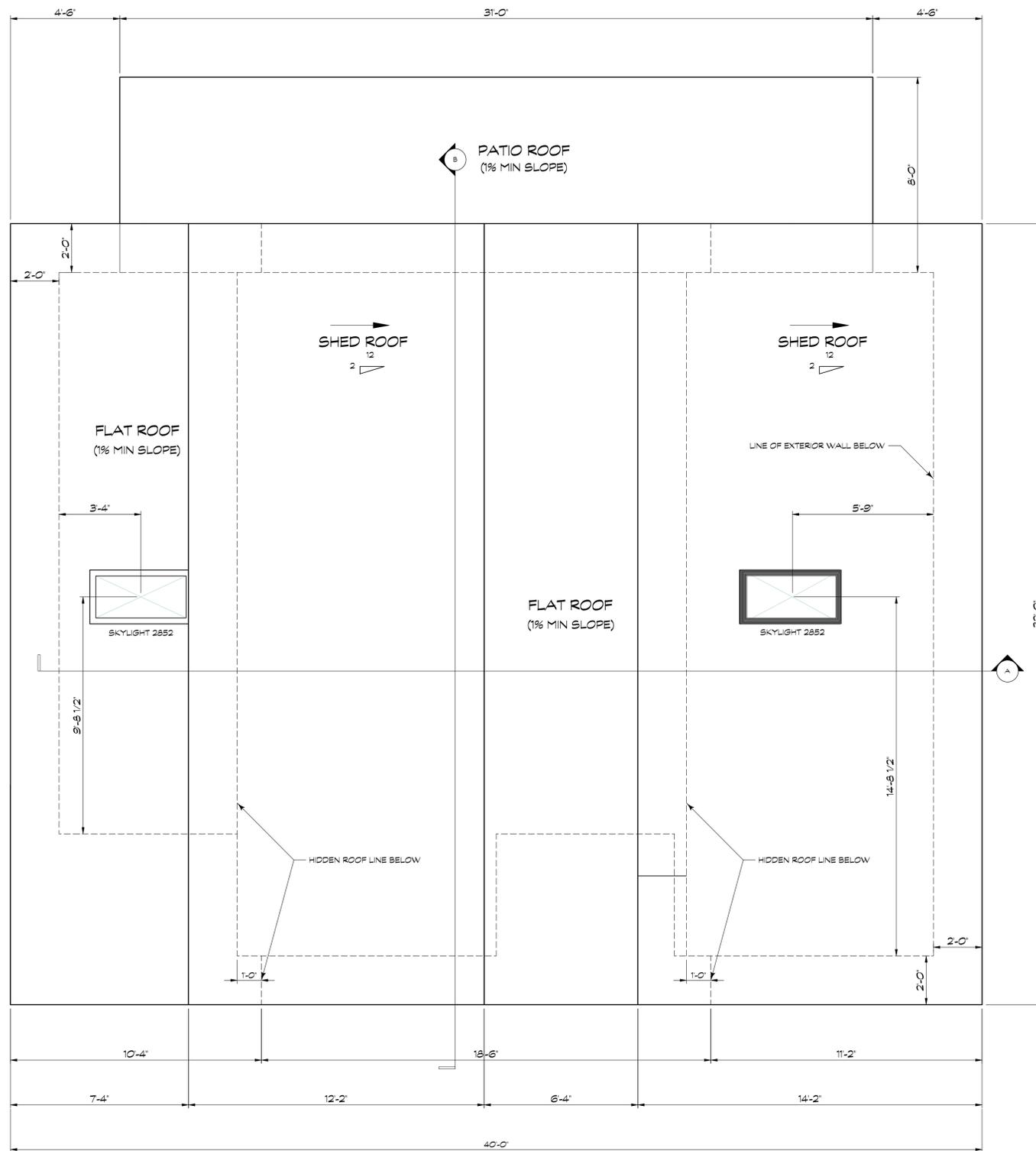
**MAIN FLOOR PLAN**  
 SCALE: 3/8" = 1'-0"  
 467 SQ FT (EXTERIOR FLOOR AREA PER DWELLING)  
 51 SQ FT (ENTRY SLAB PER DWELLING)  
 935 SQ FT (EXTERIOR FLOOR AREA IN TOTAL PER BUILDING)  
 102 SQ FT (ENTRY SLABS IN TOTAL PER BUILDING)



**UPPER FLOOR PLAN**  
 SCALE: 3/8" = 1'-0"  
 472 SQ FT (EXTERIOR FLOOR AREA IN PER DWELLING)  
 945 SQ FT (EXTERIOR FLOOR AREA IN TOTAL PER BUILDING)

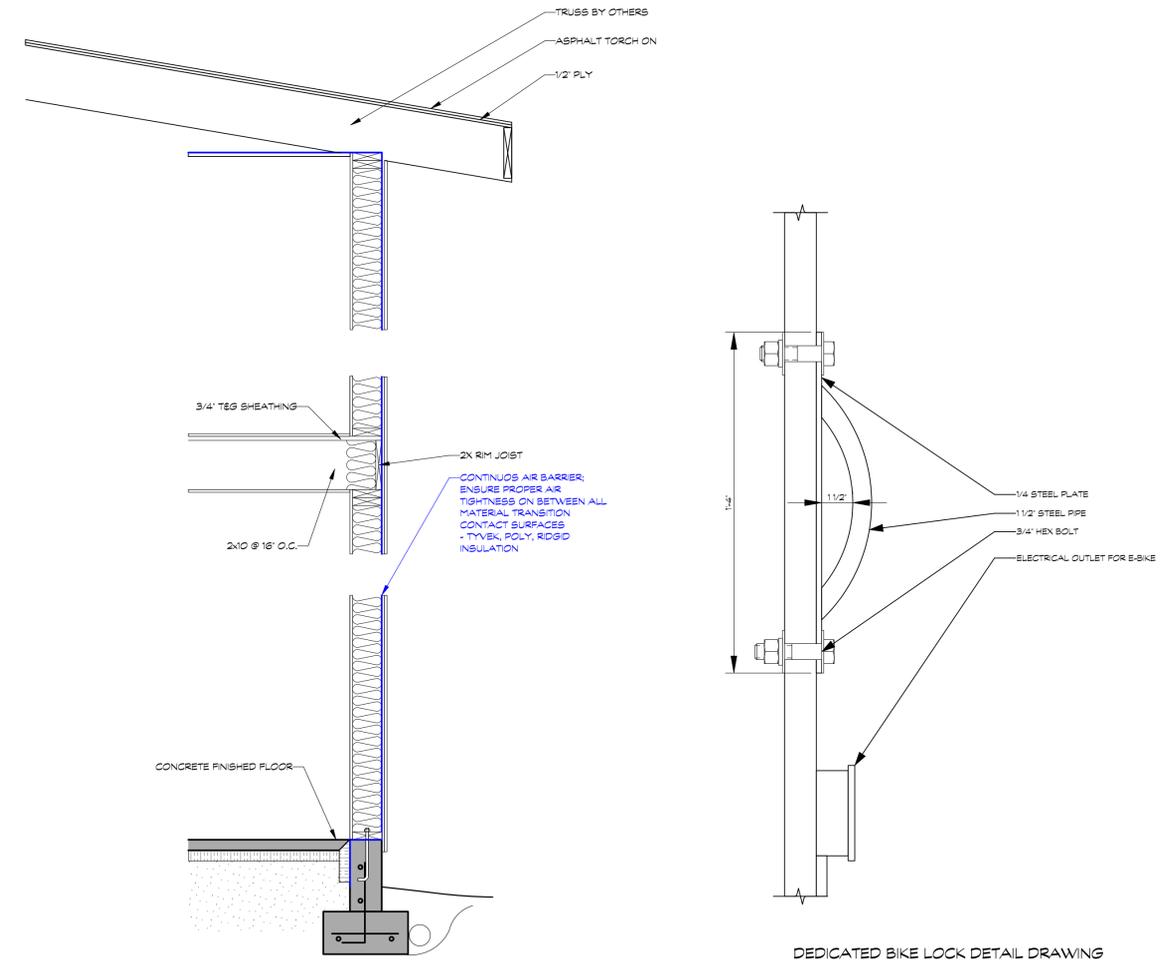
**VERSION FOR RE-ZONING PURPOSES**

1.FE801/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 3
Project Location 1598 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title FLOOR PLANS	



**ROOF PLAN**  
SCALE: 3/8" = 1'-0"

(1%) COVERED PATIO FLAT ROOF AREA = ~248 SQ FT  
 (1%) FLAT ROOF AREA = ~541 SQ FT  
 (9.5%) SHED ROOF AREA = ~880 SQ FT



TYPICAL WALL SECTION  
SCALE 3/4" = 1'-0"

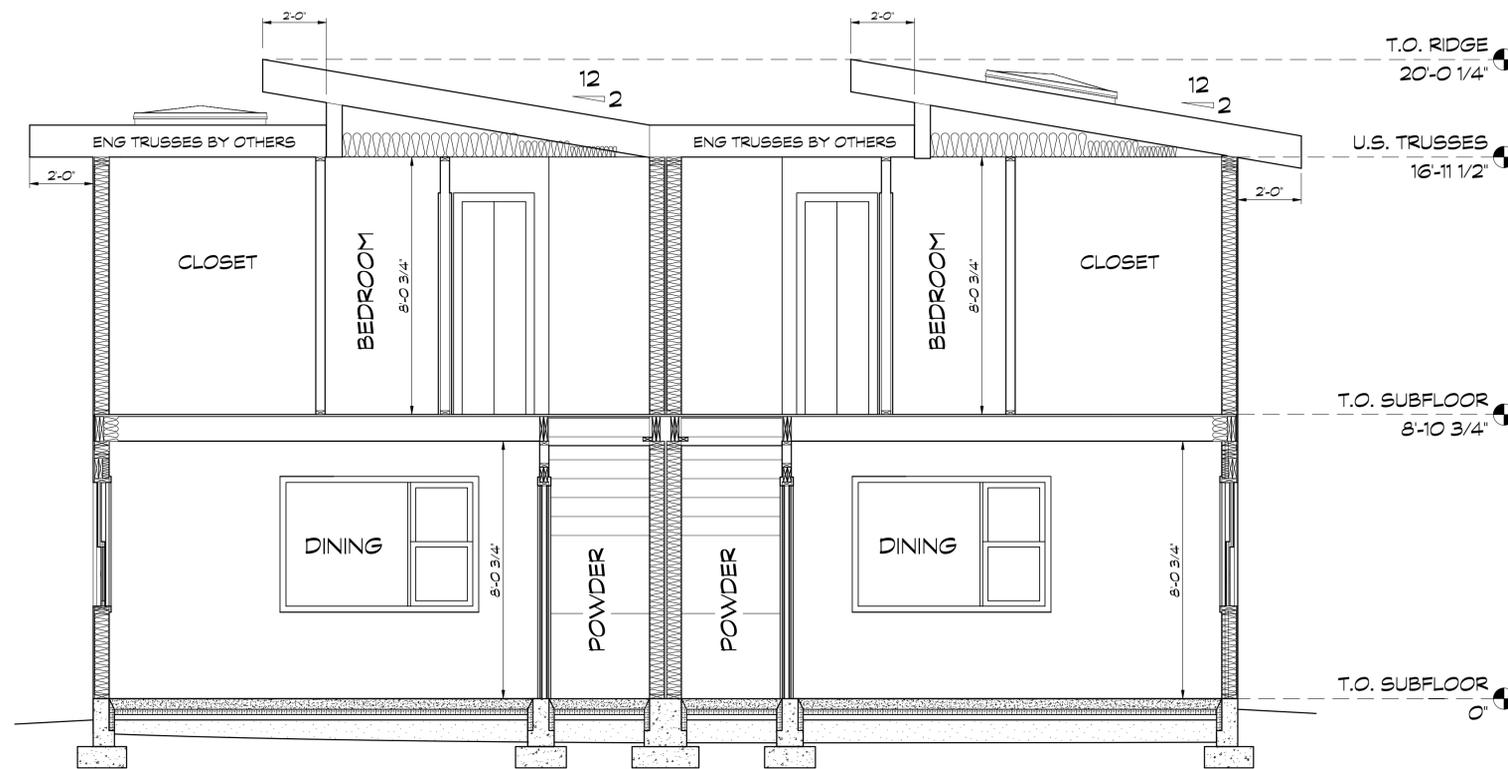
DEDICATED BIKE LOCK DETAIL DRAWING  
SCALE: 3" = 1'-0"

**VERSION FOR RE-ZONING PURPOSES**

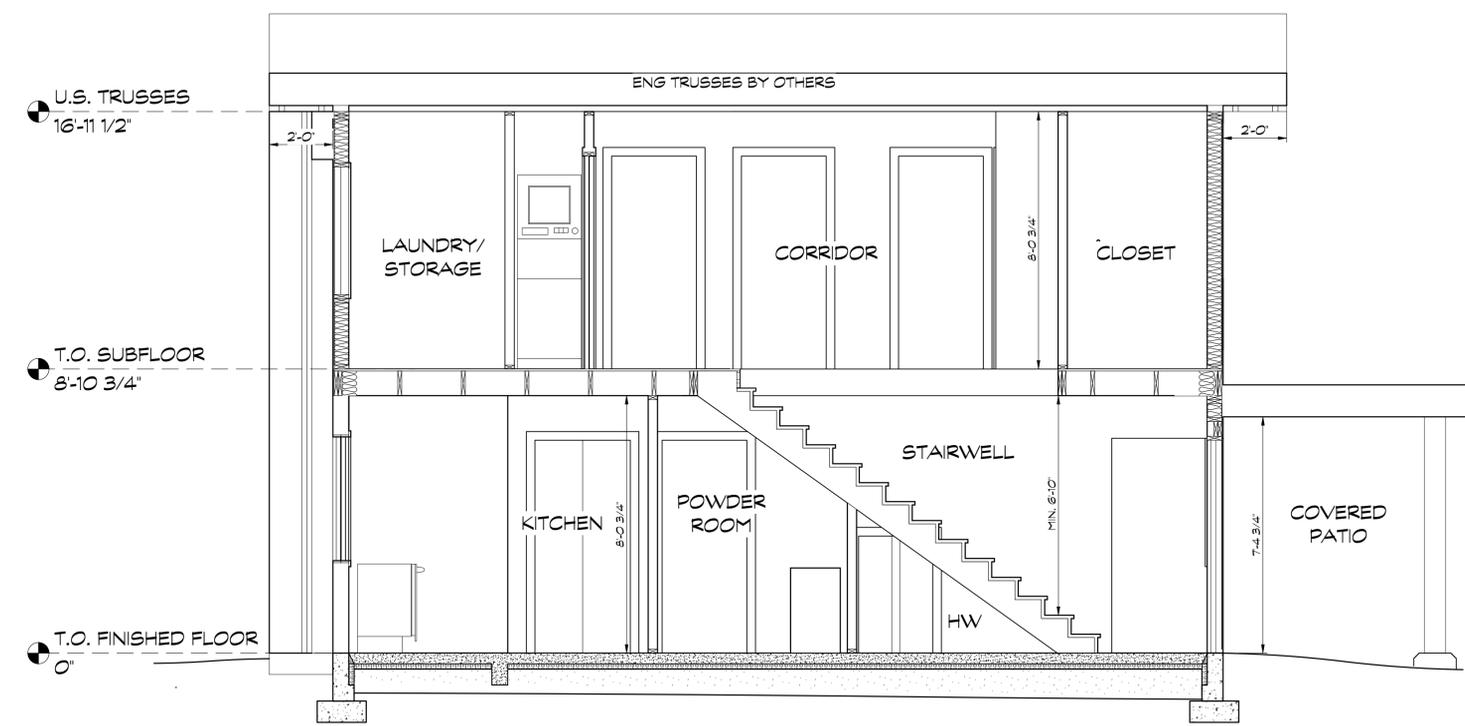
1.FEB01/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 4
Project Location 1598 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title ROOF PLAN	

SEALED POLYETHYLENE AIR BARRIER - CODE REFERENCES  
 9.36.2.9. AIR TIGHTNESS  
 9.36.2.10. CONSTRUCTION OF AIR BARRIER DETAILS

- ENSURE AIR BARRIER IS CONTINUOUS AND AIR TIGHT AT:
- PARTITION WALLS AT EXTERIOR WALLS AND CEILING
  - RECESSED LIGHTS
  - DRYER AND RANGE HOOD EXHAUSTS
  - EXTERIOR DOOR AND WINDOW PENETRATIONS
  - BATHROOM CEILING FANS
  - PLUMBING PENETRATIONS
  - MECHANICAL PENETRATIONS
  - INTERIOR AND EXTERIOR ELECTRICAL PENETRATIONS
  - RM JOISTS
  - FOUNDATION WALL TRANSITION



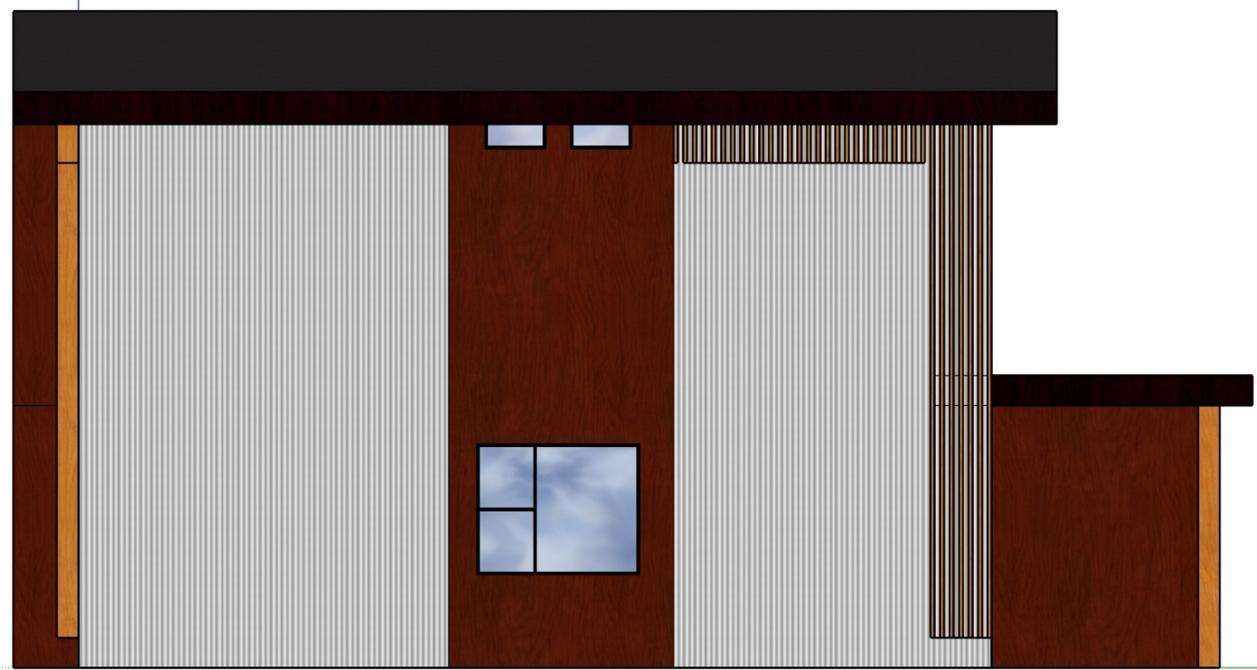
SECTION A  
 SCALE: 3/8" = 1'-0"



SECTION B  
 SCALE: 3/8" = 1'-0"

VERSION FOR RE-ZONING PURPOSES

1.FEB01/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 5
Project Location 1590 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title SECTIONS	

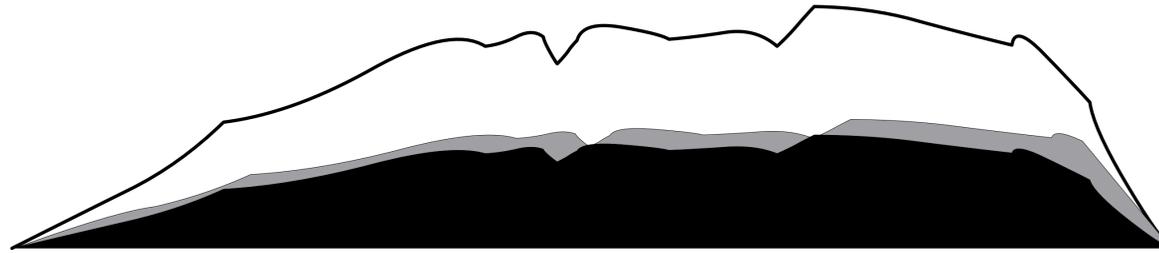


Materials Legend

Wood Tone Fibre Cement Panel	Fir Timber Framing and Ornamental Wooden Slats
Cedar Siding	Glazing
Metal Siding	Accent Paint
Paint Grade Fibre Cement Panel	Torch on Roofing Membrane

VERSION FOR RE-ZONING PURPOSES

1.FE001/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 6
Project Location 1590 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title ELEVATIONS	



# NINE PEAKS

1590 PIERCY AVENUE, COURTENAY



**DRAWING INDEX  
ARCHITECTURAL**

- P1 SITE PLAN
- P2 FOUNDATION PLAN
- P3 FLOOR PLANS
- P4 2ND FLOOR PLANS
- P5 ROOF PLAN
- P6 SECTIONS
- P7 ELEVATIONS



**PERSPECTIVE DESIGN  
BUILD LTD.**  
1160 4TH ST., COURTENAY  
BRITISH COLUMBIA V9N 1H8

**FOURPLEX  
DETAILED DESIGN**

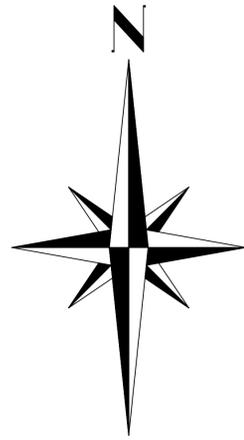
**TO SCALE ON 36X24  
PRINT FORMAT ONLY**

COVER SHEET 0.0  
REVISION 1

**VERSION FOR RE-ZONING PURPOSES**

# COURTENAY DISTRICT, PLAN 4764 TOPOGRAPHIC SURVEY PLAN

1590 PIERCY AVENUE, COURTENAY  
SCALE 1 : 150 (METRIC)



### PROJECT DATA

ZONING R2 (TO BE RE-ZONED R3)  
LOT AREA 0.5 ACRES (2030.5 SQ M)

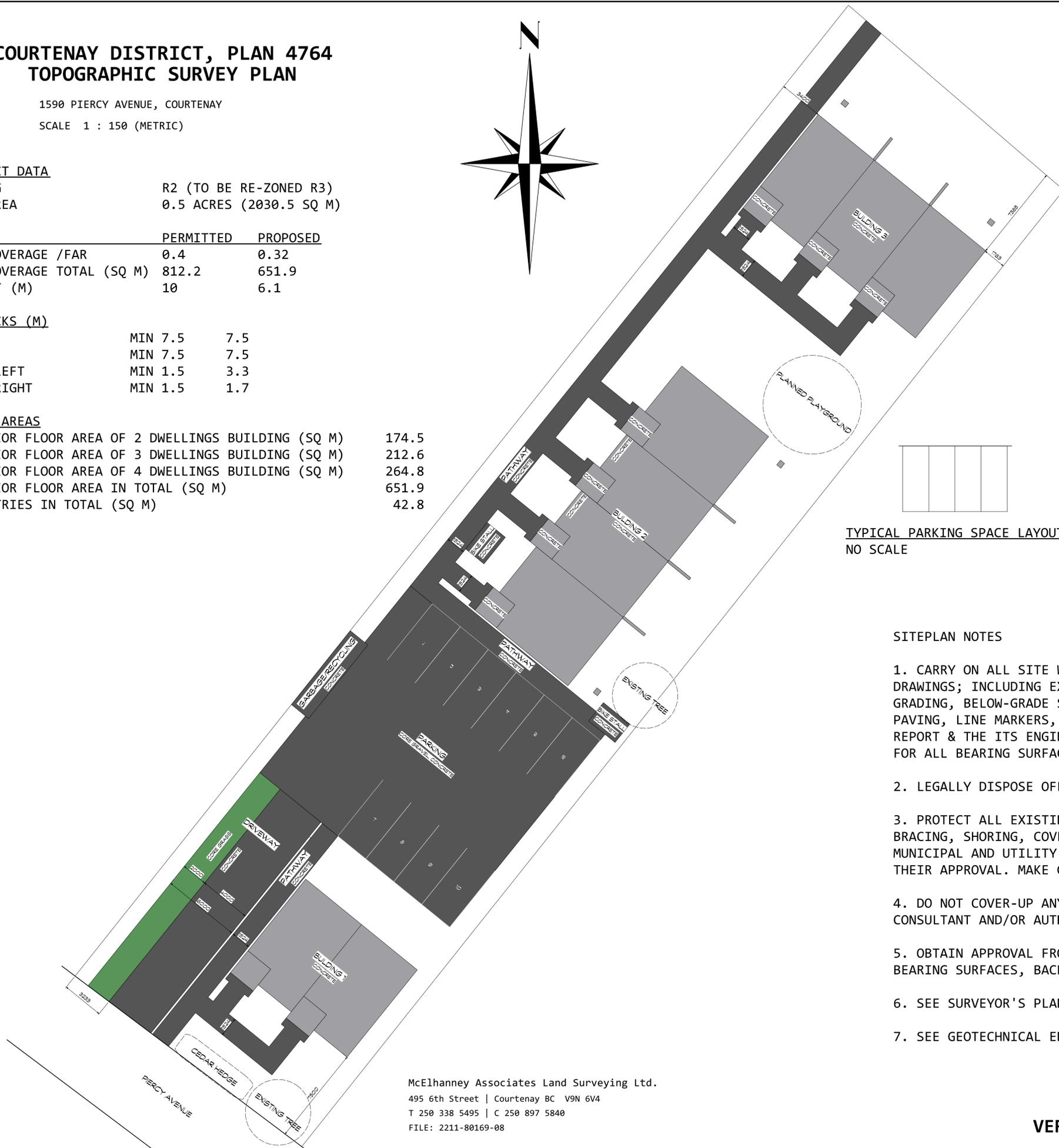
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LOT COVERAGE TOTAL (SQ M)	812.2	651.9
HEIGHT (M)	10	6.1

### SETBACKS (M)

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REAR	MIN	7.5	7.5
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(9)ENTRIES IN TOTAL (SQ M)	42.8



OFF-STREET PARKING SPACES (PER DWELLING INCL.10% VISITOR PARKING)	REQUIRED	PROPOSED
	14 (1.5)	10 (1.1)

### BICYCLE PARKING ADDITION

LONG TERM PARKING SPACES	-	30
SHORT TERM PARKING SPACES	-	8



TYPICAL PARKING SPACE LAYOUT  
NO SCALE

OTHER PARKING LOT SPECIFICATIONS SHALL FOLLOW  
DIVISION 7, BYLAW 2500 (2007) REQUIRMENTS

SEE PARKING STUDY ISSUED AND SIGNED BY WATT CONSULTING GROUP,  
FILE NUMBER 2785.B01; MARCH 30, 2020

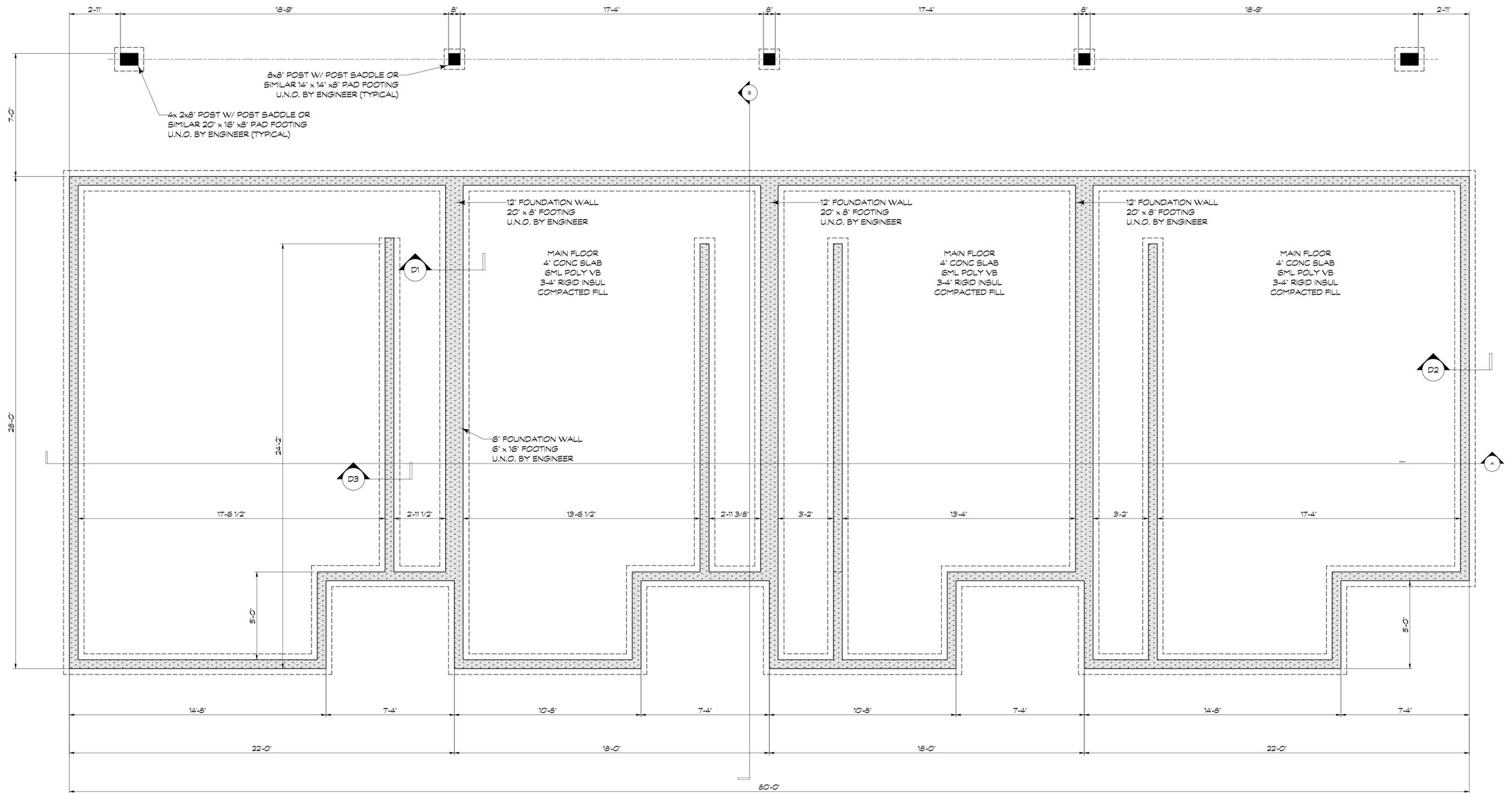
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T 250 338 5495 | C 250 897 5840  
FILE: 2211-80169-08

VERSION FOR RE-ZONING PURPOSES

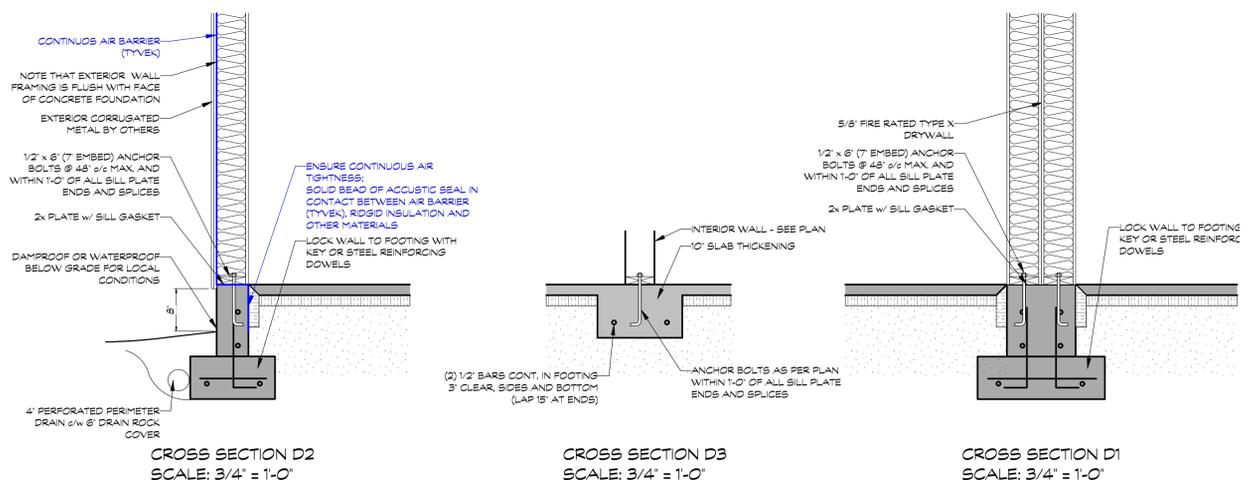
1.FE801/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 1
Project Location 1590 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title SITE PLAN	



FOUNDATION PLAN  
SCALE: 3/8" = 1'-0"

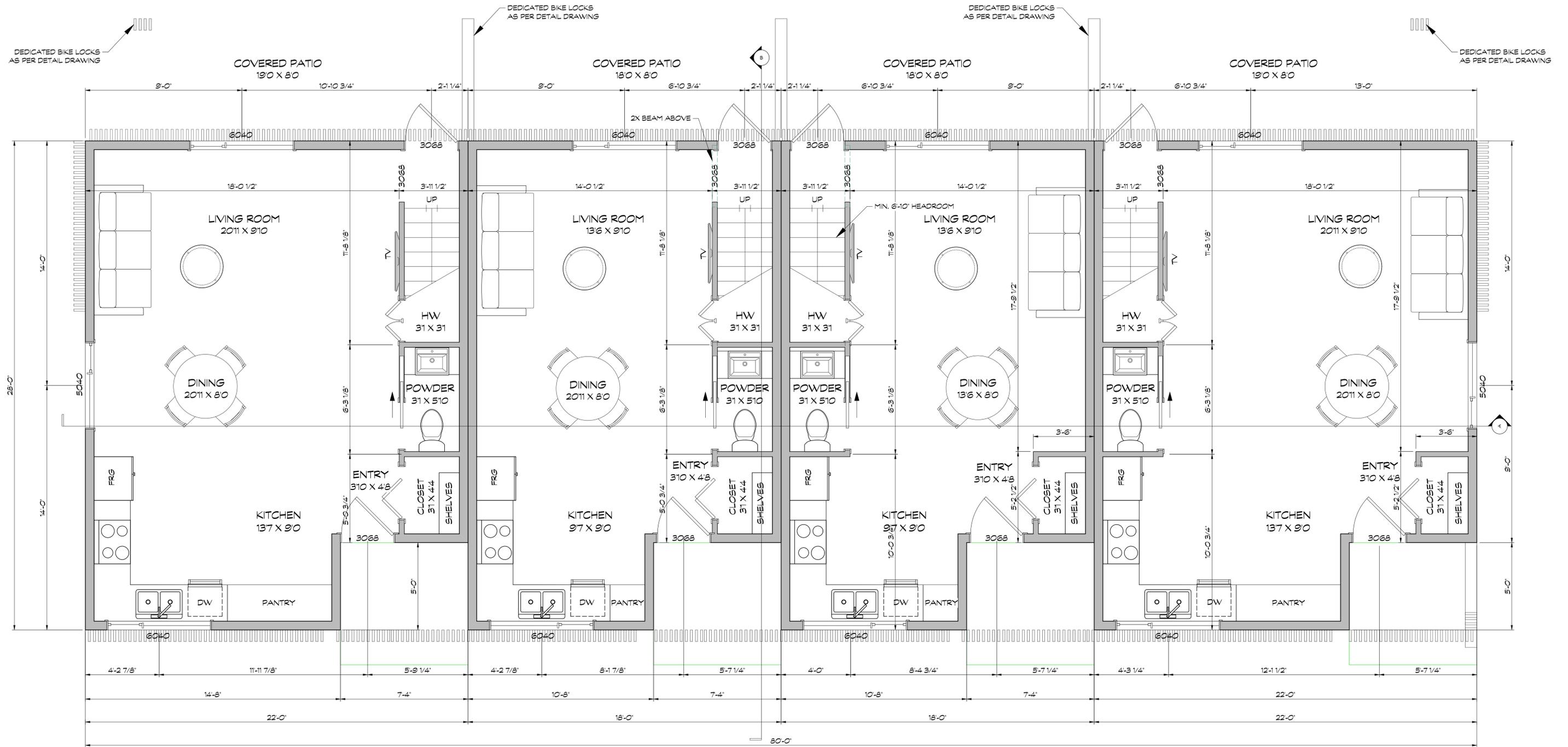
-68 LINEAR FT PER SURROUNDED DWELLING  
-76 LINEAR FT PER CORNER DWELLING

NOTE:  
ALL POINT LOADS MUST BE ASSESSED BY AN ENGINEER AND FOOTING SIZES INCREASE AS REQUIRED TO SUPPORT LOADS



VERSION FOR RE-ZONING PURPOSES

1.FEB01/21 Concept Design for Review	
ISSUE NOTES	
PERSPECTIVE	Sheet No. 2
Project Location	
1598 Piercy Rd., Courtenay, BC	
Project Title	
NINE PEAKS	
Sheet Title	
FOUNDATION PLAN	



**MAIN FLOOR PLAN**

SCALE: 3/8" = 1'-0"

467 SQ FT (EXTERIOR FLOOR AREA PER 2BDRM DWELLING)

580 SQ FT (EXTERIOR FLOOR AREA PER 3BDRM DWELLING)

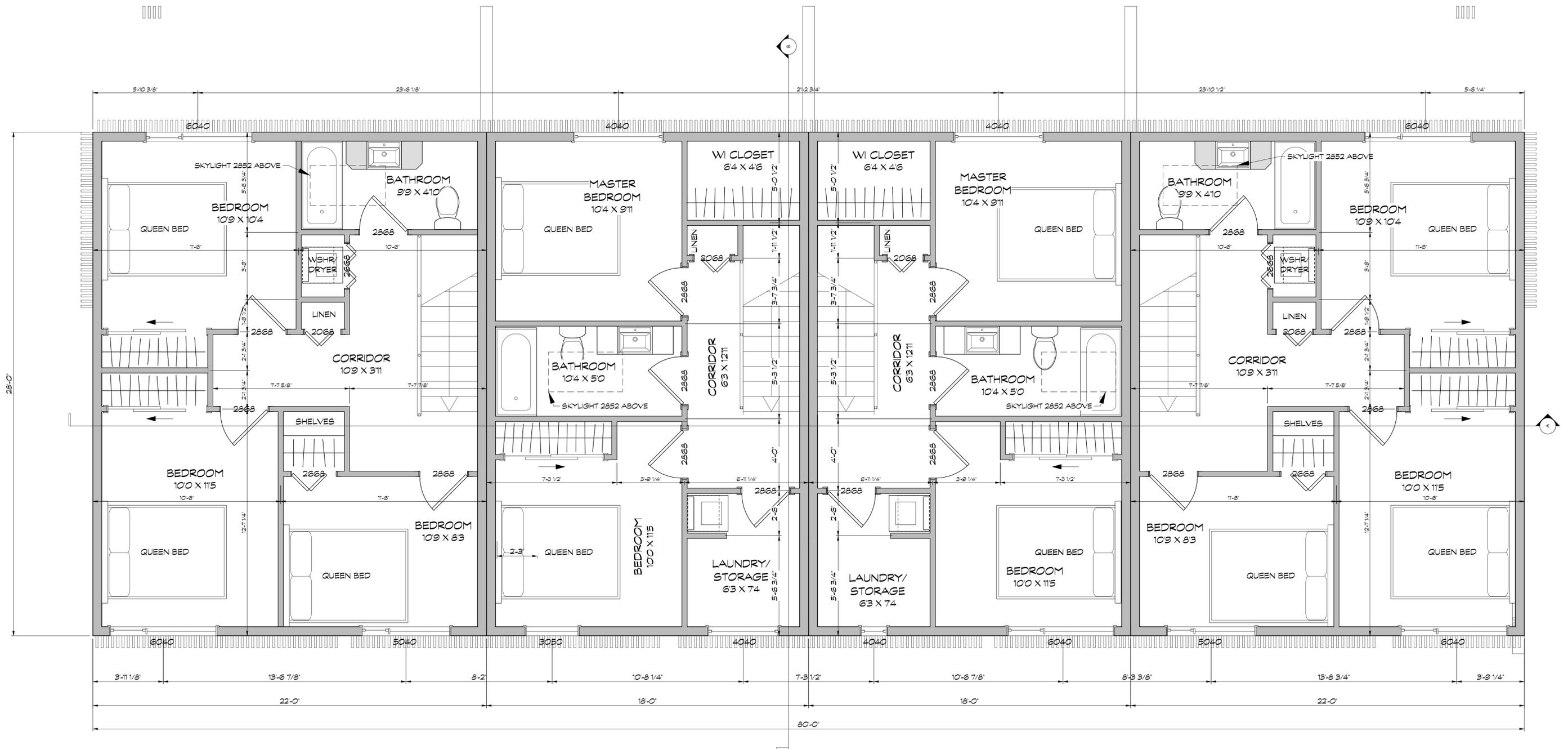
51 SQ FT (ENTRY SLAB PER DWELLING)

2094 SQ FT (EXTERIOR FLOOR AREA IN TOTAL PER BUILDING)

204 SQ FT (ENTRY SLABS IN TOTAL PER BUILDING)

**VERSION FOR RE-ZONING PURPOSES**

1.FE801/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 3
Project Location 1598 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title FLOOR PLANS	



UPPER FLOOR PLAN

SCALE: 3/8" = 1'-0"

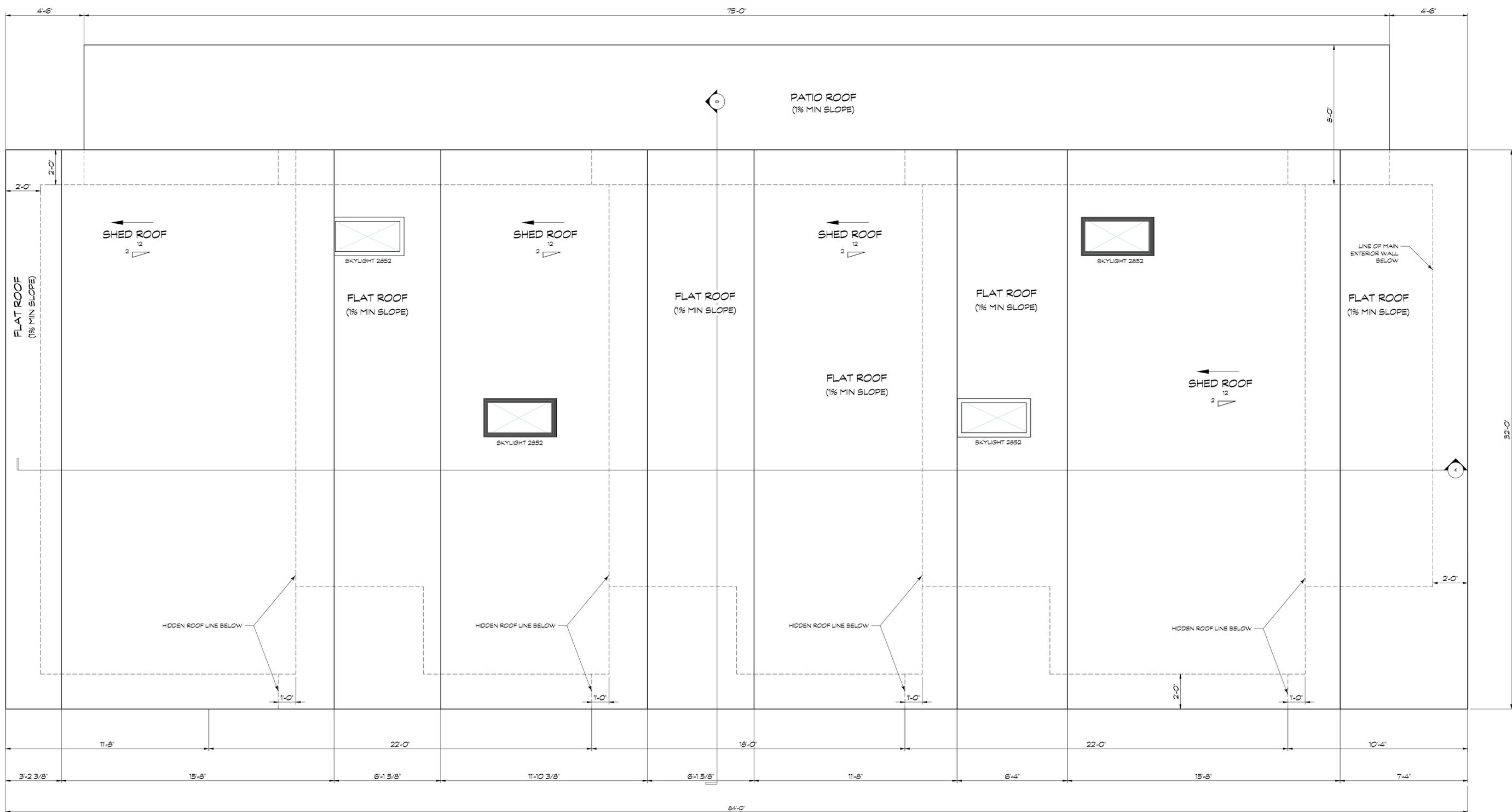
472 SQ FT (EXTERIOR FLOOR AREA IN PER 2BDRM DWELLING)

616 SQ FT (EXTERIOR FLOOR AREA IN PER 3BDRM DWELLING)

2176 SQ FT (EXTERIOR FLOOR AREA IN TOTAL PER BUILDING)

VERSION FOR RE-ZONING PURPOSES

1.FE801/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 4
Project Location 1598 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title 2ND FLOOR PLANS	

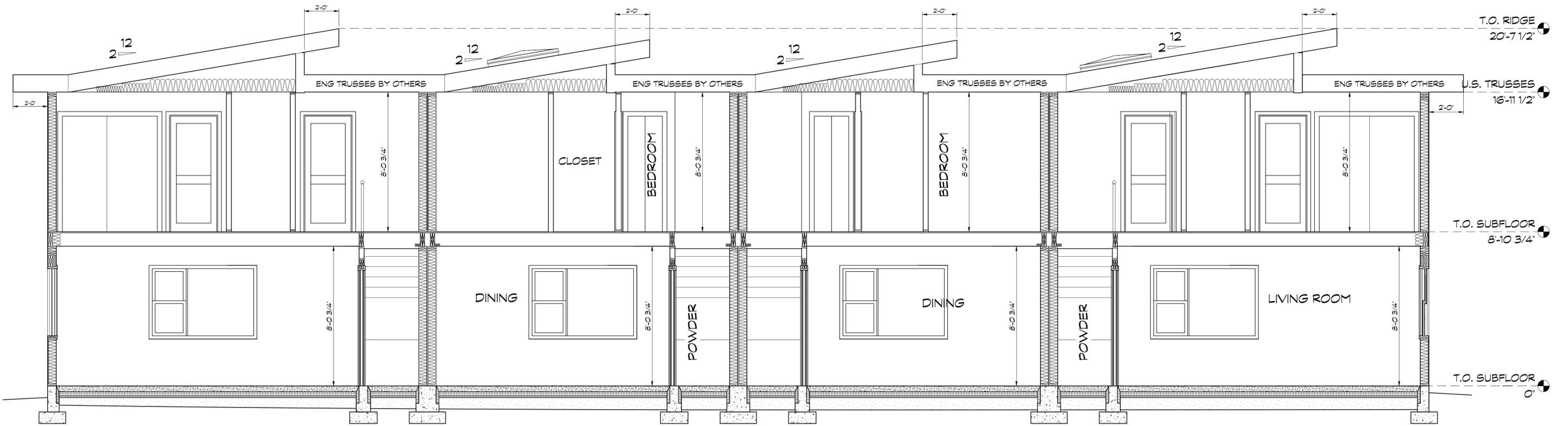


ROOF PLAN  
 SCALE: 3/8" = 1'-0"

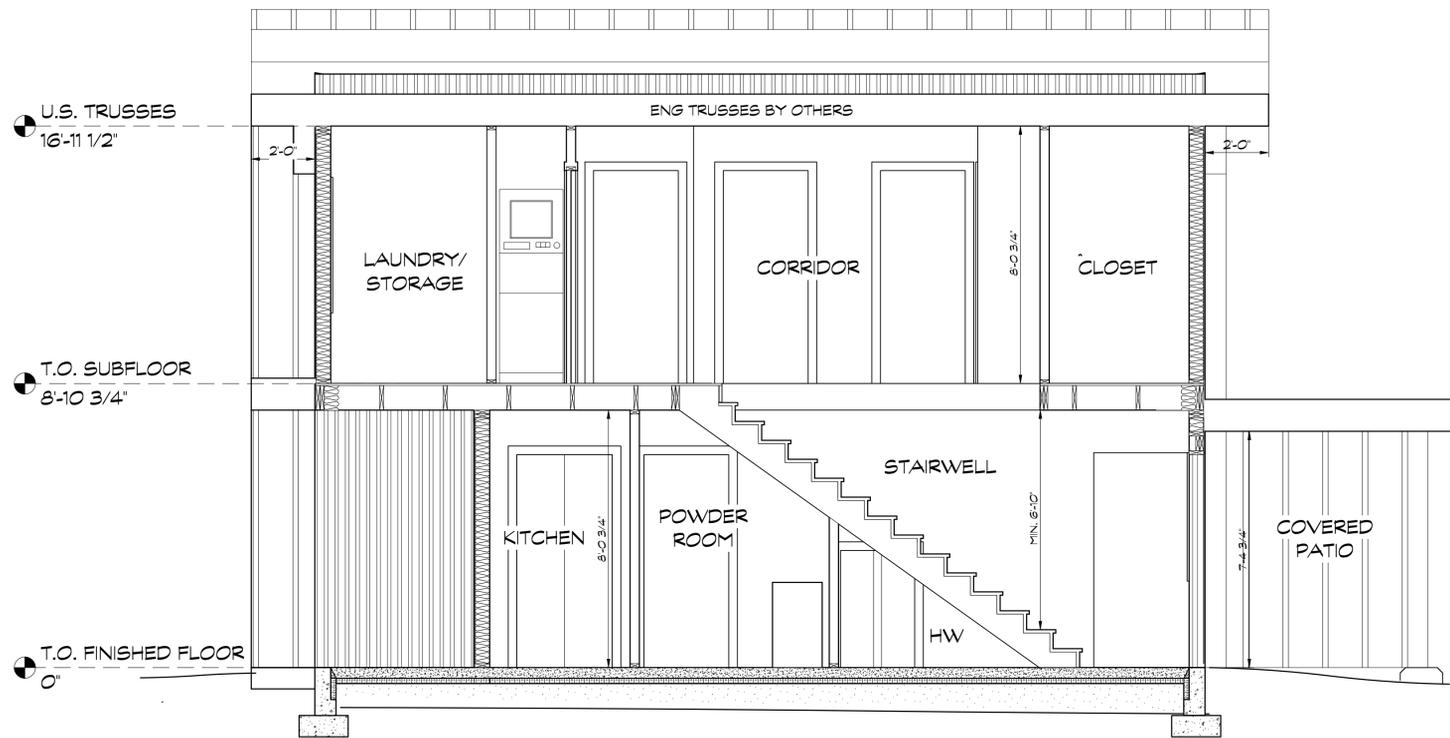
(1%) COVERED PATIO FLAT ROOF AREA = ~600 SQ FT  
 (1%) FLAT ROOF AREA = ~1310 SQ FT  
 (9.5%) SHED ROOF AREA = ~1569 SQ FT

VERSION FOR RE-ZONING PURPOSES

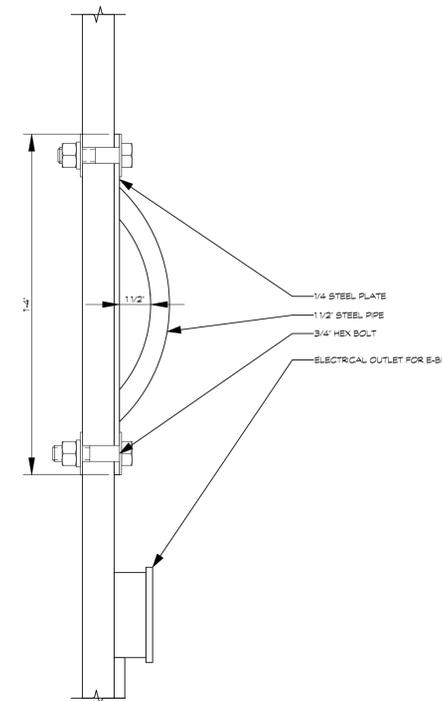
1.FE801/21 Concept Design for Review	
ISSUE NOTES	
PERSPECTIVE	Sheet No. 5
Project Location 1598 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title ROOF PLAN	



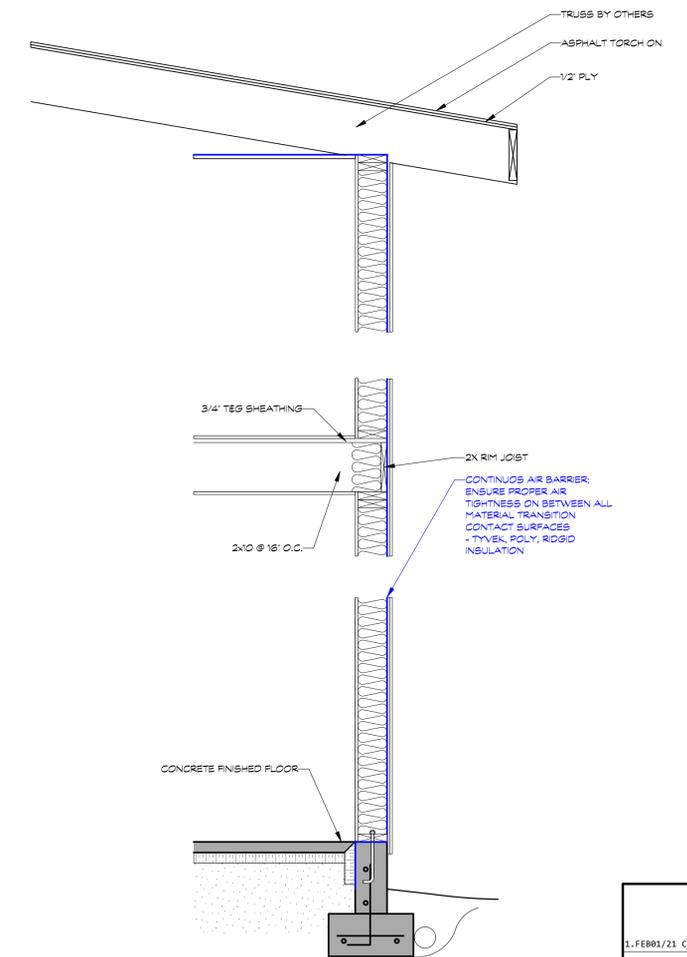
SECTION A  
SCALE: 3/8" = 1'-0"



SECTION B  
SCALE: 3/8" = 1'-0"



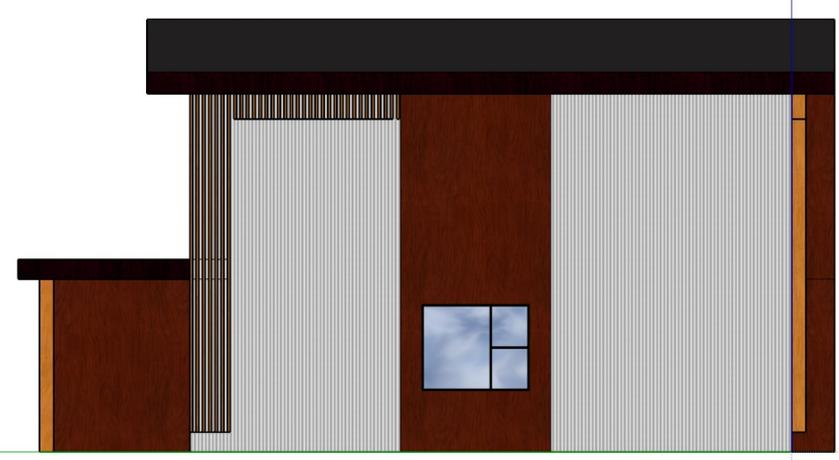
DEDICATED BIKE LOCK DETAIL DRAWING  
SCALE: 3" = 1'-0"



TYPICAL WALL SECTION  
SCALE 3/4" = 1'-0"

VERSION FOR RE-ZONING PURPOSES

1.FEB01/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 6
Project Location 1598 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title SECTIONS	

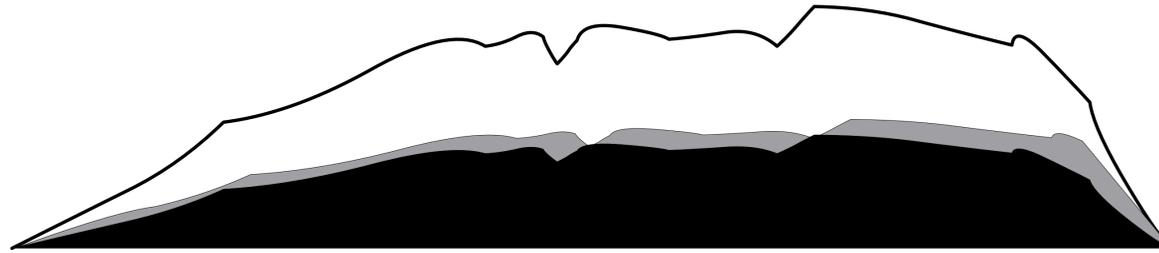


Materials Legend

 Wood Tone Fibre Cement Panel	 Fir Timber Framing and Ornamental Wooden Slats
 Cedar Siding	 Glazing
 Metal Siding	 Accent Paint
 Paint Grade Fibre Cement Panel	 Torch on Roofing Membrane

1.FE001/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 7
PERSPECTIVE DESIGN BUILD LTD.	
Project Location 1590 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title ELEVATIONS	

VERSION FOR RE-ZONING PURPOSES



# NINE PEAKS

1590 PIERCY AVENUE, COURTENAY



**DRAWING INDEX  
ARCHITECTURAL**

- P1 SITE PLAN
- P2 FOUNDATION PLAN
- P3 FLOOR PLANS
- P4 2ND FLOOR PLANS
- P5 ROOF PLAN
- P6 SECTIONS
- P7 ELEVATIONS



**PERSPECTIVE DESIGN  
BUILD LTD.**  
1160 4TH ST., COURTENAY  
BRITISH COLUMBIA V9N 1H8

**TRIPLEX  
DETAILED DESIGN**

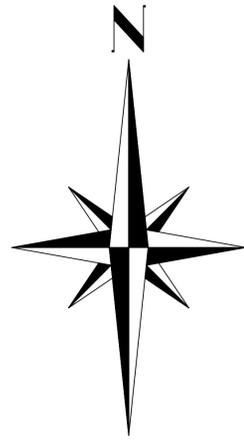
**TO SCALE ON 36X24  
PRINT FORMAT ONLY**

**COVER SHEET      0.0  
REVISION**

**VERSION FOR RE-ZONING PURPOSES**

# COURTENAY DISTRICT, PLAN 4764 TOPOGRAPHIC SURVEY PLAN

1590 PIERCY AVENUE, COURTENAY  
SCALE 1 : 150 (METRIC)



## PROJECT DATA

ZONING R2 (TO BE RE-ZONED R3)  
LOT AREA 0.5 ACRES (2030.5 SQ M)

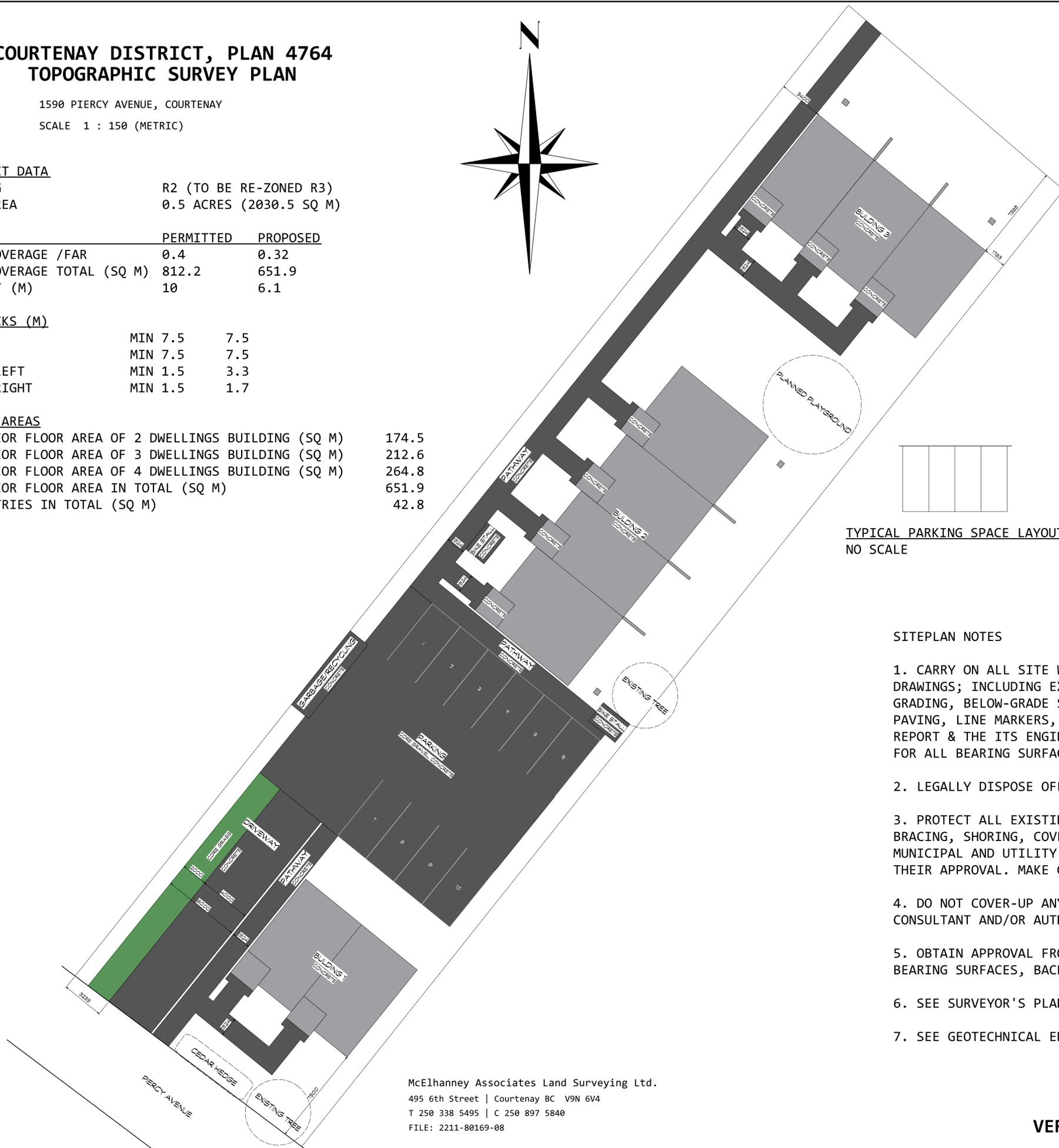
ITEMS	PERMITTED	PROPOSED
LOT COVERAGE /FAR	0.4	0.32
LOT COVERAGE TOTAL (SQ M)	812.2	651.9
HEIGHT (M)	10	6.1

## SETBACKS (M)

	MIN	7.5	7.5
FRONT	MIN	7.5	7.5
REAR	MIN	7.5	7.5
SIDE LEFT	MIN	1.5	3.3
SIDE RIGHT	MIN	1.5	1.7

## FLOOR AREAS

EXTERIOR FLOOR AREA OF 2 DWELLINGS BUILDING (SQ M)	174.5
EXTERIOR FLOOR AREA OF 3 DWELLINGS BUILDING (SQ M)	212.6
EXTERIOR FLOOR AREA OF 4 DWELLINGS BUILDING (SQ M)	264.8
EXTERIOR FLOOR AREA IN TOTAL (SQ M)	651.9
(9)ENTRIES IN TOTAL (SQ M)	42.8



OFF-STREET PARKING SPACES (PER DWELLING INCL.10% VISITOR PARKING)	REQUIRED	PROPOSED
	14 (1.5)	10 (1.1)

## BICYCLE PARKING ADDITION

LONG TERM PARKING SPACES	-	30
SHORT TERM PARKING SPACES	-	8

OTHER PARKING LOT SPECIFICATIONS SHALL FOLLOW DIVISION 7, BYLAW 2500 (2007) REQUIRMENTS

SEE PARKING STUDY ISSUED AND SIGNED BY WATT CONSULTING GROUP, FILE NUMBER 2785.B01; MARCH 30, 2020



TYPICAL PARKING SPACE LAYOUT  
NO SCALE

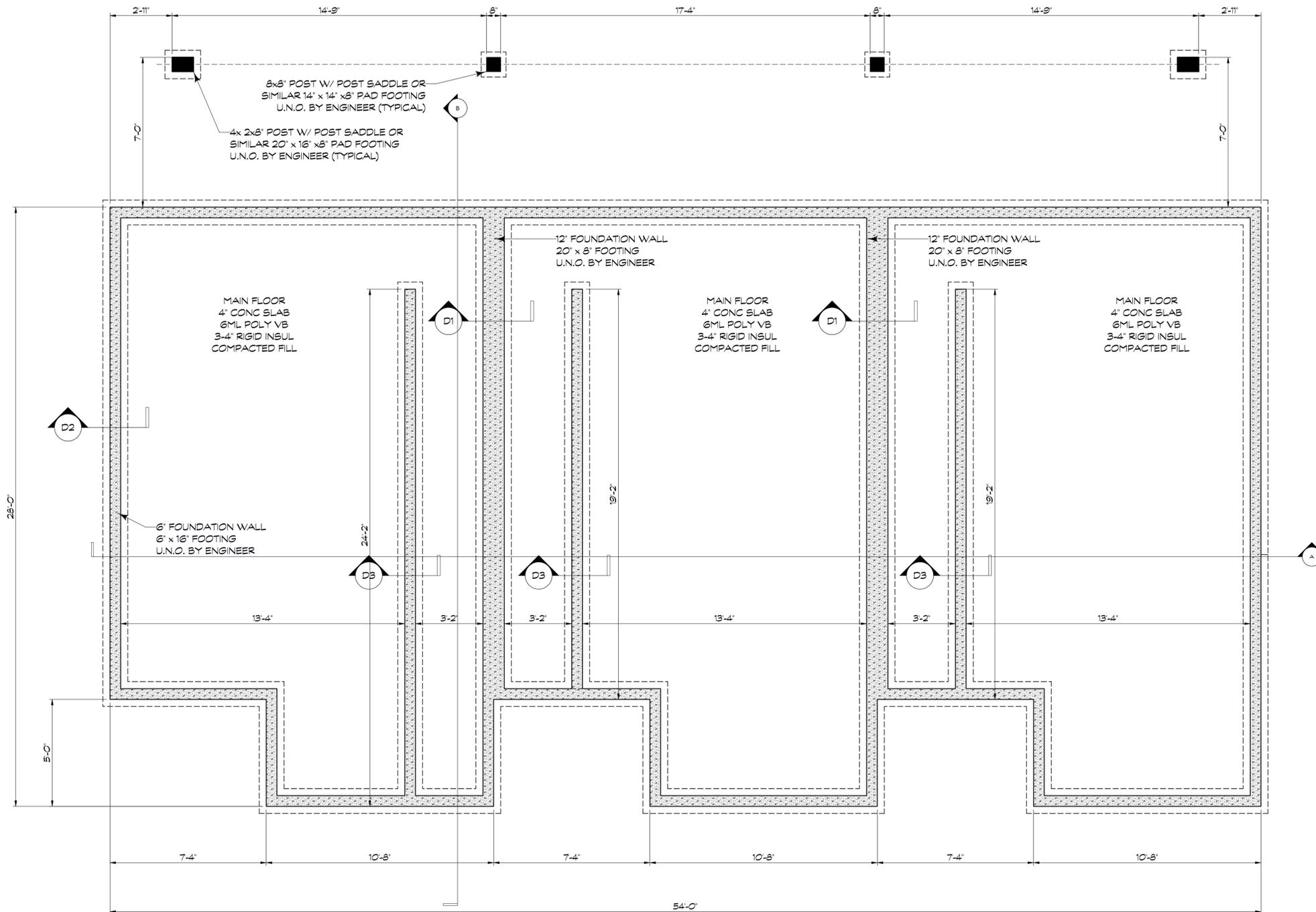
## SITEPLAN NOTES

1. CARRY ON ALL SITE WORK SHOWN ON OR READILY INFERRABLE FROM THE PERMIT DRAWINGS; INCLUDING EXCAVATION, DEWATERING, BACKFILLING, ROUGH & FINISHED GRADING, BELOW-GRADE SERVICES, PLANTING, SODDING, FENCING, CURBING, PAVING, LINE MARKERS, SIGNAGE, ETC. CO-ORDINATE ALL WORK WITH THE SOIL REPORT & THE ITS ENGINEER. PROVIDE INSPECTIONS, TEST AND REPORTS, FOR ALL BEARING SURFACES, BACKFILL MATERIALS, AND COMPACTION.
2. LEGALLY DISPOSE OFF-SITE ALL EXCAVATED MATERIAL, & ITEMS REQUIRING REMOVAL.
3. PROTECT ALL EXISTING PUBLIC PROPERTY AND UTILITIES. PROVIDE HOARDINGS, BRACING, SHORING, COVERS, ETC. AS REQUIRED. CONTACT ALL REQUISITE MUNICIPAL AND UTILITY AUTHORITIES FOR LOCATES, AND CARRY OUT WORK TO THEIR APPROVAL. MAKE GOOD ANY DAMAGE.
4. DO NOT COVER-UP ANY WORK UNTIL PROPERLY INSPECTED BY THE PERTINENT CONSULTANT AND/OR AUTHORITY.
5. OBTAIN APPROVAL FROM GEOTECHNICAL / STRUCTURAL ENGINEER FOR ALL BEARING SURFACES, BACKFILL MATERIALS, AND COMPACTION.
6. SEE SURVEYOR'S PLAN FOR PROPERTY LINE DIMENSIONS AND DIRECTION.
7. SEE GEOTECHNICAL ENGINEER'S REPORT FOR SOIL / BEARING CONDITIONS.

McElhanney Associates Land Surveying Ltd.  
495 6th Street | Courtenay BC V9N 6V4  
T 250 338 5495 | C 250 897 5840  
FILE: 2211-80169-08

VERSION FOR RE-ZONING PURPOSES

1.FE801/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 1
Project Location 1590 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title SITE PLAN	



**FOUNDATION PLAN**  
SCALE: 3/8" = 1'-0"  
~68 LINEAR FT PER DWELLING

**NOTE:**  
ALL POINT LOADS MUST BE ASSESSED BY AN ENGINEER AND FOOTING SIZES INCREASE AS REQUIRED TO SUPPORT LOADS

**VERSION FOR RE-ZONING PURPOSES**

**NOTES:**

**GENERAL NOTES**

- ALL WORK SHALL CONFORM TO CURRENT BUILDING CODES AND LOCAL BYLAWS
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS

**CONCRETE**

- ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 20MPA AT 28 DAYS
- FOOTINGS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR SOIL BEARING CAPACITY OF 2500 PSF. LOCAL CONDITIONS AND / OR LOCAL PRACTICE MAY NECESSITATE A MORE STRINGENT FOOTING DESIGN WHICH, MAY REQUIRE CONFIRMATION BY A CERTIFIED STRUCTURAL ENGINEER. THIS WILL BE THE RESPONSIBILITY OF THE OWNER / CONTRACTOR TO PROVIDE.
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION OR ALTERNATIVE METHOD SHALL BE USED TO ENSURE INSULATION OF FOUNDATION AS PER LOCAL BUILDING CODE
- ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING LIMITS STATED IN BUILDING CODES REQUIRE DESIGN BY A REGISTERED STRUCTURAL ENGINEER
- ALL FOOTINGS TO HAVE 2 ROWS OF MIN. NO. 4 REBAR 3" CLEAR FROM SIDE AND BOTTOM
- ALL WOOD CONTACTING CONCRETE TO BE SEPARATED WITH APPROVED MATERIAL

**STRUCTURAL**

- ALL WOOD FRAMING TO BE #2 OR BETTER DOUGLAS FIR OR SPRUCE
- ALL UNTELS TO BE 2-2X10 #2 DOUGLAS FIR OR BETTER UNLESS OTHERWISE NOTED
- LAMINATE STUDDING UNDER ALL LOAD BEARING POINTS
- JOISTS ARE TO BE DOUBLED UNDER PARTITIONS
- ALL ENGINEERED COMPONENTS TO BE INSTALLED TO MANUFACTURES SPECS.

**PLUMBING**

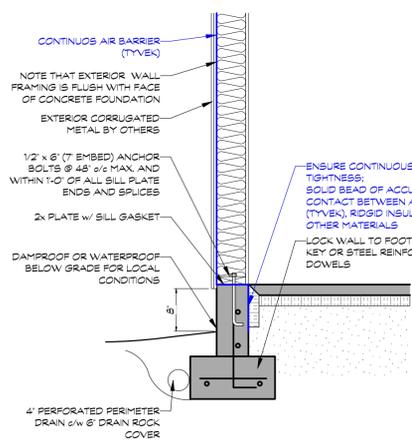
- PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS NOTED BELOW
- A) WATER CLOSET = 1.6 GAL PER FLUSH
- B) SHOWER HEAD = 2.5 GPM MAX
- C) LAVATORY FAUCETS = 2.2 GPM MAX
- D) SINK FAUCETS = 2.2 GPM MAX TITLE 24, VCBC, UPC

**EGRESS WINDOWS (BEDROOMS)**

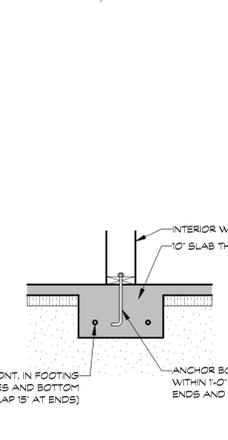
- FINISHED SILL 59" ABOVE FLOOR MAX.
- NET OPENING TO BE 3.77 SQUARE FEET MINIMUM, WITH NO DIMENSION LESS THAN 15"

**MECHANICAL AND VENTILATION**

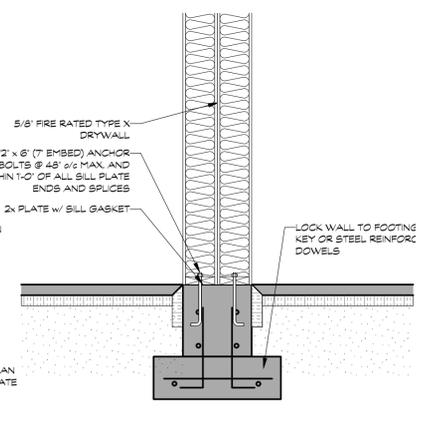
- BUILDING MUST BE PROVIDED WITH MECHANICAL VENTILATION DESIGN BY OTHERS
- ATTIC TO BE VENTED MINIMUM 1:300 OF AREA
- ONE HALF OF ROOF VENTS TO BE LOCATED IN UPPER PORTION OF ATTIC SPACE, AT LEAST 3'-0" HIGHER THAN EAVE OR CORNICE VENTS
- 22' x 30' MIN. ATTIC ACCESS. INSULATE AND WEATHER STRIP DOOR. 30' MIN. HEAD CLEARANCE



**CROSS SECTION D2**  
SCALE: 3/4" = 1'-0"

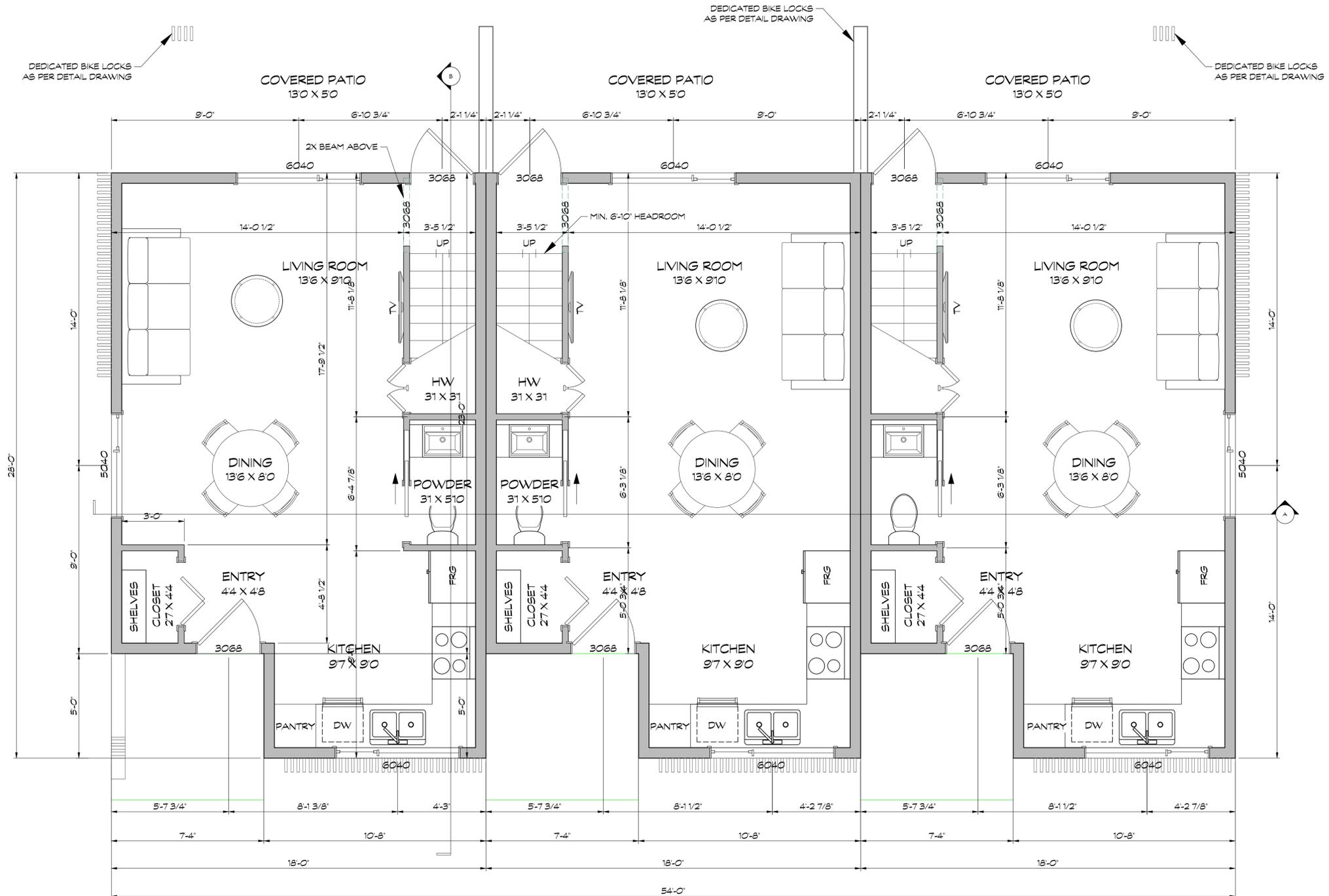


**CROSS SECTION D3**  
SCALE: 3/4" = 1'-0"



**CROSS SECTION D1**  
SCALE: 3/4" = 1'-0"

1.FEB01/21 Concept Design for Review	
ISSUE NOTES	
PERSPECTIVE	Sheet No. 2
Drawn by: MM	
PERSPECTIVE DESIGN BUILD LTD.	
Project Location: 1598 Piercy Rd., Courtenay, BC	
Project Title: NINE PEAKS	
Sheet Title: FOUNDATION PLAN	



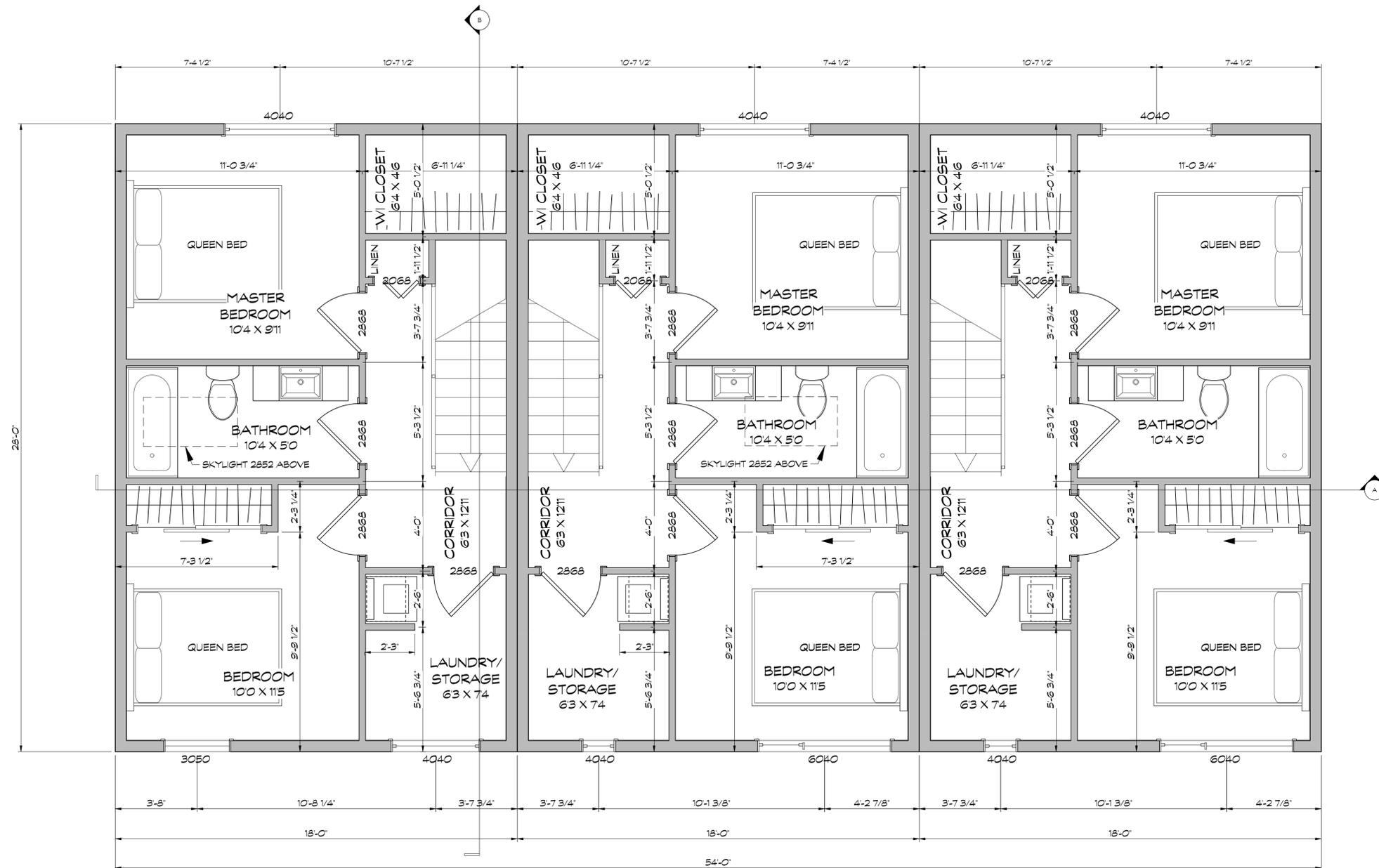
MAIN FLOOR PLAN  
SCALE: 3/8" = 1'-0"

ALL 3 DWELLINGS IDENTICAL DIMENSIONS  
467 SQ FT (EXTERIOR FLOOR AREA PER DWELLING)  
51 SQ FT (ENTRY SLAB PER DWELLING)

1402 SQ FT (EXTERIOR FLOOR AREA IN TOTAL PER BUILDING)  
153 SQ FT (ENTRY SLABS IN TOTAL PER BUILDING)

VERSION FOR RE-ZONING PURPOSES

1.FE801/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 3
Project Location 1598 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title FLOOR PLANS	



UPPER FLOOR PLAN

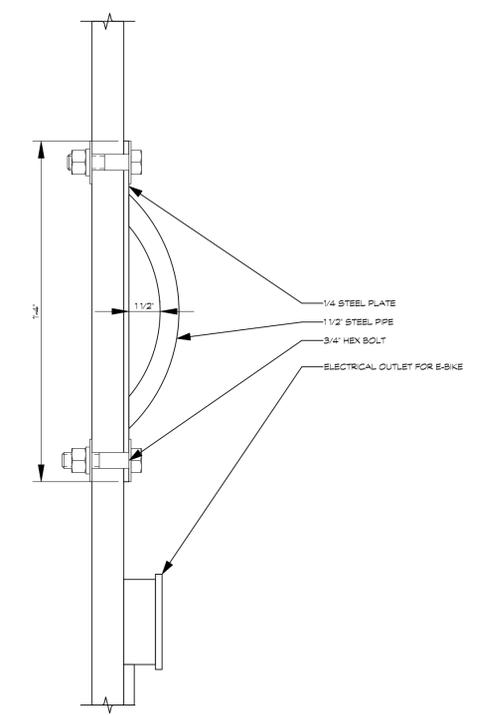
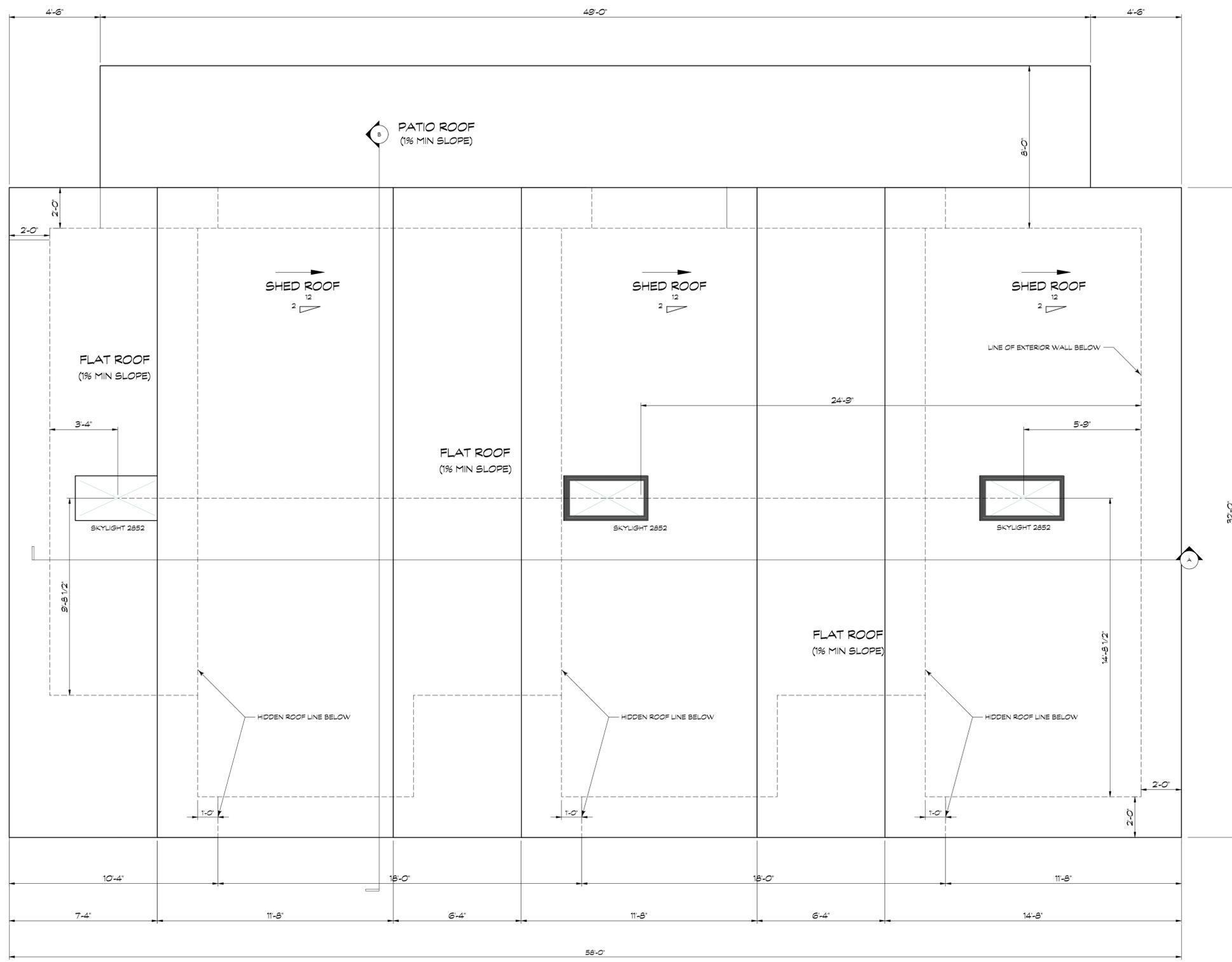
SCALE: 3/8" = 1'-0"

472 SQ FT (EXTERIOR FLOOR AREA IN PER DWELLING)

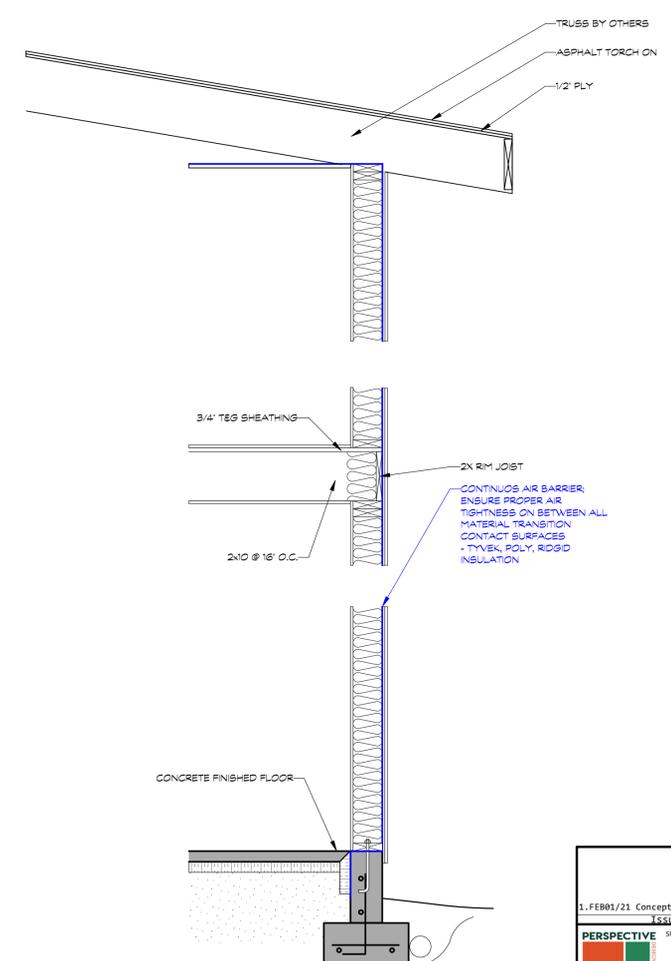
1445 SQ FT (EXTERIOR FLOOR AREA IN TOTAL PER BUILDING)

VERSION FOR RE-ZONING PURPOSES

1.FE801/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 4
Project Location 1598 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title 2ND FLOOR PLANS	



DEDICATED BIKE LOCK DETAIL DRAWING  
SCALE: 3" = 1'-0"



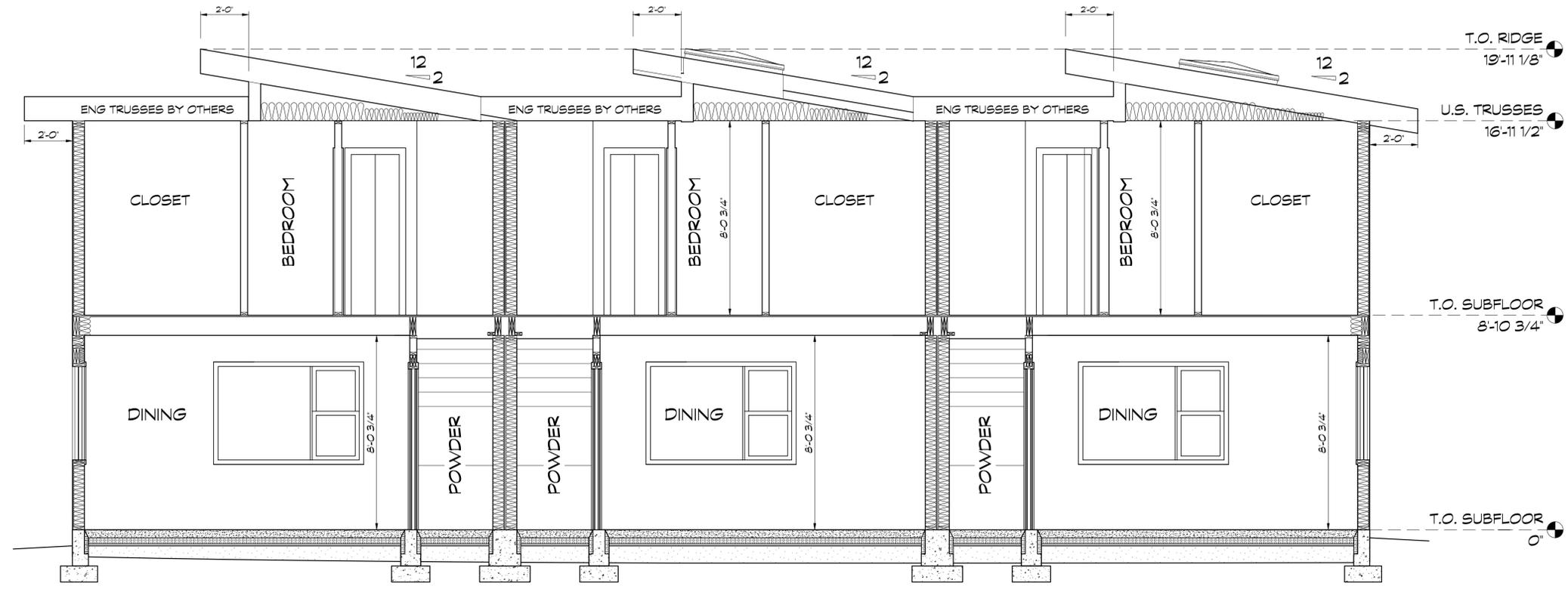
TYPICAL WALL SECTION  
SCALE 3/4" = 1'-0"

1.FE001/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 5
Drawn by MM	
PERSPECTIVE DESIGN BUILD LTD.	
Project Location 1598 Piercy Rd., Courtenay, BC	
Project Title	NINE PEAKS
Sheet Title	ROOF PLAN

**ROOF PLAN**  
SCALE: 3/8" = 1'-0"

(1%) COVERED PATIO FLAT ROOF AREA = ~392 SQ FT  
 (1%) FLAT ROOF AREA = ~717 SQ FT  
 (9.5%) SHED ROOF AREA = ~1302 SQ FT

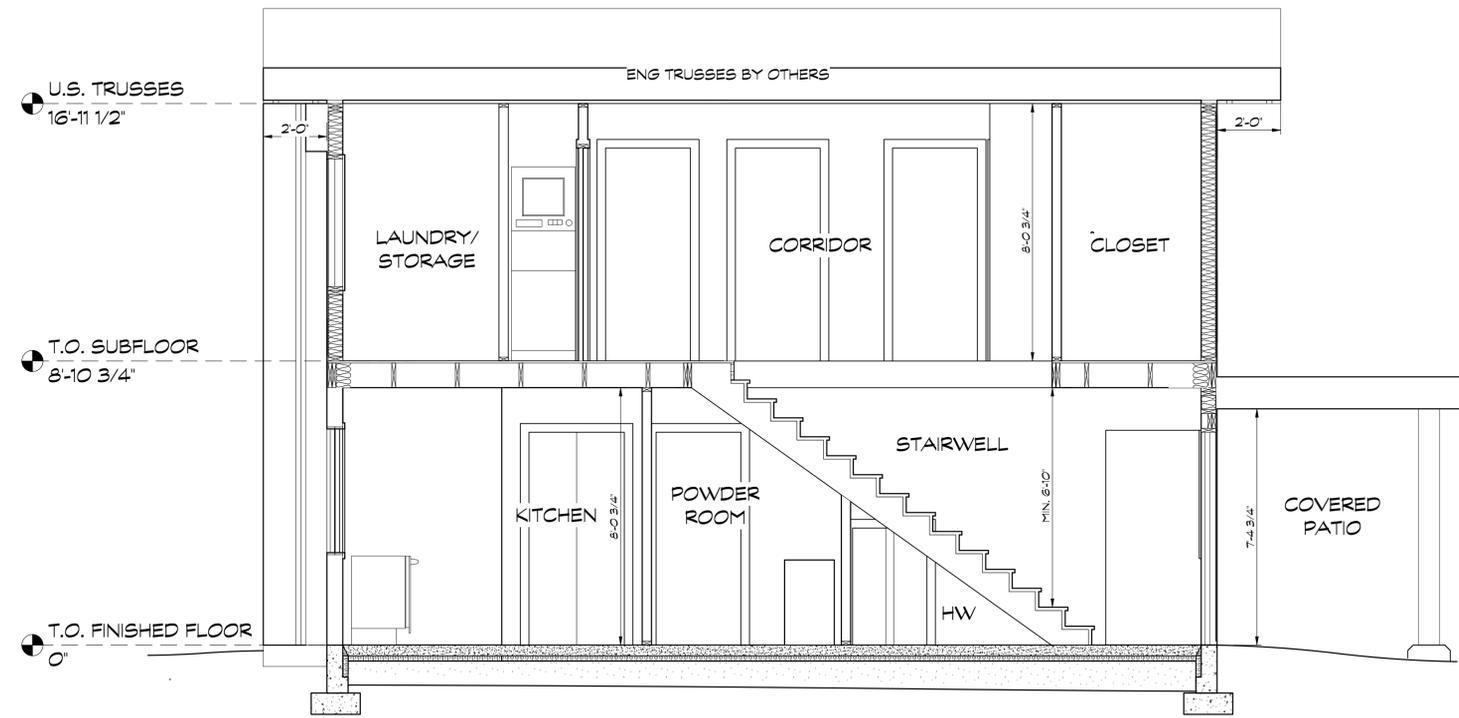
**VERSION FOR RE-ZONING PURPOSES**



SECTION A  
SCALE: 3/8" = 1'-0"

SEALED POLYETHYLENE AIR BARRIER - CODE REFERENCES  
9.36.2.9. AIR TIGHTNESS  
9.36.2.10. CONSTRUCTION OF AIR BARRIER DETAILS

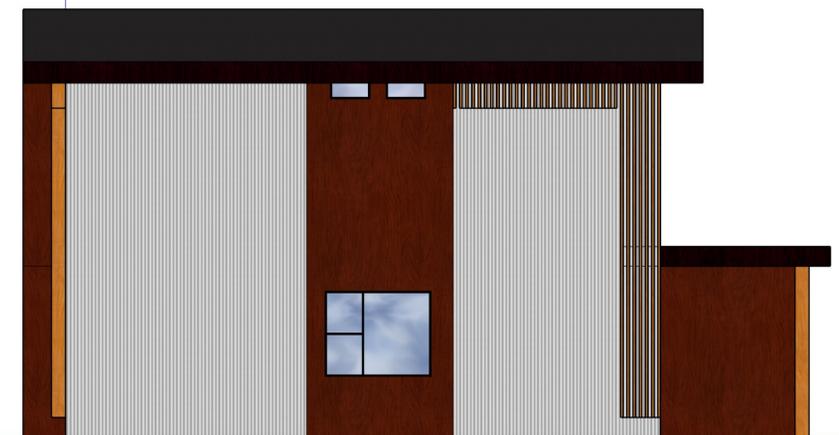
- ENSURE AIR BARRIER IS CONTINUOUS AND AIR TIGHT AT:
- PARTITION WALLS AT EXTERIOR WALLS AND CEILING
  - RECESSED LIGHTS
  - DRYER AND RANGE HOOD EXHAUSTS
  - EXTERIOR DOOR AND WINDOW PENETRATIONS
  - BATHROOM CEILING FANS
  - PLUMBING PENETRATIONS
  - MECHANICAL PENETRATIONS
  - INTERIOR AND EXTERIOR ELECTRICAL PENETRATIONS
  - RIM JOISTS
  - FOUNDATION WALL TRANSITION



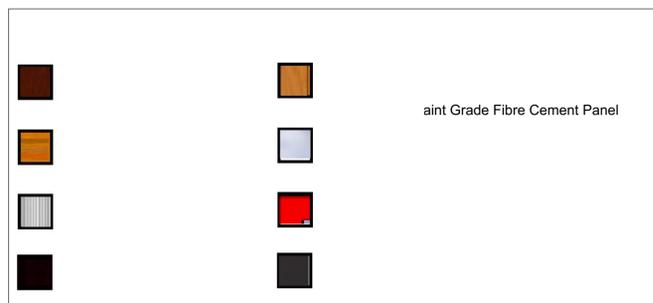
SECTION B  
SCALE: 3/8" = 1'-0"

VERSION FOR RE-ZONING PURPOSES

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Issue Notes	
PERSPECTIVE	Sheet No. 6
Project Location 1590 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title SECTIONS	



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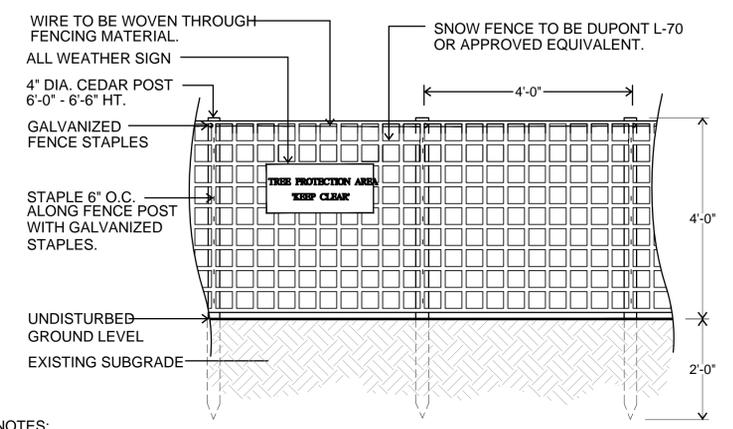
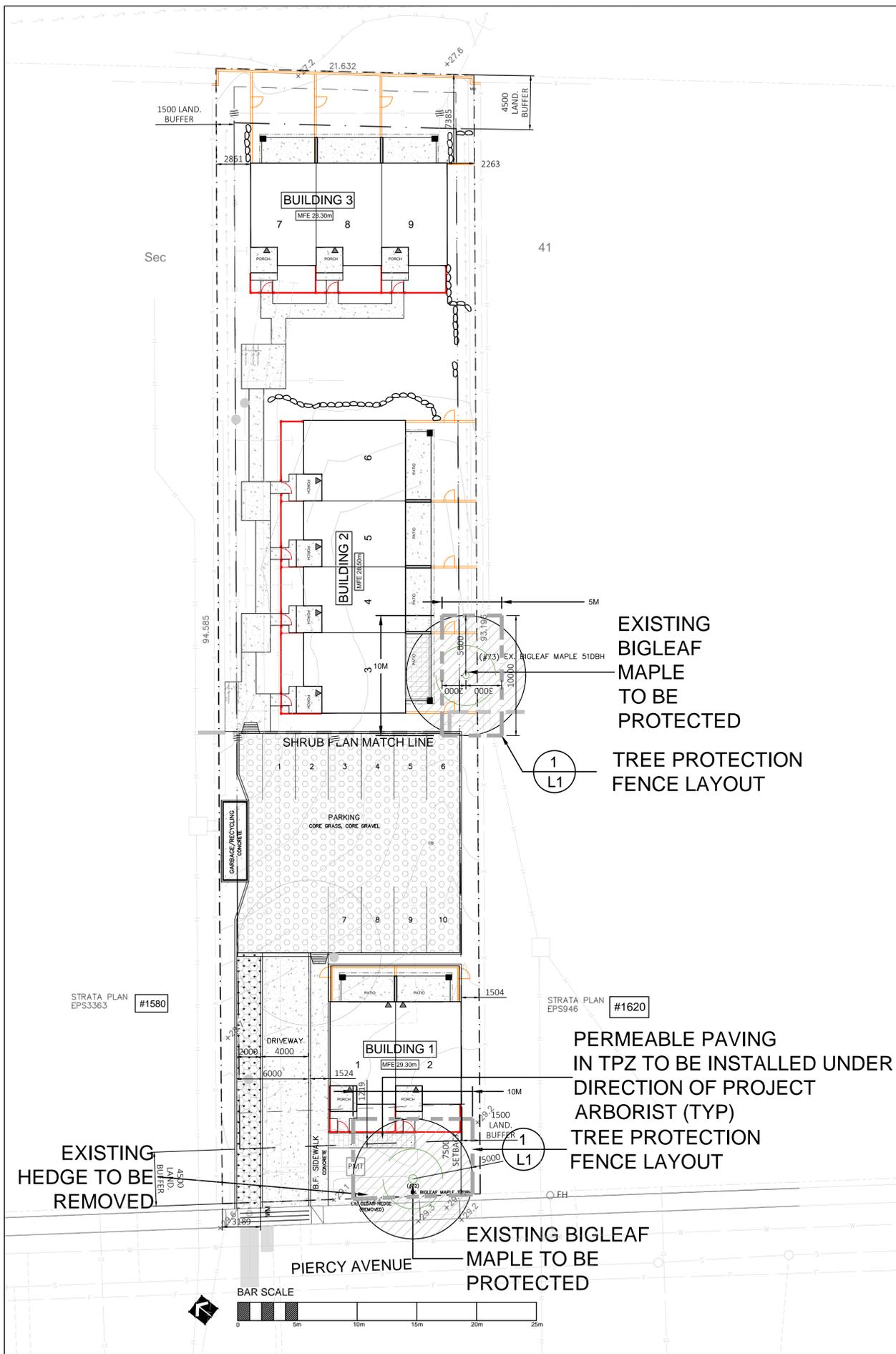
aint Grade Fibre Cement Panel

Torch on Roofing Membrane

VERSION FOR RE-ZONING PURPOSES

1.FE001/21 Concept Design for Review	
Issue Notes	
PERSPECTIVE	Sheet No. 7
Project Location 1590 Piercy Rd., Courtenay, BC	
Project Title NINE PEAKS	
Sheet Title ELEVATIONS	

SEAL:



- NOTES:**
1. TREE RETENTION FENCES TO BE IN PLACE PRIOR TO ANY WORK ON SITE.
  2. LANDSCAPE ARCHITECT TO VERIFY PLACEMENT.
  3. FENCE TO ENCLOSE ALL TREE RETENTION ZONES.

**1 TREE RETENTION FENCE**  
SCALE 1:20

REFER TO ARBORIST REPORT FOR FULL TREE PROTECTION REQUIREMENTS:  
GROW TREE CARE, 2640 COMOX ROAD, COURTENAY BC (250-702-3453)  
WWW.GROWTREECARE.COM

**Tree Retention Plan**

Tree retention management works seek to protect rooting soils from compaction and contamination, and the tree's stems and branches from mechanical damage, by establishing Root Protection Areas (RPAs) about the subject trees. Additionally, efforts should be made to improve soil conditions within the RPAs to compensate for root loss outside of the RPAs.

- A sturdy wooden post-and-top-rail fence should be installed along the edges of the RPAs before any development works occur.
- The project arborist should inspect the fence location and construction after installation.
- The project arborist should be present when initial excavation works occur adjacent to Tree # 73 to inspect root distribution and to perform any root pruning works at the edge of the RPA.
- An eight (8) inch layer of arborist mulch should be applied to the entire surface of the RPAs to help moderate soil moisture conditions and to improve soil biology.
- Building materials and other should not be stored within the RPAs.
- Periodic deep watering should occur within the RPAs during the hot summer months.
- The project arborist should be contacted first if changes need to be made to the RPAs.

NO.	DATE	REVISION DESCRIPTION	DR.
6	21.JUL.28	REAR BUILDING RELOCATED	BJ
5	22.07.13	TREES ADDED, SETBACK REV., BLDG SHIFTED	BJ
4	21.09.23	LANDSCAPE BUFFER TABLE ADDED	BJ
3	21.APR.21	LANDSCAPE BUFFER DIMS ADDED	BJ
2	21.MAR.01	DP SUBMISSION	BJ
1	21.FEB.16	COORDINATION - IN PROGRESS	BJ

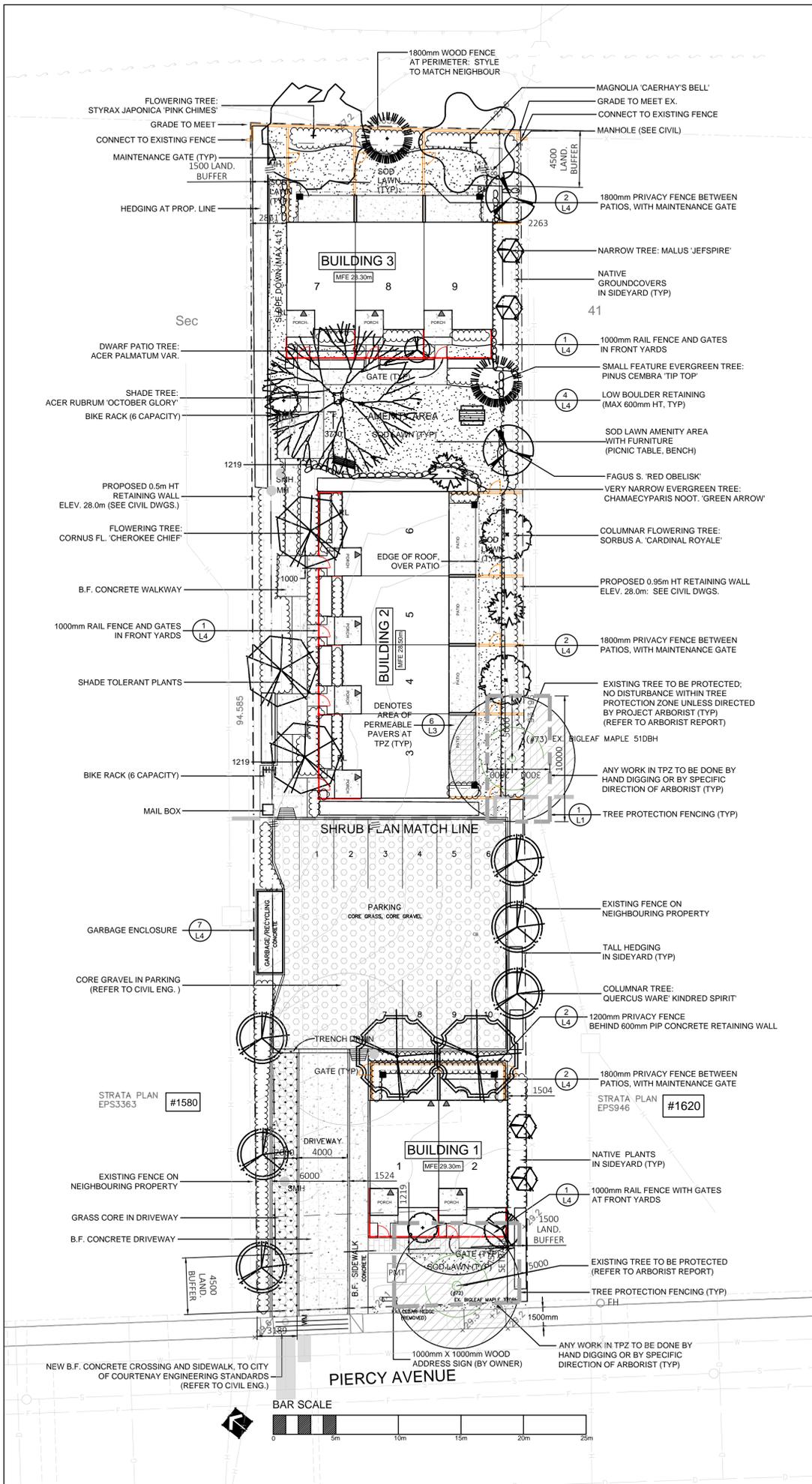
CLIENT:

PROJECT:  
**NINE PEAKS**  
1590 PIERCY AVENUE  
COURTENAY, BC

DRAWING TITLE:  
**TREE MANAGEMENT PLAN**

DATE: 20.09.20 DRAWING NUMBER:  
SCALE: 1:200 **L1**  
DRAWN: BJ  
DESIGN: **L1**  
CHK'D: PCM OF 5

PMG PROJECT NUMBER: 20-114



PLANT SCHEDULE				PMG PROJECT NUMBER: 20-114
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	2	ACER GRISEUM	PAPERBARK MAPLE	6CM CAL; 1.8M STD; B&B
	2	ACER PALMATUM 'RED DRAGON'	RED DRAGON JAPANESE MAPLE	1.0M HT; TREE FORM
	1	ACER PALMATUM 'SHIN DESHOJO'	SHIN DESHOJO JAPANESE MAPLE	1.0M HT; TREE FORM
	1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	6CM CAL; 2M STD; B&B
	2	CERCIS CANADENSIS 'THE RISING SUN'	THE RISING SUN REDBUD	4CM CAL; MIN. 1.5M STD, B&B
	2	CHAMAECYPARIS NOOTKATENSIS 'GREEN ARROW'	THE RISING SUN REDBUD	2.0M HT, B&B
	3	CORNUS FLORIDA 'CHEROKEE CHIEF'	RED FLOWERING DOGWOOD	6CM CAL; 1.8M STD; B&B
	2	EXISTING TREE TO BE PROTECTED	SEE ARBORIST PLAN	VARIES
	2	FAGUS SYLVATICA 'RED OBELISK'	RED OBELISK COLUMNAR BEECH	6CM CAL; 1.8m STD, B&B
	1	MAGNOLIA x 'CAERHAY'S BELL'	CAERHAY'S BELL MAGNOLIA	6CM CAL; 1.8M STD, B&B
	4	MALUS 'JEFSPIRE'	PURPLE SPIRE CRABAPPLE	5CM CAL; 1.8M STD; B&B
	2	PINUS CEMBRA 'TIP TOP'	TIP TOP SWISS STONE PINE	2.0M HT; B&B
	6	QUERCUS x WAREI 'KINDRED SPIRIT' ('NADLER')	KINDRED SPIRIT COLUMNAR OAK	6CM CAL; 1.8M STD, B&B
	2	SORBUS AUCUPARIA 'CARDINAL ROYALE'	CARDINAL ROYAL MT. ASH	6CM CAL; 1.8M STD, B&B
	1	STYRAX JAPONICUS 'PINK CHIMES'	PINK CHIMES JAPANESE SNOWBELL	6CM CAL; 1.8M STD; B&B
SHRUB	A2	AZALEA 'WHITE LIGHTS'	DECIDUOUS AZALEA; PINK	#3 POT; 50CM
	A4	AZALEA JAPONICA 'HARDIZER'S BEAUTY'	AZALEA; LIGHT PINK	#2 POT; 25CM
	BF	BUXUS MICROPHYLLA 'FAULKNER'	FAULKNER BOXWOOD	#2 POT
	GTB	BUXUS SEMPERVIRENS 'MONRUE'	GREEN TOWER BOXWOOD	1.0M HT, B&B
	C	CAMELLIA JAPONICA 'DEBUTANTE'	CAMELLIA; LIGHT PINK	#5 POT
	PAB	CAMELLIA SASANQUA 'MONDEL'	PINK-A-BOO CAMELLIA	#5 POT
	EU	EUONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT; 50CM
	AP	HAMAMELIS X INTER. 'ARNOLD'S PROMISE'	ARNOLD'S PROMISE WITCH HAZEL	#10 POT; TREE FORM
	HYB	HYDRANGEA 'BLUSHING BRIDE'	BLUSHING BRIDE HYDRANGEA	#3 POT
	H	HYDRANGEA MACRO. 'ENDLESS SUMMER'	ENDLESS SUMMER BIGLEAF HYDRANGEA	#3 POT; 80CM
	KE	KALMIA LATIFOLIA 'ELF'	ELF MOUNTAIN LAUREL	#2 POT; 30CM
	KA	KALMIA LATIFOLIA 'OLYMPIC FIRE'	OLYMPIC FIRE MOUNTAIN LAUREL	#3 POT; 50CM
	KT	KALMIA LATIFOLIA 'TIDDLYWINKS'	TIDDLYWINKS MOUNTAIN LAUREL	#2 POT; 30CM
	M	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE HOLLY	#3 POT; 40CM
	N	NANDINA DOMESTICA 'MONUM'	PLUM PASSION HEAVENLY BAMBOO	#3 POT
	NI	PHYSOCARPUS OPUULIFOLIUS 'LITTLE DEVIL'	LITTLE DEVIL NINEBARK	#3 POT
	P2	PIERIS JAPONICA 'COMPACTA'	DWARF JAPANESE PIERIS	#2 POT; 35CM
	R	RHODODENDRON 'BOW BELLS'	BOW BELLS RHODODENDRON	#2 POT
	RO2	ROSA 'FUSCHIA MEIDLAND'	FUSCHIA MEIDLAND ROSE	#2 POT
	SJ	SARCOCOCCA 'HOKOKANA VAR. 'HUMILIS'	HIMALAYAN SWEET BOX	#2 POT; 25CM
	SK	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#2 POT; 30CM
	YD	TAXUS X MEDIA 'DENSIFORMIS'	DWARF ENGLISH YEW	#3 POT
	Y	TAXUS X MEDIA 'HICKSII'	HICKS YEW	#3 POT; 80CM
	TH	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.5M HT; B&B
	V1	VIBURNUM P.T. 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE DOUBLEFILE VIBURNUM	#3 POT; TREE FORM
GRASS	KF	CALAMAGROSTIS 'KARL FOERSTER'	KARL FOERSTER FEATHERREED GRASS	#2 POT
	JA	HAKONECHLOA MACRA 'ALL GOLD'	ALL GOLD JAPANESE FOREST GRASS	#1 POT
VINE	HY	HYDRANGEA ANOMALA V. 'PETIOLARIS'	CLIMBING HYDRANGEA	#2 POT; STAKED
PERENNIAL	WMF	ADIANTUM ALEUTICUM	WESTERN MAIDENHAIR FERN	#1 POT
	CA	CAREX BUCHANANII 'VIRIDIS'	GREEN LEATHERLEAF SEDGE	#1 POT
	CF	CIMICIFUGA R. 'HILLSIDE BLACK BEAUTY'	HILLSIDE BLACK BEAUTY BUGBANE	#2 POT
	HM	HEUCHERA 'MIDNIGHT ROSE'	MIDNIGHT ROSE HEUCHERA	15CM POT
	HE	HEUCHERA 'PARIS'	PARIS CORAL BELLS	15 CM POT
	HEP	HEUCHERA 'PINOT NOIR'	PINOT NOIR CORAL BELLS	15 CM POT
	HF	HOSTA 'FRANCEE'	FRANCEE HOSTA	#1 POT; 1 EYE
	HAL	HOSTA 'HALCYON'	HALCYON HOSTA	#1 POT
	HS	HOSTA 'SUM AND SUBSTANCE'	SUM AND SUBSTANCE HOSTA	#1 POT; 1 EYE
	OF	MATTEUCIA STRUTHIOPTERIS	OSTRICH FERN	#1 POT
	F	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT
	PU	PULMONARIA 'MILKY WAY'	MILKY WAY LUNGWORT	#1 POT
	S	SALVIA X SUPERBA 'EAST FRIESLAND'	EAST FRIESLAND SAGE	#1 POT
GC	EF	EUONYMUS JAPONICA 'EMERALD 'N GOLD'	EUONYMUS; GOLD VARIEGATED	#1 POT; 25CM

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

**SITE FURNITURE**



BENCH, 1.8M LENGTH  
MAGLIN 'ICONIC' COLLECTION  
THERMALLY MODIFIED ASH  
POWDERCOAT COLOUR TBD  
BY OWNER  
SURFACE MOUNT TO CONCRETE  
FOOTINGS



PICNIC TABLE WITH TWO BENCHES  
MAGLIN 'ICONIC' COLLECTION  
THERMALLY MODIFIED ASH  
POWDERCOAT COLOUR TBD  
BY OWNER  
SURFACE MOUNT TO CONCRETE  
FOOTINGS  
(OR SIMILAR)



BIKE RACK  
CORA 'EXPO 1500' RACK  
STAINLESS STEEL FINISH  
SURFACE MOUNT TO CONCRETE  
(OR SIMILAR)

**GENERAL IRRIGATION NOTES:**

- LANDSCAPE CONTRACTOR TO PROVIDE SEPARATE CONTRACT TO LANDSCAPE INSTALLATION.
- ALL SOFT LANDSCAPE TO BE IRRIGATED WITH LOW FLOW IRRIGATION TO PLANTER BEDS, AND IN-GROUND SPRINKLER IRRIGATION TO LAWN AREAS.
- IRRIGATION CONTRACTOR TO PROVIDE AN EFFICIENT DESIGN-BUILD AUTOMATIC SYSTEM TO IAABC STANDARDS, WITH MOISTURE SENSORS, AUTOMATIC RAIN GAUGE.
- SYSTEM ACCESSED WITHIN BUILDING, WITH A MAIN CONTROLLER.
- REFER TO MECHANICAL AND ELECTRICAL CONSULTANT DRAWINGS FOR COORDINATION & FOR IRRIGATION STUB-OUT LOCATIONS.
- IRRIGATION PLAN TO MEET OR EXCEED ALL RELEVANT REQUIREMENTS FOR MUNICIPAL APPROVAL.
- IRRIGATION DESIGN TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT.

**GENERAL PLANTING NOTES:**

- LANDSCAPE CONTRACTOR TO PROVIDE 300mm MINIMUM GROWING MEDIUM DEPTH IN LAWN AREAS, AND 450mm MINIMUM GROWING MEDIUM DEPTH IN PLANTING BEDS.
- REFER TO SOFT LANDSCAPE SPECIFICATIONS.

Landscape Buffering (m)	Provided
Piercy Avenue (front)	4.5m (except for site access entry)
Side Yard (north)	Ranges from 1.2m to 3.4m
Side Yard (south)	Ranges from 1.5 to 1.8m
Rear	4.5m

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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
6	21.JUL.28	REAR BUILDING RELOCATED	BJ
5	22.07.13	TREES ADDED, SETBACK REV., BLDG SHIFTED	BJ
4	21.09.23	LANDSCAPE BUFFER TABLE ADDED	BJ
3	21.APR.21	LANDSCAPE BUFFER DIMS ADDED	BJ
2	21.MAR.01	DP SUBMISSION	BJ
1	21.FEB.16	COORDINATION - IN PROGRESS	BJ

CLIENT:

PROJECT:

**NINE PEAKS**  
**1590 PIERCY AVENUE**  
**COURTENAY, BC**

DRAWING TITLE:

**LANDSCAPE PLAN**

DATE: 20.09.20 DRAWING NUMBER:

SCALE: 1:200

DRAWN: BJ

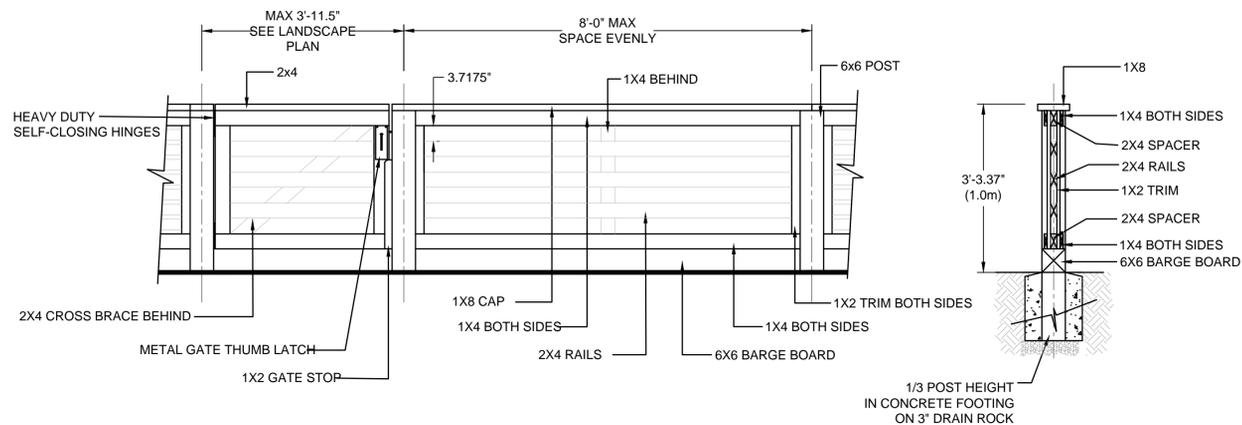
DESIGN: BJ

CHK'D: PCM

**L2**

OF 5





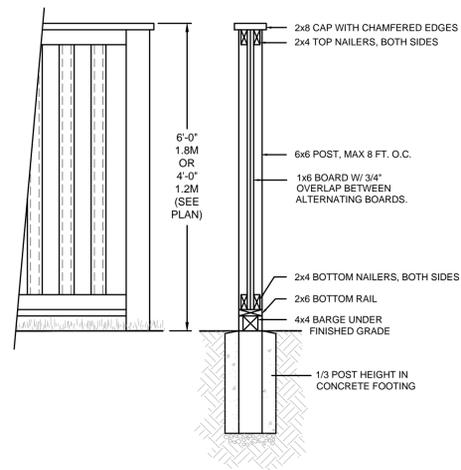
**NOTE**

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".
6. LATCH AND HINGES TO BE HEAVY DUTY, P.C. BLACK, TO BE PREAPPROVED BY OWNER - PROVIDE SAMPLE.



EVERBUILT THUMB LATCH (OR SIMILAR)

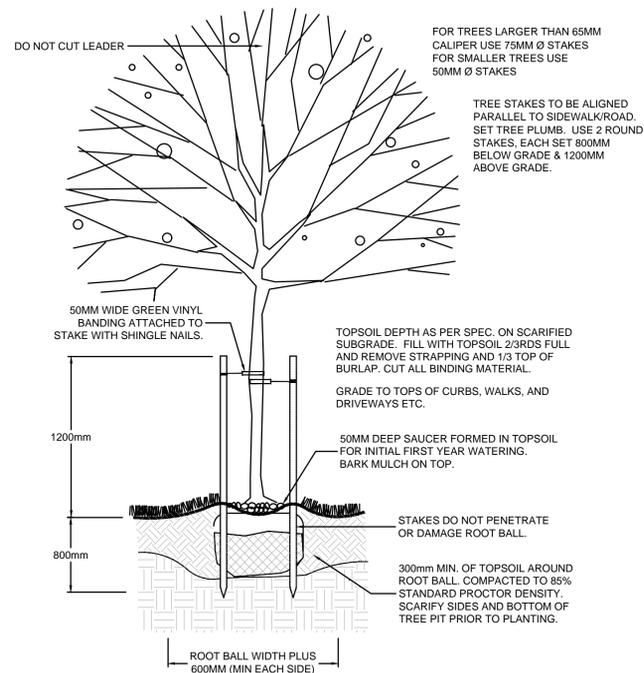
**1 RAIL FENCE AND GATE**  
SCALE 1:20



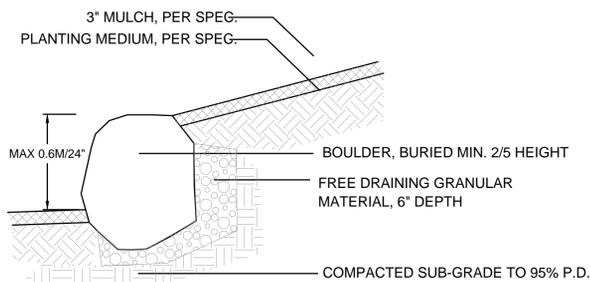
**NOTE**

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE HEM/FIR #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".

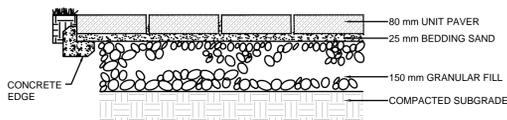
**2 PRIVACY FENCE (1.8m/1.2m)**  
SCALE 1:20



**3 TYPICAL TREE PLANTING**  
SCALE 1:25

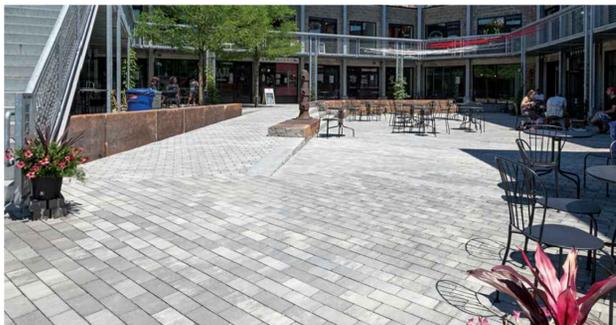


**4 BOULDER**  
SCALE 1:20

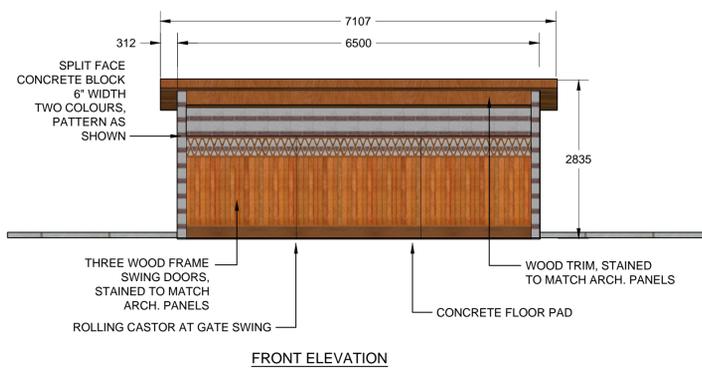


NOTE: PAVERS IN TPZ TO BE INSTALLED UNDER SUPERVISION OF PROJECT ARBORIST.

**6 PERMEABLE PAVERS AND EDGE RESTRAINT**  
SCALE 1:10



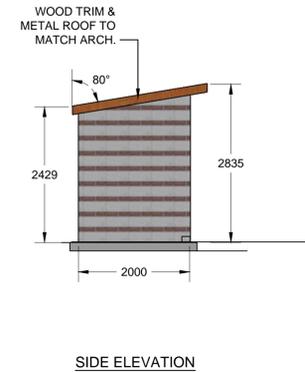
PERMEABLE PAVERS: ECO-PRIORA STANDARD PAVER RUNNING BOND PATTERN; PROVIDE COLOUR SAMPLE, TBD BY OWNER; OR SIMILAR, TO BE PREAPPROVED BY OWNER. INSTALL TO MEET ICPI & MANUFACTURER'S SPECIFICATIONS.



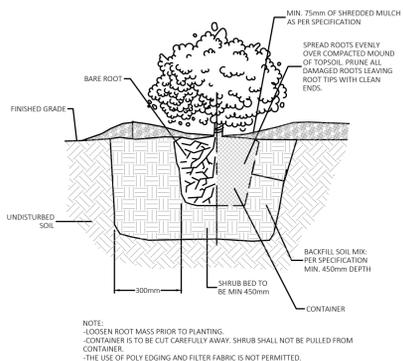
**NOTE**

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE HEM/FIR #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HEAVY DUTY, HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY OWNER.
5. ALL PANELS TO BE LEVEL.

**7 GARBAGE ENCLOSURE CONCEPT**  
SCALE 1:60



**SIDE ELEVATION**



NOTE:  
-LOOSEN ROOT MASS PRIOR TO PLANTING.  
-CONTAINER IS TO BE CUT CAREFULLY AWAY. SHRUB SHALL NOT BE PULLED FROM CONTAINER.  
-THE USE OF POLY EDGING AND FILTER FABRIC IS NOT PERMITTED.

**5 TYPICAL SHRUB PLANTING**  
SCALE 1:15



Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
6	21.JUL.28	REAR BUILDING RELOCATED	BJ
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2	21.MAR.01	DP SUBMISSION	BJ
1	21.FEB.16	COORDINATION - IN PROGRESS	BJ

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**NINE PEAKS**

**1590 PIERCY AVENUE  
COURTENAY, BC**

DRAWING TITLE:

**DETAILS**

DATE: 20.09.20 DRAWING NUMBER:

SCALE: VARIES

DRAWN: BJ

DESIGN:

CHK'D: PCM

**L4**

**OF 5**



Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 | f: 604 294-0022

SEAL:

PART ONE GENERAL REQUIREMENTS																																																																	
11 REFERENCES	<p>1. CCO Doc 2 2008 Comply with all articles in the General Conditions of Contract in conjunction with this section unless superseded by other Contract Documents.</p> <p>2. B.C. Landscape Standard, 2012 edition, prepared by the B.C. Society of Landscape Architects and the B.C. Landscape &amp; Nursery Association, jointly. All work and materials must meet standards as set out in the B.C. Landscape Standard unless superseded by this specification or as directed by Landscape Architect with written instruction.</p> <p>3. MASTER MUNICIPAL SPECIFICATIONS &amp; STANDARD DETAILS, 2000 edition, prepared by the Consulting Engineers of British Columbia, Roadbuilders and Heavy Construction Association, and the Municipal Engineers Division</p> <p>4. STANDARD FOR LANDSCAPE IRRIGATION SYSTEM, 2008. Prepared by the Irrigation Industry Association of British Columbia.</p> <p>5. MUNICIPAL BYLAWS AND ENGINEERING SPECIFICATIONS WHERE NOTED.</p>																																																																
12 TESTING	<p>1. A current test more than one month test for all growing medium to be used on this site is required. Provide and pay for testing by an independent testing facility pre-approved by the Landscape Architect. Deliver growing medium test results to Landscape Architect for review and approval prior to placement. Refer to Section 3.4 Growing Medium Testing for procedure.</p> <p>2. Owner reserves the right to re-test or re-test materials. Contractor responsible to pay for testing if materials do not meet specification.</p>																																																																
13 SUBMITTALS	<p>1. Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect.</p> <p>2. Submittals to consist of product sample or manufacturer's product description.</p>																																																																
14 SITE REVIEW	<p>1. Under the terms of the Landscape Architect's Contract with the Owner and where the Landscape Architect is the designated reviewer, the Landscape Architect will observe construction as necessary in their opinion to confirm conformance to the plans and specifications. Contract Owners Representative to arrange for site observation at the appropriate times. Allow two days notice. Observation schedule may include but will not be limited to the following:</p> <p>1.1 Start Up Site Meeting, General Contract Prior to any site disturbance, a meeting with the general contractor to review free preservation issues, general landscape issues and municipal requirements.</p> <p>1.2 Start Up Site Meeting, Landscape Contract (if separate). At the start of work with Owner's Representative, Site Superintendent and Landscape Contractor; a meeting to be held to review expected work and to verify the acceptability of the subgrade and general site conditions to the Landscape Contractor. Provide growing medium test results for this meeting.</p> <p>1.3 Progress Site Visits: To observe materials and workmanship as necessary through the course of the work. Review of different aspects of the work may deal with on any single visit. Such elements may include: Site Layout, Rough Grading, Growing Medium - quality, depths, finish grading, Drainage and Drainage Materials, Lawns or Grass areas; Planting - plant material including negotiations with suppliers, nursery inspections, plant sizes, quality, quantity, planting practice and layout, (free support), Mulch, Irrigation Systems, Play Equipment, Site Furniture, and other elements of the site development where the Landscape Architect is the designated reviewer such as Pedestrian Paving, Fencing, Non-structural walls and stairs, Utility Paving.</p> <p>1.4 Substantial Performance Review of all work, accounting of all substitutions, deletions, plant counts, preparations of deficiency list, and recommendations for completion.</p> <p>1.5 Certificate of Completion Upon the declaration of Substantial Performance, a recommendation for the issuance of the Certificate of Completion will be made to the Payment Certifier as defined in the contract.</p> <p>1.6 Deficiency Review Prior to the completion of the holdback period, check for completion of deficiencies. Once completed, a Schedule "C" will be issued where required.</p> <p>1.7 Warranty Review Prior to the completion of the warranty period (1-11 months after issuance of the Certificate of Completion), review all warranty material and report recommendations for warranty replacement.</p>																																																																
15 WORKMANSHIP	<p>1. Unless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing medium constitutes acceptance of the subgrade by the Landscape Architect. Any subsequent corrections to the subgrade required are the responsibility of the Landscape Contractor.</p> <p>2. All work and superintendence shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicides and/or pesticides shall hold a current license issued by the appropriate authorities.</p> <p>3. A site visit is required to become familiar with site conditions before bidding and before start of work.</p> <p>4. Confirm location of all services before proceeding with any work.</p> <p>5. Notify Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans.</p> <p>6. Take appropriate measures to avoid environmental damage. Do not dump any waste materials into water bodies. Conform with all federal, provincial and local statutes and guidelines.</p> <p>7. Collect and dispose of all debris and/or excess material from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape work. Repairs are to be completed prior to final acceptance.</p> <p>8. Where new work connects with existing, and where existing work is altered, make good to match existing undisturbed condition.</p>																																																																
16 WARRANTIES	<p>1. Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Completion.</p> <p>2. Refer to individual sections for specific warranties.</p>																																																																
PART TWO SCOPE OF WORK																																																																	
21 SCOPE OF WORK	<p>1. Other conditions of Contract may apply. Confirm Scope of Work at time of tender.</p> <p>2. Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:</p> <p>2.1 Retention of Existing Trees where shown on drawings.</p> <p>2.2 Finish Grading and Landscape Drainage.</p> <p>2.3 Supply and placement of growing medium.</p> <p>2.4 Testing of imported growing medium and/or site topsoil.</p> <p>2.5 Supply and incorporation of additives to meet requirements of soil test and Table One.</p> <p>2.6 Preparation of planting beds, supply of plant material and planting.</p> <p>2.7 Preparation of rough grass areas, supply of materials and seeding.</p> <p>2.8 Preparation of lawn areas, supply of materials and sodding.</p> <p>2.9 Supply and placement of bark mulch.</p> <p>2.10 Maintenance of planted and seeded/sodded areas until accepted by Owner.</p> <p>2.11 SEPARATE PRICE: Establishment Maintenance, Section 3.11.</p> <p>2.12 Other work: Work other than this list, not specified by Landscape Architect.</p>																																																																
22 MATERIALS	<p>1. Growing Medium: Conform to BC Landscape Standard for definitions of imported and on-site topsoil. Refer to Table One below.</p> <table border="1"> <thead> <tr> <th colspan="4">TABLE ONE: PROPERTIES OF GROWING MEDIUM FOR LEVEL 2 GROWNED AND LEVEL 1 MODERATE AREAS Canadian System of Soil Classification Textural Class "Loamy Sand" to "Sandy Loam"</th> </tr> <tr> <th>Applications</th> <th>Low Traffic Areas: Trees and Large Shrubs</th> <th>High Traffic Lawn Areas</th> <th>Planting Areas and Planters</th> </tr> </thead> <tbody> <tr> <td>Growing Medium Types</td> <td>ZL</td> <td>ZH</td> <td>ZP</td> </tr> <tr> <td colspan="4">Percent Of Dry Weight of Total Growing Medium</td> </tr> <tr> <td>Texture</td> <td colspan="3">Percent Of Dry Weight of Total Growing Medium</td> </tr> <tr> <td>Coarse Gravel: larger than 25mm</td> <td>0 - 1%</td> <td>0 - 1%</td> <td>0 - 1%</td> </tr> <tr> <td>All Gravel: larger than 2mm</td> <td>0 - 5%</td> <td>0 - 5%</td> <td>0 - 5%</td> </tr> <tr> <td colspan="4">Percent Of Dry Weight of Growing Medium Excluding Gravel</td> </tr> <tr> <td>Sand: larger than 0.05mm smaller than 2.0mm</td> <td>50 - 80%</td> <td>70 - 90%</td> <td>40 - 80%</td> </tr> <tr> <td>Silt: larger than 0.002mm smaller than 0.05mm</td> <td>10 - 25%</td> <td>0 - 15%</td> <td>10 - 25%</td> </tr> <tr> <td>Clay: smaller than 0.002mm</td> <td>0 - 25%</td> <td>0 - 15%</td> <td>0 - 25%</td> </tr> <tr> <td>Clay and Silt Combined</td> <td>maximum 35%</td> <td>maximum 15%</td> <td>maximum 35%</td> </tr> <tr> <td>Organic Content (loam):</td> <td>3 - 10%</td> <td>3 - 5%</td> <td>10 - 20%</td> </tr> <tr> <td>Organic Content (siltier):</td> <td>3 - 5%</td> <td>3 - 5%</td> <td>15 - 20%</td> </tr> <tr> <td>Acidity (pH)</td> <td>6.0 - 7.0</td> <td>6.0 - 7.0</td> <td>4.5 - 6.5</td> </tr> <tr> <td>Drainage</td> <td colspan="3">Percolation shall be such that no standing water is visible 60 minutes after at least 10 minutes of moderate to heavy rain or irrigation.</td> </tr> </tbody> </table> <p>2. Fertilizer: An organic and/or inorganic compound containing Nitrogen (N), Phosphate (P), and Potash (Soluble 2) in proportions required by soil test.</p> <p>3. Lime: Ground agricultural limestone. Meet requirements of the B.C. Landscape Standard.</p> <p>4. Organic Additive: Commercial compost to the requirements of the B.C. Landscape Standard, 6th edition and pre-approved by the Landscape Architect. Recommended suppliers: The Answer Garden Products, Fraser Richmond Soils &amp; Fibre, Stream Organics Management.</p> <p>5. Sand: Clean, washed pump sand to meet requirements of the B.C. Landscape Standard.</p> <p>6. Composted Bark Mulch: 10mm (3/8") minus FFI-Henck bark chips and fines, free of chunks and sticks, dark brown in colour and free of all soil, stones, roots or other extraneous matter. Fresh orange in colour bark will be rejected.</p> <p>7. Herbicides and Pesticides: If used, must conform to all federal, provincial and local statutes. Applies must hold current licenses issued by the appropriate authorities in the area.</p> <p>8. Filter Fabric: A non biodegradable blanket or other filtering membrane that will allow the passage of water but not fine soil particles. (Such as MIRAFL 140 ML, GEOLON 140 GR ANECO 455S or alternate product pre-approved by the Landscape Architect.)</p> <p>9. Drainage Piping if required: Schedule 40 PVC nominal sizes.</p> <p>10. Drain Rock: Clean, round, inert, durable, and have a maximum size of 19mm and contain no material smaller than 10mm.</p> <p>11. Plant Material: To the requirements of the B.C. Landscape Standard. Refer to 3.9, Plants and Planting. All plant material must be provided from a certified disease free nursery. Provide proof of certification.</p> <p>12. Sod: Refer to individual sections in this specification.</p> <p>13. Supplier and installers of segmental block walls to provide engineered drawings for all walls: signed and sealed drawings for all walls, individually, in excess of 12m, or combinations of walls collectively in excess of 12m. Installations must be reviewed and signed off by Certified Professional Engineer; include cost of engineering services in tender price.</p> <p>14. Miscellaneous: Any other material necessary to complete the project as shown on the drawings and described herein.</p>	TABLE ONE: PROPERTIES OF GROWING MEDIUM FOR LEVEL 2 GROWNED AND LEVEL 1 MODERATE AREAS Canadian System of Soil Classification Textural Class "Loamy Sand" to "Sandy Loam"				Applications	Low Traffic Areas: Trees and Large Shrubs	High Traffic Lawn Areas	Planting Areas and Planters	Growing Medium Types	ZL	ZH	ZP	Percent Of Dry Weight of Total Growing Medium				Texture	Percent Of Dry Weight of Total Growing Medium			Coarse Gravel: larger than 25mm	0 - 1%	0 - 1%	0 - 1%	All Gravel: larger than 2mm	0 - 5%	0 - 5%	0 - 5%	Percent Of Dry Weight of Growing Medium Excluding Gravel				Sand: larger than 0.05mm smaller than 2.0mm	50 - 80%	70 - 90%	40 - 80%	Silt: larger than 0.002mm smaller than 0.05mm	10 - 25%	0 - 15%	10 - 25%	Clay: smaller than 0.002mm	0 - 25%	0 - 15%	0 - 25%	Clay and Silt Combined	maximum 35%	maximum 15%	maximum 35%	Organic Content (loam):	3 - 10%	3 - 5%	10 - 20%	Organic Content (siltier):	3 - 5%	3 - 5%	15 - 20%	Acidity (pH)	6.0 - 7.0	6.0 - 7.0	4.5 - 6.5	Drainage	Percolation shall be such that no standing water is visible 60 minutes after at least 10 minutes of moderate to heavy rain or irrigation.		
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PART THREE SOFT LANDSCAPE DEVELOPMENT	
31 RETENTION OF EXISTING TREES	<p>1. Prior to any work to be performed individual trees or plant groupings indicated as retained on landscape plans shall be retention retention areas.</p> <p>1.1 In some instances the Landscape Architect will tag trees or areas to retain. Discuss tree retention areas at a start-up meeting with the Landscape Architect.</p> <p>2. A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail. If detail not provided, comply with local municipal requirements.</p> <p>3. No machine travel through or within retention retention areas or under crowns of trees to be retained is allowed.</p> <p>4. Do not stodge soil, construction materials, or excavated materials within retention retention areas.</p> <p>5. Do not park, fuel or service vehicles within retention retention areas.</p> <p>6. No debris fires, clearing fires or trash burning shall be permitted within retention retention areas.</p> <p>7. No excavations, drain or service trenches nor any other disruption shall be permitted within retention retention areas without a review of the proposed encroachment by the Landscape Architect.</p> <p>8. Do not cut branches or roots of retained trees without the approval of the Landscape Architect.</p> <p>9. Any damage to existing vegetation intended for preservation will be subject to evaluation by an I.S.A. Certified Arborist using the "Guide for Plant Appraisal", Eighth Edition, 1992.</p> <p>9.1 Replacement of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planting will be the responsibility of the General Contractor and the person(s) responsible for the disturbance.</p> <p>10. In municipalities with specific tree retention/replacement bylaws ensure compliance to bylaws.</p> <p>11. In situations where required construction may disturb existing vegetation intended for preservation, contact Landscape Architect for review prior to commencing construction.</p>
32 GRADES	<p>1. Ensure subgrade is prepared to conform to depths specified in Section 3.5, Growing Medium Supply, below. Where planting is indicated close to existing lines, prepare suitable planting pockets for material indicated on the planting plan. Shape subgrade to eliminate free standing water and conform to the site grading and drainage plan.</p> <p>2. On slopes in excess of 3:1 trench subgrade across slope to 150mm (6") minimum at 1.5m (5 ft) intervals minimum.</p> <p>3. Scarify the entire subgrade immediately prior to planting growing medium. Re-cultivate where vehicular traffic results in compaction during the construction procedures. Ensure that all planting areas are smoothly contoured after light compaction to finished grades.</p> <p>4. Eliminate standing water from all finished grades. Provide a smooth, firm and even surface and conform to grades shown on the Landscape Drawings. Do not exceed maximum and minimum gradients defined by the B.C. Landscape Standard.</p> <p>5. Construct swales to line and grade, smooth and free of sags or high points. Minimum slope 2%, maximum side slopes 10%. Assume positive drainage to collection points.</p> <p>6. Slope not to exceed the following maximums: Rough Grass 3:1, Lawn 4:1, Landscape plantings 2:1</p> <p>7. Finished soil/mulch elevation at building to comply with municipal requirements.</p> <p>8. Inform Landscape Architect of completion of finish grade prior to placement of seed, sod, plants or mulch.</p>
33 LANDSCAPE DRAINAGE	<p>1. Related Work: Growing medium and Finish Grading, Grass areas, Trees Shrubs and Groundcovers, Planters, Crb Walls.</p> <p>2. Work Included: Site finish grading and surface drainage. Installation of any drainage systems detailed on drainage plans. Note Catch basins shown on landscape plans for coordination only, confirm scope of work prior to bid.</p> <p>2.1 Coordinate all landscape drainage work with rest of site drainage. Refer to engineering drawings and specifications for connections and other drainage work.</p> <p>2.2 Determine exact location of all existing utilities and structures and underground utilities prior to commencing work, which may not be located on drawings and conduct work so as to prevent interruption of service to the Owner. Protect existing structures and utility services and be responsible for damage caused.</p> <p>2.3 Planter drains on slab. Refer to Section 3.9, Installing Landscapes Structures.</p> <p>3. Execution</p> <p>3.1 Do trenching and backfilling in accordance with engineering details and specifications.</p> <p>3.2 Lay drains as prepared bed, free to line and grade with invert's smooth and free of sags or high points. Ensure barrel of each pipe is in contact with bed throughout full length.</p> <p>3.3 Commence laying pipe at outlet and proceed in upstream direction.</p> <p>3.4 Lay perforated pipes with perforations at 90 and 180 positions.</p> <p>3.5 Make joints tight in accordance with manufacturer's directions.</p> <p>3.6 Do not allow water to flow through the pipes during construction except as approved by Engineer.</p> <p>3.7 Make watertight connections to existing drains, new or existing manholes or catchbasins where indicated or as directed by Landscape Architect.</p> <p>3.8 Plug upstream ends of pipe with watertight clean out caps.</p> <p>3.9 Surround and cover pipe with drain rock in uniform 50mm layers to various depths as shown in details, minimum 100mm.</p> <p>3.10 Cover drain rock with non-woven filter cloth lap all edges and seams minimum 50mm.</p> <p>3.11 Assume positive drainage.</p> <p>3.12 Back fill remainder of trench as indicated.</p> <p>3.13 Protect subdrains from floatation during installation.</p>
34 GROWING MEDIUM TESTING	<p>1. Submit representative sample of growing medium proposed for use on this project to an independent laboratory. Provide test results to Landscape Architect prior to planting. Test results to include:</p> <p>1.1 Physical properties, X content of gravel, sand, silt, clay and organics.</p> <p>1.2 Acidity (pH) and quantities of lime or sulphur required to bring within specified range.</p> <p>1.3 Nutrient levels of principle and trace elements and recommendations for required soil amendments.</p> <p>1.4 Carbon/Nitrogen level.</p>
35 GROWING MEDIUM SUPPLY AND PLACEMENT	<p>1. Supply all growing medium required for the performance of the Contract. Do not load, transport or spread growing medium when it is so wet that its structure is likely to be damaged.</p> <p>2. Supply all growing medium admixtures as required by the soil test. Amended growing medium must meet the specification for growing medium as defined in Table One for the various areas.</p> <p>2.1 Thoroughly mix required amendments into the full depth of the growing medium.</p> <p>2.2 Special mixes may be required for various situations. Refer to drawing notes for instructions.</p> <p>3. Place the amended growing medium in all grass and planting areas. Spread growing medium in uniform layers not exceeding 6" (150mm), over unfrozen subgrade free of standing water.</p> <p>4. Minimum depths of growing medium placed and compacted to 80%:</p> <p>4.1 On-grade:</p> <p>4.1.1 Seeded and sodded lawn. 12" (300mm)</p> <p>4.1.2 Grass planted shrubs &amp; groundcovers. 18" (450mm)</p> <p>4.1.3 Groundcover only areas, if defined on plan. 9" (225mm)</p> <p>4.1.4 Tree &amp; large shrub pits. depth to conform to depth of rootball - width shall be at least twice the width of the root ball with saucer shaped edges.</p> <p>4.1.5 4:0-0:10-slab:</p> <p>4.2.1 Seeded lawn. 6" (150mm)</p> <p>4.2.2 Groundcover areas. 12" (300mm)</p> <p>4.2.3 Lawn without automatic irrigation. 12" (300mm)</p> <p>4.2.4 Shrub &amp; groundcover areas. 15" (380mm)</p> <p>4.2.5 Trees and specimen shrubs. 20" (500mm) over columns and/or edge of slab (verify column locations on-site for tree locations)</p> <p>4.2.6 Depth noted includes 1" to 2" (25-50mm) sand over filter fabric.</p> <p>4.2.7 Maximum 18" depth growing medium except where noted for trees over column points.</p> <p>5. Manually spread growing medium/planting soil around existing trees, shrubs and obstacles.</p> <p>6. In perimeter seeded grass areas, feather growing medium out to nothing at edges and blend into existing grades.</p> <p>7. Finished grades shall conform to the elevations shown on landscape and site plans.</p>
36 ROUGH GRASS AREA - SEEDING	<p>1. Design: Rough grass areas are noted on the drawings as "Rough Grass". Treat all areas defined as rough grass between all property lines of the project including all boulevards, edge of roads and lanes.</p> <p>2. Preparation of Surface: To B.C. Landscape Standard Class 3 Areas (Rough grass) Section 3.11.3</p> <p>2.1 Clean existing soil by mechanical means of debris over 50mm in any dimension.</p> <p>2.2 Roughly grade surfaces to allow for maintenance specified and for positive drainage.</p> <p>3. Time of Seeding: Seed from early spring (generally April 1st) to late fall (September 15th) of each year. Further extensions may be obtained on concurrence of the Landscape Architect.</p> <p>4. Seed Supply &amp; Testing: All seed must be obtained from a recognized seed supplier and shall be No. 1 grass mixture delivered in containers bearing the following information:</p> <p>4.1 Analysis of the seed mixture</p> <p>4.2 Percentage of each seed type</p> <p>5. Seed Mixture: All varieties shall be rated as strong performers in the Pacific Northwest and be subject to client approval.</p> <p>5.1 100% Creeping Red Fescue 20% Annual Ryegrass 5% Saturo Perennial Ryegrass 5% Kentucky Bluegrass</p> <p>For Milder/Lawn Areas use a mixture of Wildflowers with Hard Fescues (Ternstroem Coastal Wildflowers) with Hard Fescue of pre-approved alternate.</p> <p>6. Fertilizer: Mechanical seeding. Apply a complete synthetic slow-release fertilizer with maximum 35% water soluble nitrogen and a formulation ratio of 18-18-18 - 50% sulphur urea coated, 102 kg/ha(1000kg/acre) using a mechanical spreader.</p> <p>7. Seeding: Apply seed at a rate of 102kg/ha (1000kg/acre) with a mechanical spreader. Incorporate seed into the top 1 1/4" (30mm) of soil and lightly compact.</p> <p>8. Acceptance: Provide adequate protection of the seeded areas until conditions of acceptance have been met. Comply with Section 3.7 Hydroseeding.</p>
37 HYDROSEEDING	<p>1. May be used as an alternate to mechanical seeding in rough grass areas.</p> <p>2. May not be used in areas of lawn unless pre-approved by the Landscape Architect prior to bidding.</p> <p>3. Preparation and Growing Medium</p> <p>3.1 In areas of Rough Grass Comply with Section 36-Rough Grass.</p> <p>3.2 Where approved for use in areas of lawn, comply with Section 3.8 Lawn Areas Seeding.</p> <p>4. Protection: Ensure that fertilizer in solution does not come in contact with the foliage of any trees, shrubs, or other susceptible vegetation. Do not spray seed or mix on objects not expected to grow grass. Protect existing site equipment, roadways, landscaping, reference points, monuments, markers and structures from damage. Where contamination occurs, remove seeding slurry to satisfaction of and by means approved by the Landscape Architect.</p> <p>5. Mulch shall consist of virgin wood fibre or recycled paper fibre designed for hydrolic seeding and give the appearance of mulch. If using recycled paper material for wood fibre substitute use 100% by weight.</p> <p>6. Water: Shall be free of any impurities that may have an injurious effect on the success of seeding or may be harmful to the environment.</p> <p>7. Equipment: Use industry standard hydrolic seeder/mulcher equipment with the tank volume certified by an identification plate or sticker affixed in plain view on the equipment. The hydrolic seeder/mulcher shall be capable of sufficient agitation to mix the mulch into a homogeneous slurry and to maintain the slurry in a homogeneous state until it is applied. The discharge pump and gun nozzles shall be capable of applying the materials uniformly over the designated area.</p>

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT																					
3.8 LAWN AREAS - SODDING	<p>1. Application Rate:</p> <p>8.1 Seed Mixture: 28 kg/ha (125 lbs/acre)</p> <p>8.2 Fertilizer: 12 kg/ha (100 lbs/acre)</p> <p>8.3 Coastal Wildflower Mix: Where specified, apply (31 lbs/acre) (1/4 lb. of grass seed)</p> <p>8.4 Notes:</p> <p>8.4.1 At the time of Tender provide a complete chart of all components of the mix proposed including mulch, fertilizer, water etc. Sloped sites require tacker.</p> <p>8.4.2 Fertilizer:</p> <p>8.4.2.1 Rough Grass: If a soil analysis is available, comply with results.</p> <p>8.4.2.2 Lawns: Where hydroseeding is approved, comply with soil analysis recommendations.</p> <p>9. Accurately measure the quantities of each of the materials to be charged into the tank either by mass or by a commonly accepted system of mass-calibrated volume measurements. The materials shall be added to the tank while it is being filled with water, in the following sequence: seed, fertilizer. Thoroughly mix into a homogeneous slurry. After adding, add no water or other material to the mixture. Do not leave 30% of the tank for more than four (4) hours.</p> <p>10. Distribute slurry uniformly over the surface of the area to be hydroseeded. Blend application into previous applications and existing grass areas to form uniform surfaces.</p> <p>11. Clean up: Remove all materials and other debris resulting from seeding operations from the job site.</p> <p>12. Maintenance: Begin maintenance immediately after seeding and continue for 60 days after Substantial Completion and until accepted by the Owner. Re-seed at three week intervals where germination has failed. Protect seeded areas with temporary wire or luvine fences complete with signage until grass area is taken over by the Owner. Water in sufficient quantities to ensure deep penetration and at frequent intervals to maintain vigorous growth until grass is taken over by the Owner. It is the Owner's responsibility to supply water to an extra cost to the Contractor.</p> <p>13. Acceptance of the Rough Grass Areas: Proper germination of all specified grass species is the responsibility of the Landscape Contractor. The grass shall be reasonably well established, with no apparent dead or bare spots and shall be reasonably free of weeds (B.C. Landscape Standard, Section 13 Maintenance Level 4 (Open) seeded). Sixty days after substantial completion, areas meeting the conditions above will be taken over by the Owner. Areas seeded in Fall will be accepted in Spring one month after start of growing season, provided that the above conditions for acceptance are fulfilled.</p>																				
TABLE 2 SPECIFIED TURFGRASS BY AREA	<table border="1"> <thead> <tr> <th>Area</th> <th>Description</th> <th>Quality Grade</th> <th>Major Species</th> </tr> </thead> <tbody> <tr> <td>CLASS 1</td> <td>Lawn, all areas noted on drawings as lawn in urban development sites including boulevard grass</td> <td>No. 1 Premium</td> <td>Kentucky Blue for sun, Fescues for shade</td> </tr> <tr> <td>CLASS 2</td> <td>Grass - public parks, industrial and institutional sites</td> <td>No. 2 Standard</td> <td>same</td> </tr> <tr> <td>CLASS 3</td> <td>Rough Grass</td> <td>see hydroseeding</td> <td></td> </tr> <tr> <td>SPECIAL</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Area	Description	Quality Grade	Major Species	CLASS 1	Lawn, all areas noted on drawings as lawn in urban development sites including boulevard grass	No. 1 Premium	Kentucky Blue for sun, Fescues for shade	CLASS 2	Grass - public parks, industrial and institutional sites	No. 2 Standard	same	CLASS 3	Rough Grass	see hydroseeding		SPECIAL			
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3.9 PLANTS AND PLANTING	<p>1. Conform to planting layout as shown on Landscape Plans.</p> <p>2. Obtain approval of Landscape Architect for layout and preparation of planting prior to commencement of planting operations.</p> <p>3. Make edge of beds with smooth clean defined lines.</p> <p>4. Time of Planting:</p> <p>4.1 Plant trees, shrubs and groundcovers only during periods that are normal for such work as determined by local weather conditions when seasonal conditions are likely to ensure successful adaptation of plants to their new location.</p> <p>5. Standards:</p> <p>5.1 All plant material shall conform to the requirements of the B.C. Landscape Standard, 7th edition 2008, unless exceeded by drawing Plant Schedule or this specification.</p> <p>5.1.1 Refer to B.C. Landscape Standard, Section 9, Plants and Planting and to Section 12, BC/LNA Standard for Container Grown Plants for minimum standards.</p> <p>5.1.2 Refer to Plant Schedule for specific plant and container sizes and comply with requirements.</p> <p>5.2 Plant material obtained from areas with less severe climatic conditions shall be grown to withstand the site climate.</p> <p>6. Review:</p> <p>6.1 Review at the source of supply and/or collection point does not prevent subsequent rejection of any or all planting stock at the site.</p> <p>7. Availability:</p> <p>7.1. Area of search includes the Lower Mainland and Fraser Valley; Refer to Plant Schedule for any extension of area.</p> <p>7.2. Supply proof of the availability of the specified plant material within 30 days of the award of the Contract.</p> <p>8. Substitution:</p> <p>8.1 Obtain written approval of the Landscape Architect prior to making any substitutions to the specified material. Non-approved substitutions will be rejected.</p> <p>8.2 Allow a minimum of 5 days prior to delivery for request to substitute.</p> <p>8.3 Substitutions are subject to BC Landscape Standard - definition of Conditions of Availability.</p> <p>9. Plant Species Location:</p> <p>9.1 Plants shall be true to name and of the height, caliper and size of root ball as shown on the landscape/site plan schedule. Caliper of trees is to be taken 6" (15cm) above grade.</p> <p>9.2 Plant all specified species in the location as shown on the landscape drawings. Notify Landscape Architect if conflicting rock or underground/overhead services are encountered.</p> <p>9.3 Deviation of given planting location will only be allowed after review of the proposed deviation by the Landscape Architect.</p> <p>10. Excavation:</p> <p>10.1 Trees and large shrubs: Excavate a saucer shaped tree pit to the depth of the rootball and to at least twice the width of the rootball. Assume that finished grade is at the original grade the tree was grown at.</p> <p>11. Drainage of Planting Holes:</p> <p>11.1 Provide drainage of planting pits where required, ie on sloped conditions, break out the side of the planting pit to allow drainage down slope; and in flat conditions, mound to raise the rootball above impervious layer. Notify the Landscape Architect where the drainage of planting holes is limited.</p> <p>12. Planting and Fertilizing Procedures:</p> <p>12.1 Plant all trees and shrubs with the roots placed in their natural growing position. If burtopped, loosen around the top of the ball and cut away or fold under. Do not pull burtop from under the ball. Carefully remove containers without injuring the rootball. After settled in place, cut twine. For wire baskets, clip and remove top three rows of wire.</p> <p>12.2 Fill the planting holes by gently firming the growing medium around the root system in 6" (15cm) layers. Settle the soil with water. Add soil as required to meet finish grade. Leave no air voids. When 2/3 of the topsoil has been placed, apply fertilizer as recommended by the required soil test at the specified rates.</p> <p>12.3 Where planting is indicated adjacent to existing trees, use special care to avoid disturbance of the root system on natural grades of such trees.</p> <p>12.4 Where trees are in lawn areas, provide a clean cut mulched 900mm (3 ft) diameter circle centered on the tree.</p> <p>13. Staking of Trees:</p> <p>13.1 Use two 2"x2" stakes, unless superseded by municipal requirements. Set stakes minimum 2 ft. in soil. Do not drive stake through rootball.</p> <p>13.2 Leave the tree carefully vertical.</p> <p>13.3 Tie with pre-approved material, flat woven polypropylene fabric belt, minimum width 30mm (3/4"). Approved product: Arbor Tie - available from DeepRoot.</p> <p>13.4 Confine trees over 4 ft. high: Guy with three 3/8" strand wires (11 gauge). Drive three stakes equidistant around the tree completely below grade.</p> <p>13.5 Trees 6 ft. - on Wood or Concrete Decks: Guy as above using three deadend (min. 2"x2"x4") buried to the maximum possible depth instead of stakes.</p> <p>13.6 Mark all guy wires with visible flagging material.</p> <p>14. Pruning:</p> <p>14.1 Limit pruning to the minimum necessary to remove dead or injured branches. Preserve the natural character of the plants, do not cut the leader. Use only clean, sharp tools. Make all cuts clean and cut to the branch collar leaving no stubs. Shape affected areas so as not to retain water. Remove damaged material.</p> <p>15. Mulching:</p> <p>15.1 Mulch all planting areas with an even layer of mulch to 2-1/2" - 3" - 6" (75mm) depth. Confirm placement of mulch in areas labeled "Groundcover Area" on drawings. Mulch 3 ft. (900mm) circular around trees in lawn areas, leave a clean edge.</p> <p>16. Acceptance:</p> <p>16.1 The establishment of all plant material is the responsibility of the Landscape Contractor.</p> <p>17. Plant Material Maintenance:</p> <p>17.1 Maintain all plant material for 60 days after landscape work has received a Certificate of Completion.</p> <p>17.2 Watering: Conform to B.C. Landscape Standard, Section 13.3.2 - Watering and generally as follows:</p> <p>17.2.1 Water to supplement natural rainfall such that the soil moisture content is kept to 50% to 100% of field capacity. Water to the full depth of the root zone each time. The Owner is responsible to supply water to an extra cost to the Contractor. Confirm source of water prior to beginning work.</p> <p>17.3 Use appropriate measures to combat pests or diseases damaging plant material. Comply with all local governing statutes and guidelines for chemical control.</p> <p>17.4 Plant material which fails to survive shall be replaced in the next appropriate season as determined by the Landscape Architect.</p> <p>17.5 Repair tree guards, stakes, and guy wires, when necessary.</p> <p>17.6 Maintain areas relatively weed free. Appearance level 2, B.C. Landscape Standard, Chapter 13.</p> <p>17.7 Maintain mulch to specified depths.</p> <p>18. Plant Warranty:</p> <p>18.1 Replace all unsatisfactory plant material except those designated "Specimen" for a period of one (1) year after the Certificate of Completion. Replace all unsatisfactory plant material designated "Specimen" for a period of two (2) years after the Certificate of Completion. Replace all unsatisfactory trees and shrubs and continue to replace these until the specified number is replaced to the satisfaction of the Landscape Architect. Such replacement shall be subject to the notification, inspection and approval as specified for the original planting, and shall not constitute an extra to the Contract.</p> <p>18.2 Those plants, identified as hardy within one zone of the Canada Department of Agriculture hardiness zone for the area, specified by the Landscape Architect and installed by the Landscape Contractor which are killed through normal temperatures below the average of the extreme minimum temperatures officially recorded in the area concerned, in the last 10 years, will not be replaced without cost of replacement borne by the Owner.</p> <p>18.3 A review may be requested during the latter part of the warranty growing season. All plant material showing well developed foliage, healthy growth and bud forming, will then be taken over.</p>																				

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT			
3.10 INSTALLING LANDSCAPE ON STRUCTURES	<p>1. Verify that drainage and protection material is completely installed and acceptable before beginning work. Contact Landscape Architect for instructions if not in place.</p> <p>2. Coordinate work with construction of planters and planter drains.</p> <p>2.1 Verify that planter drains are in place and provide drainage to roof drains is present prior to beginning work on roof or slab.</p> <p>3. Provide clean out at all through-slab drain locations. Use 300mm min. dia. PVC Pipe filled with drain rock unless otherwise specified drawing detail shown.</p> <p>4. Install drain rock evenly to a minimum depth of 4" (100mm) alternate sheet drain if specified. Install sheet drain as per manufacturer's recommendations.</p> <p>5. Cover drain rock (or alternate sheet drain if specified on drawing details) with filter fabric (appx 6" (150mm) at all edges. Obtain approval of drainage system prior to placing growing medium.</p> <p>6. Place an even layer of 25 - 50mm clean washed pump sand over filter fabric.</p> <p>7. Place growing medium to depths specified in Section 3.5 above for various surface treatments. Refer to Drawing details for any light weight filler required after grade. Use Styrofoam block on drain rock shaped to provide smooth surface transition at edges. Butt each piece tightly together and cover with filter fabric to prevent soil from migrating down.</p>		
3.11 ESTABLISHMENT MAINTENANCE (Provide a separate price for this section)	<p>1. Intent: The intent of "establishment" maintenance is to provide sufficient care to newly installed plant material for a relatively short period of time to ensure or increase the long term success of the planting. The objective is the adaptation of plants to a new site in order to obtain the desired effect from the planting while reducing the rate of failure and unnecessary work associated with improper establishment. Establishment of maintenance procedures apply to all new and retained vegetation including cultivated turfgrass areas and new trees and shrubs.</p> <p>2. Maintenance Period: Provide maintenance of installed landscaping for 12 months following substantial completion.</p> <p>3. Related Standards and Legislation: B.C. Landscape Standard, latest edition; Fertilizer Code, B.C. Pesticide Control Act.</p> <p>4. Site Review: In addition to the inspections at substantial completion, at final progress code application, and at the end of the guarantee period, there should be three other reviews during the 12 months attended by the Contractor and a designated representative of the Owner. Maintain a logbook and reporting procedures and submit to the designated representative.</p> <p>5. Scheduling: Prepare a schedule of anticipated visits and submit to designated representative at start-up. Maintenance operations shall be carried out predominantly during the growing season between March 1st and November 30th, however visits at other times of the year may be required.</p> <p>6. Maintenance Level: Comply with B.C. Landscape Standard, Section 14, Table 14.2, Maintenance Level 2 "Greened".</p> <p>7. Materials: Comply with Part Two of this specification.</p> <p>7.1 Fertilizers: To the requirements of the B.C. Landscape Standard. Formulations and rates as required by soil testing.</p> <p>8. Plant Material Establishment:</p> <p>8.1 Watering: During the first growing season, water new plants at least every ten (10) days between April 1st and July 31st, and every twenty (20) days between August 1st and September 15th. Minimum 25 gallons per tree per application. During the second growing season, water new plants at least every twenty days between April 1st and July 31st and once between August 1st and September 30th. Apply water at a rate and duration such that the water content reaches field capacity to the full depth of the growing medium. Apply water again when the water content reaches 25% of field capacity. Provide and irrigate with water in the event that any automatic irrigation system malfunctions or has not been completely installed. Scheduled applications of water shall be missed only when rainfall has penetrated the soil fully as required.</p> <p>8.2 Mutch: Maintain mulches in the original areas and to the original depths.</p> <p>8.3 Weed Control: Remove all weeds from all areas at least once per month during the growing season by hoeing or cultivation to a maximum depth of 80mm, hand-pulling, or, if necessary, by the use of herbicides.</p> <p>8.4 Pest and Disease Control: Inspect all planted areas for pests and diseases periodically and at least every two months during the growing season by an experienced person. Carry out treatment for pests or diseases promptly and consistently for maximum effectiveness. Comply with all B.C. Pesticide Control Act and municipal requirements.</p> <p>8.5 Tree Support: Maintain stakes, guy wires and ties one full growing season. Check ties at least every two months to ensure that they are not causing a depression in the bark. Loosen, repair or replace ties as necessary. Remove all stakes, guy wires and ties after the first growing season except where large trees require continuing support in the opinion of the Landscape Architect. All flagging of guy wires shall be visible and in good repair.</p> <p>8.6 Pruning: Inspect all trees and shrubs at least every two months during the growing season, prune to remove dead, weak or diseased wood. Maintain the natural shape of the plant. Carry out clipping or shaping only if required in the maintenance contract or specified in the contract or as a condition.</p> <p>8.7 Fertilizing: Once during the twelve month period of establishment maintenance fertilize shrubs, trees and groundcovers according to soil analysis requirements.</p> <p>9. Grass Areas Establishment:</p> <p>9.1 Watering: Use hoses and sprinklers, irrigation systems or other methods to apply water to Class 1 and Class 2 grassed areas (B.C. Landscape Standard, Section 7, Lawns and Grasses) such that the grass is maintained in a lush condition. Supply and irrigate with water in the event of any irrigation system malfunction, or incomplete installation at no expense to the owner. Apply water to prevent packing or erosion of the soil. Apply water at a rate and duration so that the water content in the growing medium reaches field capacity to the full depth of the growing medium. Apply water again when the water content reaches 25% of field capacity.</p> <p>9.2 Weed, Insect and Disease Control: Inspect grass areas each time they are mowed for weeds, insect pests, and diseases and treat promptly when necessary by appropriate manual methods, or by the use of chemicals in compliance with the B.C.S.L.A./B.C.L.N.A. Landscape Standards latest edition. Kill broadleaf weeds in grassed areas by a general application of a suitable herbicide if the weed population exceeds 10 Broadleaf weeds or 50 annual weeds or weedy grasses per 40 square meters. This application shall reduce the weed population to zero.</p> <p>9.3 Fertilizing: According to soil analysis.</p> <p>9.4 Liming According to soil analysis.</p> <p>9.5 Mowing and Trimming - All areas: The first four cuts shall be a sharp rotary type mower. Excess grass clippings shall be removed after each cut. Mow all grassed areas with a sharp reel or rotary mower when the grass reaches a height of 60mm. Mow to a height of 40mm. Edge with a mechanical vertical cutting edge once per year. Core to 10mm. Remove all grass clippings after each cut.</p> <p>9.6 Aeration: Aeration not required for the first growing season. If necessary, in the second growing season, aerate in early May with a suitable mechanical core. Core to a depth of 90mm (4"), and remove cores.</p> <p>9.7 Repairs: Re-grade, re-seed or re-sod when necessary to restore damaged or failing grass areas. Match the grass varieties in the surrounding area. Re-sod, re-grade, re-seed, re-sod, if required, throughout the growing season. Re-sod between April 1st and April 15th or between September 1st and September 15th. Protect re-seeded areas and keep moist until the first mowing.</p>		
6	21.JUL.28	REAR BUILDING RELOCATED	BJ
5	22.07.13	TREES ADDED, SETBACK REV., BLDG SHIFTED	BJ
4	21.09.23	LANDSCAPE BUFFER TABLE ADDED	BJ
3	21.APR.21	LANDSCAPE BUFFER DIMS ADDED	BJ
2	21.MAR.01	DP SUBMISSION	BJ
1	21.FEB.16	COORDINATION - IN PROGRESS	BJ
NO.	DATE	REVISION DESCRIPTION	DR.
CLIENT:			
PROJECT:			
<b>NINE PEAKS</b>			
<b>1590 PIERCY AVENUE</b>			
<b>COURTENAY, BC</b>			
DRAWING TITLE:			
<b>SOFT LANDSCAPE SPECIFICATIONS</b>			
DATE:	20.09.20	DRAWING NUMBER:	
SCALE:	NA		
DRAWN:			



# 1590 PIERCY AVENUE

## Parking Study

Build With Perspective Ltd.



WATT CONSULTING GROUP

2022 July 04

**WATT** VICTORIA  
#302, 740 Hillside Avenue  
Victoria, BC V8T 1Z4  
(250) 388-9877



# 1590 PIERCY AVENUE

## Parking Study

Matthew Lilly, B.Sc.  
Transportation Technical Assistant

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Author

Tim Shah, RPP, MICP  
Senior Transportation Planner

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Reviewer

Prepared For: Build With Perspective Ltd.  
Date: 2022 July 04  
Our File No: 3328.B01

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## 1.0 INTRODUCTION

Watt Consulting Group (WATT) was retained by Build with Perspective Ltd. to conduct a parking study for the proposed townhouse development at 1590 Piercy Avenue in the City of Courtenay, BC. The purpose of this study is to determine the total parking demand for the subject site..

### 1.1 SUBJECT SITE

The proposed development is located at 1590 Piercy Avenue in the City of Courtenay (See **Figure 1**).



**Figure 1. Subject Site**



## 1.2 SITE CHARACTERISTICS & POLICY CONSIDERATIONS

The following provides information regarding services and transportation options in proximity to the subject site (see **Figure 2**). In addition, the City of Courtenay's Official Community Plan (OCP) and other community policies pertaining to sustainable transportation and parking management are summarised.

### COMMUNITY POLICIES



The City of Courtenay updated its Official Community Plan in June of 2022.<sup>1</sup> The OCP contains policy direction on a number of topics pertaining to parking and including the distinct goal of "Functional Transportation Choices". This goal directs the City to rebalance its transportation system to provide a more functional spectrum of options that prioritises walking, cycling, and transit. This in turn will support active living and transportation, neighbourliness, economic vitality, affordable transportation, and lower carbon footprints.

Part C: Streets and Transportation of the OCP, outlines several objectives and policies directly relevant to this study including:

- Objective 2: Transportation investments prioritise walking, cycling, and transit
- Objective 6: The amount of land dedicated to parking is minimized
- Objective 7: Parking standards reflect electric vehicle and cycling needs



### SERVICES

The site is located approximately 1.1 kilometres from commercial / retail amenities including restaurants, a grocery store (Thrifty Foods) and cafés. There are also a number of personal and professional services within this distance including medical services, accounting, and wealth management

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<sup>1</sup> City of Courtenay. (2022). Bylaw 3070: Official Community Plan, Available online at: <https://pub-courtenay.escribemeetings.com/filestream.ashx?DocumentId=2454>



offices. Courtenay Elementary School is 600m from the site (7-minute walk).



### TRANSIT

There are two bus stops at the intersection of Cumberland Road and Piercy Avenue that are within a 300m (6-minute walk) of the subject site. The bus stops are served by the 8 (Downtown / Anfield Centre), which provides service to a number of destinations in the community including downtown Courtenay, Driftwood Mall, Anfield Centre, and schools such as Puntledge Park Elementary School and Lake Trail Secondary School.

The site is also located about 900m (11-minute walk) from a bus stop at Fitzgerald Avenue and 16th Street, which is served by the 1 (Comox Mall / Anfield Centre). The 1 operates as the Frequent Transit Network (FTN) route offering 20-minute service at peak hours between the municipalities of Courtenay and Comox. It provides service to a number of destinations including downtown Courtenay, North Island College, North Island Hospital Comox Valley, and downtown Comox, among other destinations.



### WALKING

According to Walk Score, the subject site\* can be described as “somewhat walkable” with a walk score of 54, suggesting that some errands may be accomplished on foot.<sup>2</sup> Sidewalks are located on both sides of Piercy Avenue and serve to connect residents to nearby transit stops on Cumberland Road.

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<sup>2</sup> More information about the site’s walk score is available online at: <https://www.walkscore.com/score/1580-piercy-ave-courtenay-bc-canada>

\*1580 Piercy Avenue as used in place of 1590 Piercy Avenue as 1580 Piercy Avenue is more up to date with current amenities and conditions on Walkscore.com



The Rotary Trail is a multi-use pathway northeast of the subject site that is part of the City’s long-term pedestrian network. This pathway travels northwest and southeast, terminating at 5<sup>th</sup> Street and 29<sup>th</sup> Street respectively and increases active transportation (AT) connectivity throughout the city.



### CYCLING

The subject site has access to cycling infrastructure Cumberland Road and 17<sup>th</sup> street travelling Northeast into town, and southwest towards Cumberland; additionally, the Rotary Trail – at the north eastern border of the subject site - provides additional access to multiple areas of the city. According to the City’s Transportation Master Plan, a buffered / painted bicycle lane on 17<sup>th</sup> Street is proposed for the medium-term **Figure 2**. This facility will allow for greater connectivity - and safety - for residents of the subject site travelling to destinations such as downtown Courtenay and further onto Comox or North Island College. As of June 2022, construction has begun on the 17<sup>th</sup> Street bicycle facility upgrades.

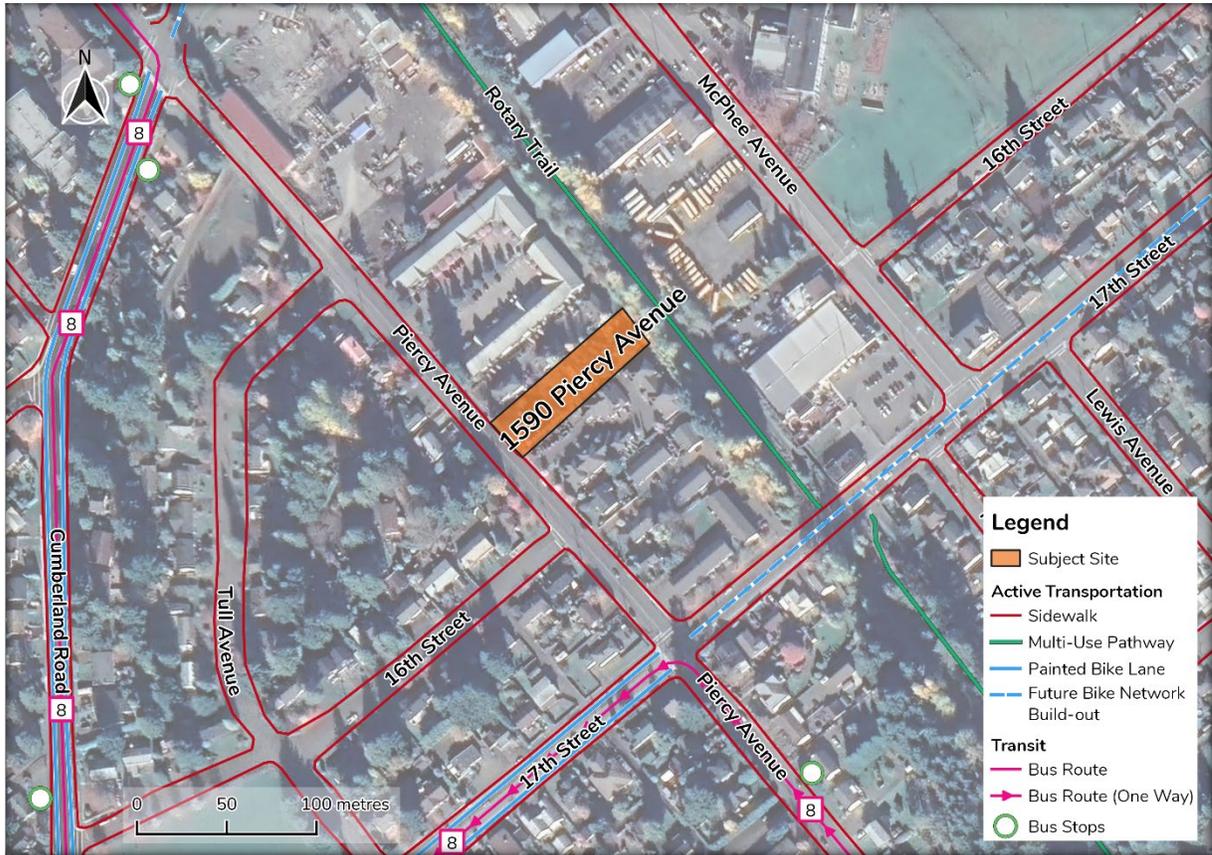


Figure 2. Transportation Options in Proximity to Site

### 1.3 CURRENT LAND USE

The site is currently zoned R-2 (Residential Two Zone) - which allows for single residential dwelling duplex, and accessory building uses – and is currently occupied by a single detached house.

## 2.0 PROPOSED DEVELOPMENT

### 2.1 LAND USE

The proposed development is for a nine-unit townhouse complex comprising 6 two-bedroom units and 3 three-bedroom units.



## **2.2 PROPOSED PARKING SUPPLY**

### **2.2.1 RESIDENTIAL PARKING**

A total of 10 parking spaces are proposed - a rate of 1.11 spaces per unit.

### **2.2.2 BICYCLE PARKING**

The applicant is proposing one electrified long-term bicycle parking space per unit, in addition to two short term guest bicycle parking spaces. Section 6.0 includes specific bicycle parking recommendations for the applicant's consideration.

## **3.0 PARKING REQUIREMENT**

### **3.1 VEHICLE PARKING**

The City of Courtenay Bylaw No. 2500 (2007) determines the minimum parking supply requirement. Per the Bylaw, the site would be subject to the "Multi residential dwellings use" and be required to provide 1.5 parking spaces per residential unit with 10% of the required spaces being provided and retained for visitor parking.

With nine proposed units, this results in a requirement of 14 parking spaces (13.5 rounded), delineated as 13 spaces residential parking spaces and 1 as visitor parking spaces. This is four spaces greater than the proposed supply of 10 spaces parking spaces.

## **4.0 EXPECTED PARKING DEMAND**

Expected parking demand for the site is estimated in the following sections to determine if the proposed supply will adequately accommodate demand. Expected parking demand is based on observations from other townhouse sites in Courtenay and Comox, as well as research from past parking studies.



## 4.1 RESIDENTIAL PARKING DEMAND

### 4.1.1 REPRESENTATIVE SITES

Observations were conducted at 8 townhouse sites in the City of Courtenay and Town of Comox, representing a total of 206 units. A breakdown of each site and how it corresponds to the site location can be found in **Table 1**.

- **Geographic Location |** All of the representative sites are located within the City of Courtenay and Town of Comox. This is based on walkability, access to transit, and access to commercial / retail amenities and is intended to encapsulate the unique socio-geographical features of the neighbourhood of the proposed development.
- **Walk Score |** This is a tool that ranks the walkability of a location based on its proximity to seven types of amenities: Dining and drinking, groceries, shopping, errands, parks, schools/education, and culture and entertainment. It is a useful tool for determining if a trip will require a vehicle, and may inform parking needs. The Walk Score of this development is 58, whereas the average Walk Score of the chosen representative sites is 30 (29.88, Rounded). This means that the proposed development will have greater walking access to amenities than most of the comparable townhouse developments in the region; thus, representative sites offer a more conservative estimate of parking demand.
- **Countable Parking Spaces.** The sites needed to have parking spaces that were visible and therefore countable. Many townhouse sites in the Comox Valley have enclosed garages or gated underground parking, making counting difficult.



**TABLE 1. SUMMARY OF REPRESENTATIVE SITES**

Address	Number of Units	Walk Score	Municipality
1500 Cumberland Ave	20	30	Courtenay
2061 Lake Trail Road // 2016 13th Street	33	31	Courtenay
2077 20th Street	40	19	Courtenay
1111 Edgett Road	24	37	Courtenay
1095 Edgett Road	21	29	Courtenay
1537 Noel Ave	36	14	Courtenay
1180 Braidwood	26	25	Comox
1580 Piercy Avenue	6	54	Courtenay

#### 4.1.1 OBSERVATIONS

Observations were conducted during the following periods:

- Wednesday, 14 June 2022, from 12:00am to 1:00am
- Thursday, 15 June 2022, from 12:00am to 1:00am

Observations of parking utilisation were conducted at representative sites during the peak period for residential land uses (typically weekday evenings after 11:00pm). The peak observation for each site over the two observation periods was selected to calculate the parking demand (see **Table 2**). Parking demand ranged from 0.56 vehicles per unit to 1.25 vehicles per unit with an average parking demand of 0.96 vehicles per unit.



**TABLE 2. OBSERVATIONS OF REPRESENTATIVE SITES**

Site	Units	Observed Vehicles	Parking Demand (vehicles / unit)
1500 Cumberland Ave	20	25	1.25
2061 Lake Trail Road // 2016 13th Street	33	36	1.09
2077 20th Street	40	30	0.75
1111 Edgett Road	24	21	0.88
1095 Edgett Road	21	22	1.05
1537 Noel Ave	36	34	0.94
1180 Braidwood	26	24	0.92
1580 Piercy Avenue	6	7	1.17
		<b>Average</b>	<b>1.01</b>

## 4.2 VISITOR PARKING

A study conducted by Metro Vancouver concluded that visitor parking typically has a demand of less than 0.1 vehicles per unit.<sup>3</sup> This is corroborated by findings of multiple studies conducted by WATT Consulting Group throughout Vancouver Island, suggesting that visitor parking is not strongly linked to location. With a total of 9 units, and applying a visitor parking demand rate of 0.1, the recommended visitor parking is **1 space** (0.9 spaces, rounded). Section 4.3 addresses on-street parking conditions. Based on the on-street parking assessment, it is anticipated that visitor vehicles will park on-street as there is available supply during the peak time.

## 4.3 ON-STREET PARKING ASSESSMENT

On-street parking conditions were observed to determine parking availability adjacent to the subject site. Observations were completed on Piercy Avenue, between Cumberland Road and 17<sup>th</sup> Street; on Tull Avenue, between Piercy Avenue between

<sup>3</sup> Metro Vancouver. (2012). The Metro Vancouver Apartment Parking Study, Technical Report. Available online at: [http://www.metrovancouver.org/services/regionalplanning/PlanningPublications/Apartment\\_Parking\\_Study\\_TechnicalReport.pdf](http://www.metrovancouver.org/services/regionalplanning/PlanningPublications/Apartment_Parking_Study_TechnicalReport.pdf)



Piercy Avenue and 16<sup>th</sup> Street; and on 16<sup>th</sup> Street, between Tull Avenue and Piercy Avenue. Observations were conducted during the following periods:

- Tuesday, 13 June 2022, from 11:00pm to 12:00am
- Wednesday, 14 June 2022, from 11:00pm to 12:00am

Utilisation of the on-street parking spaces ranged from 20% to 23% with peak utilisation being observed during the 11:00pm to 11:30pm observation period on 13 June 2022 (see **Table 3**). This indicates that a few residents and/or visitors in the area are utilising the available and unrestricted on-street parking. A total of 110 spaces were vacant within this period indicating that parking is generally available during peak times when residents are expected to be home, and that visitor parking may be accommodated on-street.

**TABLE 3. ON-STREET OBSERVATIONS DURING PEAK OCCUPANCY PERIOD**

Street	Segment	Side	Available Spaces	Observed	% Occupied
<b>Piercy Avenue</b>	Cumberland Road – Tull Avenue	NE	17	0	0%
		SW	17	0	0%
	Tull Avenue – 16 <sup>th</sup> Street	NE	20	6	30%
		SW	18	2	11%
	16 <sup>th</sup> Street – 17 <sup>th</sup> Street	NE	7	1	14%
		SW	7	2	29%
<b>Tull Avenue</b>	Piercy Avenue – Schjelderup Place	E	3	3	100%
		W	4	4	100%
	Schjelderup Place – 16 <sup>th</sup> Street	E	2	2	100%
		W	3	3	100%
<b>16<sup>th</sup> Street</b>	Tull Avenue - Alleyway	NW	17	6	35%
		SE	17	3	18%



Street	Segment	Side	Available Spaces	Observed	% Occupied
	Alleyway – Piercy Avenue	NW	5	0	0%
		SE	5	0	0%
<b>Totals</b>			<b>142</b>	<b>32</b>	<b>23%</b>

#### 4.4 SUMMARY OF EXPECTED PARKING DEMAND

The total expected parking demand for the proposed development is **10 vehicle parking spaces** (9.95 spaces, rounded), nine residential parking spaces (9.05 spaces, rounded), and one visitor parking space (0.9 spaces, rounded). This results in a total expected demand of 10 spaces, which is equal to the proposed supply.

#### 5.0 CONCLUSIONS

The proposed development at 1590 Piercy Avenue is a 9-unit multi-family townhouse development that is providing 10 vehicle parking spaces (1.11 spaces per unit), which is four vehicle parking spaces fewer than the requirement of 14 parking spaces (13.5 rounded) from the City of Courtenay Zoning Bylaw. Furthermore, the proposed development is proposing 9 electrified long-term bicycle parking spaces.

Expected parking demand for this development was estimated based on observational data collected from representative townhouse sites in Courtenay and Comox. The expected parking demand is 10 spaces (nine residential spaces and one visitor space), which is equal to the proposed spaces. Finally, observations of on-street parking in the area indicate that there is sufficient capacity to accommodate visitor parking.

#### 6.0 RECOMMENDATIONS

Based on the conclusions of this study, the proposed parking for the development is supported, with the following optional recommendations for consideration:

1. Increase the number of long-term secured bicycle parking spaces to a rate of 1.5 spaces per unit each with 110V charging outlets.



2. Increase the size of bicycle parking spaces to accommodate cargo bikes and other non-standard bicycles. The spaces should be designed to be a minimum of 3.0 metres in length and 0.9 metres wide. They should also be provided as ground anchored racks.
3. Provide addition to end of trip facilities such as a bicycle maintenance area to further support active transportation.



# 1590 PIERCY AVENUE

## Parking Study

A handwritten signature in black ink, appearing to read "Matthew Lilly".

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Author: Matthew Lilly

A handwritten signature in black ink, appearing to read "Tim Shah".

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Reviewer: Tim Shah, RPP, MCIP

Prepared for: Build With Perspective Ltd.

Our File: 2785.B01

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## 1.0 INTRODUCTION

Watt Consulting Group (WATT) was retained by Build with Perspective Ltd. to conduct a parking study for the proposed townhouse development at 1590 Piercy Avenue in the City of Courtenay, BC. The purpose of this study is to determine the parking demand for the site and identify transportation demand management strategies to help the applicant reduce the expected parking demand.

### 1.1 SUBJECT SITE

The proposed site is located at 1590 Piercy Avenue in the City of Courtenay. See **Figure 1**.

**FIGURE 1. SUBJECT SITE**



## 1.2 SITE CHARACTERISTICS & POLICY CONSIDERATIONS

The following provides information regarding relevant community policies, services and transportation options in proximity to the subject site.



### COMMUNITY POLICIES

The City of Courtenay is in the process of updating its Official Community Plan (OCP), which will contain policy direction on a number of topics pertaining to parking including transportation and mobility, land use, and design of the built environment, among others. The City's existing OCP includes a number of goals and policies pertaining to transportation including goal #2, which is stated as follows:

*“Development of a transportation system that provides choices for different modes of travel including vehicle, transit, pedestrian, cycling and people with mobility impairments”.*

The City OCP contains a number of other policies that relate to sustainable transportation and transportation demand management as outlined in multiple sections including: 4.4.3, 4.6.5, 5.2, and 10.3.

#### 4.4.3. Land Use Designations (Residential Policies):

- Increasing densities can reduce urban sprawl and benefit the environment and transportation system, while promoting healthy community and fiscal responsibility through the provision of services. This may be achieved by creating neighbourhoods that offer a variety of transportation choices.<sup>1</sup>

#### 4.6.5. Parks and Open Space (Greenway Strategy):

- The city requires safe, continuous, and convenient pedestrian routes from residences to public walkways, transit, and facilities.<sup>2</sup>

#### 5.2 Transportation (Goals):

- Integrating land use changes with transportation planning to coordinate changes and increases in traffic patterns.
- Developing transportation systems that provide choices for different modes of travel including vehicle, transit, pedestrian, cycling, and people with mobility impairments.
- Supporting integration of transportation systems that reduce travel distances and congestion.<sup>3</sup>

<sup>1</sup> City of Courtenay (2016), Official Community Plan, Section 4.4.3: Land Use Designations Available online at: [https://www.courtenay.ca/assets/Departments/Development-Services/Bylaw\\_2387\\_OCP.pdf.pdf](https://www.courtenay.ca/assets/Departments/Development-Services/Bylaw_2387_OCP.pdf.pdf)

<sup>2</sup> Ibid, Section 4.6.5: Parks and Open Space.

<sup>3</sup> Ibid, Section 5.2: Transportation.

### 10.3. Planning for Climate Change (Objectives and Policies):

- Aligning developments within the following transportation mode hierarchy:
  1. Walking
  2. Cycling
  3. Transit
  4. Commercial delivery of goods and services
  5. SOV
- Encouraging and supporting initiatives that reduce the number of SOV trips throughout the community.<sup>4</sup>



#### SERVICES

The site is located approximately 1.1 kilometres from commercial / retail amenities including restaurants, a grocery store (Thrifty Foods) and cafés. There are also a number of personal and professional services within this distance including medical services, accounting, and wealth management offices. Courtenay Elementary School is 600m from the site (7-minute walk).



#### TRANSIT

There are two bus stops at the intersection of Cumberland Road and Piercy Avenue that are within a 300m (6-minute walk) of the subject site. The bus stops are served by the 8 (Downtown / Anfield Centre), which provides service to a number of destinations in the community including downtown Courtenay, Driftwood Mall, Anfield Centre, and schools such as Puntledge Park Elementary School and Lake Trail Secondary School.

The site is also located about 900m (11-minute walk) from a bus stop at Fitzgerald Avenue and 16<sup>th</sup> Street, which is served by the 1 (Comox Mall / Anfield Centre). The 1 operates as the Frequent Transit Network (FTN) route offering 20-minute service at peak hours between the municipalities of Courtenay and Comox. It provides service to a number of commuting destinations including downtown Courtenay, North Island College, North Island Hospital Comox Valley, and downtown Comox, among other destinations.



#### WALKING

The subject site can be described as somewhat walkable with a walk score of 56, suggesting that some errands can be accomplished on foot.<sup>5</sup> Sidewalks are located on both sides of Piercy Avenue and serve to connect residents to nearby transit stops on Cumberland Road.

<sup>4</sup> City of Courtenay (2016), Official Community Plan, Section 10.3: Planning for Climate Change. Available online at: [https://www.courtenay.ca/assets/Departments/Development~Services/Bylaw\\_2387\\_OCP.pdf.pdf](https://www.courtenay.ca/assets/Departments/Development~Services/Bylaw_2387_OCP.pdf.pdf)

<sup>5</sup> More information about the site's walk score is available online at: <https://www.walkscore.com/score/1590-piercy-ave-courtenay-bc-canada>

The recommended pedestrian network plan identified in the City's Transportation Master Plan shows a proposed multi-use pathway on Piercy Avenue between 29<sup>th</sup> Street and 5<sup>th</sup> Street.<sup>6</sup> This specific multi-use pathway is part of the City's long-term pedestrian network and is intended to increase connectivity and comfort for pedestrians, cyclists, and other active travel users when travelling along Piercy Avenue.



### CYCLING

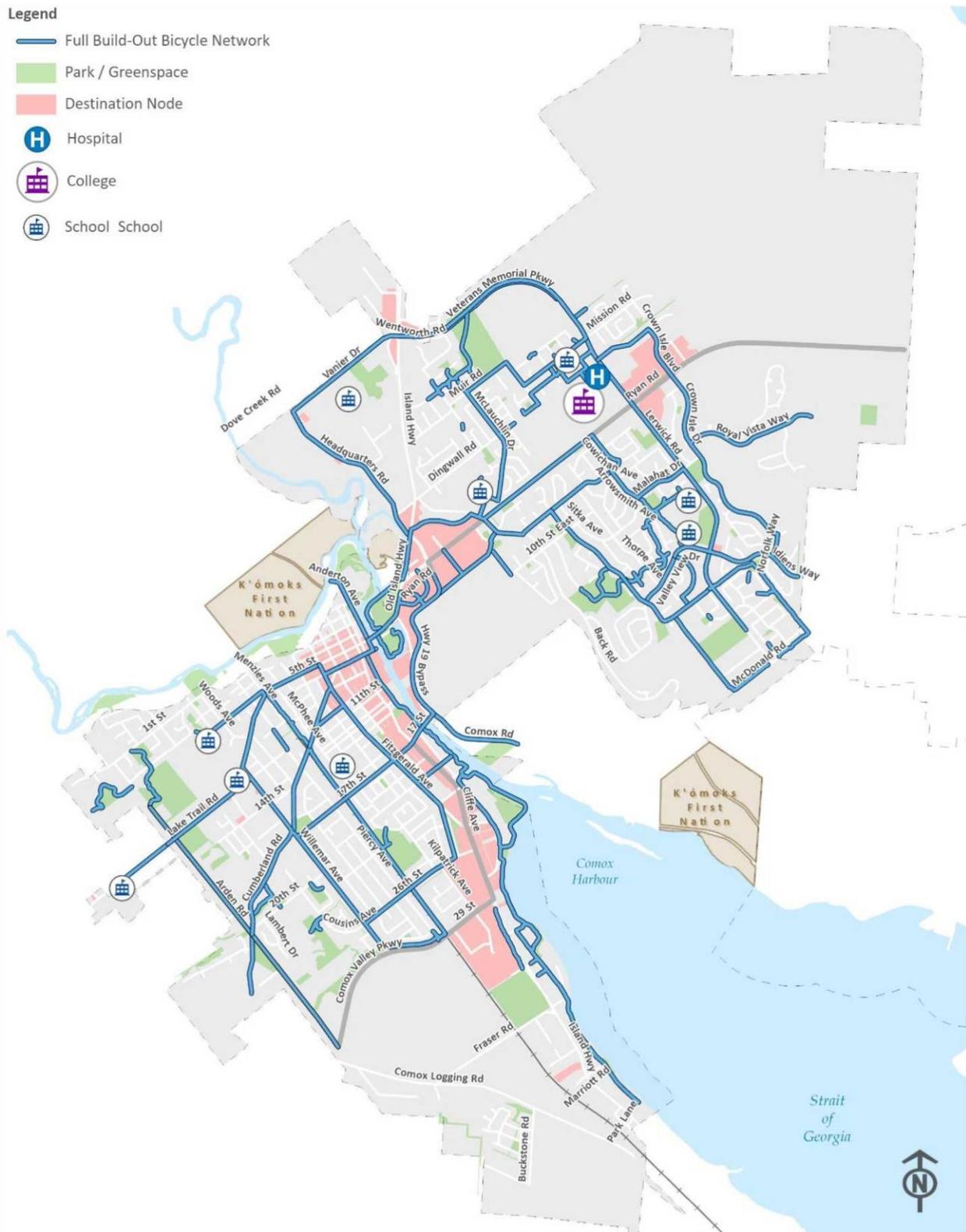
Piercy Avenue is currently designated as a 'Signed Bicycle Route'. According to the City's Transportation Master Plan and the Cycling Network Plan, there are no plans to upgrade Piercy Avenue to a better bicycle facility for all ages and abilities. However, the long-term pedestrian plan does identify a multi-use pathway on Piercy Avenue between 29<sup>th</sup> Street and 5<sup>th</sup> Street, which could facilitate trips for cyclists.

The Transportation Master Plan identifies a proposed buffered / painted bicycle lane on 17<sup>th</sup> Street in the medium-term.<sup>7</sup> See **Figure 2**. This facility would make it easier for residents of the subject site to travel more directly to destinations such as downtown Courtenay and to further destinations such as North Island College using other proposed bike facilities along Fitzgerald Avenue and Old Island Highway. A bike facility is also planned for Piercy Avenue in the long-term; however, the specific facility type is not known at this time.

<sup>6</sup> City of Courtenay & Urban Systems Ltd. (2019). Connecting Courtenay: Transportation Master Plan. Figure 5-3 Recommended Pedestrian Network Plan, pg. 43, available online at: <https://www.courtenay.ca/assets/City-Hall/Project-Gallery/2018-Master-Transportation-Plan/2019-09-30%20Connecting%20Courtenay%20-%20Transportation%20Master%20Plan%20FINAL.pdf>

<sup>7</sup> Ibid, Figure 9-3, pg. 77.

**FIGURE 2. CITY OF COURTENAY FUTURE CYCLING NETWORK PLAN<sup>8</sup>**



<sup>8</sup> City of Courtenay & Urban Systems Ltd. (2019). Connecting Courtenay: Transportation Master Plan.

### 1.3 CURRENT LAND USE

The site is currently zoned R-2 (Residential Two Zone), which allows for single residential dwelling duplex, and accessory building uses.

## 2.0 PROPOSED DEVELOPMENT

### 2.1 LAND USE

The proposed development is for a nine unit townhouse complex comprising of 6 two-bedroom units and 3 three-bedroom units.

### 2.2 PARKING SUPPLY

#### 2.2.1 VEHICLE PARKING

A total of 10 parking spaces are proposed—a rate of 1.11 spaces per unit.

#### 2.2.2 BICYCLE PARKING

The development will be providing 30 long-term and 6 short-term bicycle spaces. The long-term bicycle parking ratio results in 3.3 spaces per unit.

## 3.0 PARKING REQUIREMENT

The City of Courtenay Bylaw No. 2500 (2007) determines the minimum parking supply requirement. Per the Bylaw, the site would be subject to the multi residential dwellings use and be required to provide 1.5 parking spaces per residential unit with 10% of the required spaces being provided and retained for visitor parking. With nine proposed units, this results in a requirement of 14 residential spaces, of which 13 spaces are for residential and 1 as visitor parking. This is four spaces greater than the proposed supply (10 spaces).

## 4.0 EXPECTED PARKING DEMAND

Expected parking demand for the site is estimated in the following sections to determine if the proposed supply will adequately accommodate demand. Expected parking demand is based on [a] observations of other townhouse sites in Courtenay and Comox [b] research from past parking studies and [c] data from the Institute of Transportation Engineers Parking Generation Manual.

### 4.1 RESIDENT PARKING DEMAND

Observations were conducted at 8 townhouse sites in the City of Courtenay and Town of Comox, representing a total of 156 units. A breakdown of each site and how it corresponds to the site location can be found in **Table 1**.

Townhouse sites were selected based on two criteria, in the following priority order:

1. Countable Parking Spaces. The sites needed to have parking spaces that were visible and therefore countable. Many townhouse sites in the Comox Valley have enclosed garages or gated underground parking, making counting difficult.
2. Location. Where possible, townhouse sites were selected based on their location outside of downtown Courtenay and Comox. This was completed to ensure that the sites had comparable walkability and access to transportation options as the subject site.

**TABLE 1. SUMMARY OF REPRESENTATIVE SITES**

Site	Municipality	Units
1755 Willemar Avenue	Courtenay	31
1500 Cumberland Avenue	Courtenay	20
2061 Lake Trail Road // 2061 13 <sup>th</sup> Street	Courtenay	33
2077 20 <sup>th</sup> Street	Courtenay	40
1111 Edgett Road	Courtenay	24
1095 Edgett Road	Courtenay	21
1537 Noel Avenue	Comox	36
1180 Braidwood Road	Courtenay	26

#### 4.1.1 OBSERVATIONS

Observations were conducted during the following periods:

- Wednesday, January 29, 2020, from 9:00pm to 11:30pm
- Thursday, January 30, 2020, from 9:00pm to 11:30pm

Observations of parking utilization were conducted at representative sites during the peak period for residential land uses (typically weekday evenings). The peak observation for each site over the two observation periods was selected to calculate the parking demand (see **Table 2**). Parking demand ranged from 0.53 vehicles per unit to 1.35 vehicles per unit with an average parking demand of 0.85 vehicles per unit.

**TABLE 2. OBSERVATIONS OF REPRESENTATIVE SITES**

Site	Units	Observed Vehicles	Parking Demand (vehicles / unit)
1755 Willemar Ave	31	9	0.75*
1500 Cumberland Ave	20	27	1.35
2061 Lake Trail Road // 2016 13 <sup>th</sup> Street	33	19	0.58
2077 20 <sup>th</sup> Street	40	33	0.83
1111 Edgett Road	24	21	0.88
1095 Edgett Road	21	21	1.00
1537 Noel Ave	36	19	0.53
1180 Braidwood	26	19	0.73
<b>Average</b>			<b>0.85</b>

\*1855 Willemar Avenue has a total of 31 units, of which 19 have garages and 12 do not. Observations taken at this site reflect the 12 non-garaged units and demand is calculated based on the countable spaces (12).

#### 4.1.2 ADJUSTMENT FACTORS

Observations are a useful method of assessing parking demand rates; however, there are limitations to this method. One of these limitations is that a resident(s) may not be present at the time of observation.

To mitigate this factor, observations were conducted after 9:00pm. However, there is still a chance that some residents may not be home at the time of observation due a multitude of reasons. As such, it can be expected that their vehicle would not be present at the time of observation. This problem was addressed by a study commissioned by Metro Vancouver recommended an adjustment factor of 10% should be applied when parking observations are conducted between after 9:00pm.<sup>9</sup> This adjustment factor was applied to create an adjusted demand rate of 0.95. See **Table 3**.

<sup>9</sup> Metro Vancouver. (2012). The Metro Vancouver Apartment Parking Study, Technical Report. Available online at: [http://www.metrovancouver.org/services/regional-planning/PlanningPublications/Apartment\\_Parking\\_Study\\_TechnicalReport.pdf](http://www.metrovancouver.org/services/regional-planning/PlanningPublications/Apartment_Parking_Study_TechnicalReport.pdf)

**TABLE 3. ADJUSTED PARKING DEMAND AT REPRESENTATIVE SITES**

Site	Units	Parking Demand Rate (vehicles / unit)	Adjusted Parking Demand Rate (vehicles / unit)
1755 Willemar Ave	31	0.75	0.80
1500 Cumberland Ave	20	1.35	1.49
2061 Lake Trail Road // 2016 13 <sup>th</sup> Street	33	0.58	0.64
2077 20 <sup>th</sup> Street	40	0.83	0.91
1111 Edgett Road	24	0.88	0.97
1095 Edgett Road	21	1.00	1.10
1537 Noel Ave	36	0.53	0.58
1180 Braidwood	26	0.73	0.80
<b>Average</b>		<b>0.85</b>	<b>0.95</b>

#### 4.1.3 INSTITUTE OF TRANSPORTATION ENGINEERS

As stated earlier, the majority of townhouse developments in Courtenay and Comox have garages and vehicle parking demand is therefore difficult to ascertain. Only a few townhouse developments have carports, which enabled the consultant team to conduct observations of sites that were deemed representative of the subject site.

Due to the limited sample, the Institute of Transportation Engineers (ITE) Parking Generation Manual was used to support and validate the findings of the data collection. The manual’s section on low-rise multifamily housing (Land Use 220) includes apartments, townhouses, and condominiums of at least three dwellings with one or two floors of residence; however, it does not include affordable housing developments. ITE reports the average parking demand is 1.21 vehicles per unit across 119 surveyed low-rise multi-family developments, with a lower and upper range of 0.58 vehicles per unit and 2.50 vehicles per unit, respectively.<sup>10</sup>

Using the ITE rate of 1.21 vehicles per unit, and the observed parking demand rate of 0.95 vehicles per unit, the two rates were averaged to increase the validity of the data collection findings. This results in a rate of 1.1 vehicles (spaces) per unit, which is the recommended rate for the resident parking demand for the site.

<sup>10</sup> Institute of Transportation Engineers. (2020). ITEParkGen Web-based App, (220 – Multifamily Housing (Low-Rise)). Available online at: <https://iteparkgen.org/ParkGenQuery>

## 4.2 VISITOR PARKING

Observations of visitor parking were conducted at each of the representative sites and the average rate was 0.09 vehicles per unit. A study by Metro Vancouver concluded that visitor parking typically has a demand of less than 0.1 vehicles per unit.<sup>11</sup> Findings from similar studies conducted by WATT in the City of Langford and the City of Victoria support these findings, and suggest that visitor parking is not strongly linked to location.

Based on the available research and observational data, a rate of 0.1 is recommended for the subject site. With nine units and applying a visitor demand rate of 0.1, the recommended visitor parking is 1 space (0.9, rounded).

## 4.3 SUMMARY OF EXPECTED PARKING DEMAND

Based on adjusted observed parking demand results (0.95 vehicles per unit) as well as the ITE parking generation for low-rise multifamily dwellings (1.21 vehicles per unit), resident parking demand will be approximately 1.1 vehicles per unit. Visitor parking demand was calculated and determined as 0.1 vehicles per unit. This results in a residential requirement of 10 parking spaces and one (1) visitor space. This brings the total to 11 parking spaces, which is one greater than the proposed supply.

## 5.0 ON-STREET PARKING

On-street parking conditions were observed to determine parking availability around the subject site. Observations were completed on Piercy Avenue between Cumberland Road and 17<sup>th</sup> Street, and 16<sup>th</sup> Street. Counts were conducted on the following dates:

- Wednesday, January 29, 2020, at 9:00pm
- Thursday, January 30, 2020, at 9:00pm

These two count times were intended to capture the on-street conditions when local residents would have the highest likelihood of being home and/or when visitors might be visiting the neighbourhood.

Peak utilization was observed on Wednesday January 29, 2020 with 14 parked vehicles observed out of 157 total spaces, an occupancy rate of 9%. This indicates that very few residents and/or visitors in the area are utilizing the available unrestricted on-street parking. A total of 143 spaces were unoccupied, which means that a majority of parking is available during the peak time when residents are expected to be home and/or when visitors may be in the neighbourhood.

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<sup>11</sup> Metro Vancouver. (2012). The Metro Vancouver Apartment Parking Study, Technical Report. Available online at: [http://www.metrovancouver.org/services/regional-planning/PlanningPublications/Apartment\\_Parking\\_Study\\_TechnicalReport.pdf](http://www.metrovancouver.org/services/regional-planning/PlanningPublications/Apartment_Parking_Study_TechnicalReport.pdf)

## 6.0 TRANSPORTATION DEMAND MANAGEMENT

Transportation Demand Management (TDM) refers to policies, programs, and services that are designed to reduce reliance on single occupancy vehicles (SOVs) and parking demand by encouraging sustainable travel such as active transportation, public transit, carpools, and ride-share services.<sup>12</sup>

As a part of the proposed development, the applicant will be providing 30 long-term and six short-term bicycle spaces to manage vehicle parking demand and support sustainable transportation options at the site. This would align with policy direction in the OCP and TMP that broadly support increasing cycling mode share and providing residents the option of multiple transportation modes. In addition to bicycle parking, it is recommended that the applicant implement the following TDM measures to further justify the reduction in parking supply.

### 6.1 SHARED ELECTRIC BICYCLE PROGRAM

Electric bicycles (e-bikes) are an emerging transportation mode that provide convenient, zero emission transportation. With Courtenay's proposed Long Term Cycling Network connecting Piercy Avenue to downtown, destination nodes, and local schools, e-bikes would be a highly viable substitute or replacement for motorized vehicles reducing congestion and greenhouse gas emissions.

As an emerging transportation form, there is limited e-bike ownership data available in Courtenay. Six bicycle retailers operating in the Comox Valley were surveyed to assess current interest and sales levels among Courtenay residents. All six retailers reported electric bikes in their inventory and have shown a year-over-year increase in sales with a range of demographics purchasing and/or expressing interest. Some stores such as Black's Cycle and Trails Bicycles reported that e-bikes now represent approximately 25-30% of their total bike sales. These data indicate that e-bikes are growing in popularity in the region.

It is recommended that the applicant provide a shared e-bike program in the proposed development to make cycling a more attractive mode of transportation. The minimum recommended size of the fleet is two e-bikes, which could be purchased locally. As mentioned above, a number of bicycle stores in the Comox Valley sell e-bikes ranging in price with the urban and commuter bikes typically in the range of \$3,000-\$5,000. The operation parameters of the shared e-bike program would need to be determined through direct outreach with future residents and the strata.

With the commitment to 30 long-term bicycle spaces, it is recommended that 10% of these spaces be equipped with 110V outlets to allow e-bike users easy access to battery charging while parked. If used in conjunction with the shared e-bike program outlined above, five 110V outlets would be provided—three for residents and two for the e-bike share program.

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<sup>12</sup> Definition based on Transport Canada, TDM for Canadian Communities, March 2011

Lastly, cargo e-bikes are elongated bicycles (~ 2.5m versus ~1.8m) that allow transportation of children, groceries, or cargo. This increased capacity would allow significantly more trips to be accomplished by bicycle or e-bike, especially for young families; however, they require a longer bike rack to account for the additional length. Accounting for this, it is recommended that the bike racks outfitted with the 110V outlet also be designed to accommodate longer cargo e-bikes.

## 6.2 IMPACTS OF ELECTRIC BICYCLES

E-bikes are still an emerging form of mobility and there is limited research that has quantified the impact they have on vehicle ownership/parking demand; however, it is anticipated that they will have a positive impact on reducing vehicle ownership at this proposed development. A recent survey of North American e-bike owners reported the capacity of e-bikes to replace various modes of transportation commonly used for both recreational and utilitarian trips such as SOVs, public transit, and regular bicycles.

The study found that 62% of e-bike trips replaced car based transportation. Of that 62%, 45.8% were commuting to and from work or school, 44.7% were for entertainment, errands, and cordial visits, and 9.4% were for exercise or recreation. The average distance for each of these trips was about 15 kilometres.<sup>13</sup> Additionally, other studies have shown that 39 kilometres of car based transportation was displaced by utilization of an e-bike.<sup>14</sup>

## 6.3 TDM SUMMARY

Overall findings in the available research confirms that e-bikes do replace trips that would otherwise use a car or gas powered vehicle. With the provision of a shared e-bike program and 110V outlets supplied to 10% of the long-term bicycle spaces, a 15% reduction in resident parking demand is supported. This would reduce the number of resident vehicle parking spaces by two and bring the total site demand to nine spaces (eight resident and one visitor), which is one space lower than the parking supply (10 spaces).

## 7.0 CONCLUSIONS

The proposed development at 1590 Piercy Avenue is a nine unit townhouse complex with nine residential and one visitor parking spaces (one parking space per unit). In addition to this the applicant is also proposing to include 30 long-term and six short-term bicycle parking spaces (3.3 long-term spaces per unit).

Parking demand for this development was estimated based on observational data collected from representative townhouse sites in Courtenay and Comox, and was informed from previously conducted studies. To improve the rigor of the analysis, the observation data was also adjusted based on data from the Institute of Transportation Engineers Parking Generation

<sup>13</sup> MacArthur, J., Harpool, M., & D. Scheppke. (2018). A North American Survey of Electric Bicycle Owners. National Institute for Transportation and Communities, NITC-RR-1041.

<sup>14</sup> Bigazzi, A & E Berjisian. (2019). Electric Bicycles: Can they reduce driving and emissions in Canada. Plan Canada Fall 2019.

Manual. Based on these observations the peak parking demand rate is 11 parking spaces (ten residential and one visitor spaces), one greater than the proposed supply of 10 (nine residential and one visitor spaces). To accommodate this discrepancy TDM measures were recommended with the goal of reducing parking demand by up to 15%.

## 7.1 RECOMMENDATIONS

The provision of nine resident and one visitor parking spaces is supported if the applicant commits to adopting the following TDM recommendations:

- Provision of a resident shared e-bike program.
- Supplying 10% of long-term bicycle spaces with 110V outlets to enhance e-bike viability for the development.
- Designing 10% of long term bicycle parking spaces to accommodate cargo bicycles.



## ATTACHMENT A

### Part 66 – Comprehensive Development 39 Zone (CD-39) (1590 Piercy Avenue)

#### 8.66.1 Intent

The CD-39 Zone is intended to accommodate a strata development of three buildings with 9 units on the property legally described as Lot 3, Section 41, Comox District, Plan 4764, Shown Outlined in Red on Plan 1402-R. The property shall be developed substantially in accordance with Schedules A and B which form part of this zone.

#### 8.66.2 Permitted Uses

The following uses are permitted and all other uses are prohibited except as otherwise noted in this bylaw:

- (1) *Dwelling, duplex*
- (2) *Dwelling, townhouse*
- (3) *Accessory buildings and structures*
- (4) *Home occupation*

#### 8.66.3 Minimum Lot Size

A *lot* shall have an area of not less than 2,030 m<sup>2</sup>.

#### 8.66.4 Floor Area Ratio

Providing all other applicable size, shape and siting conditions are met, the maximum *floor area ratio* shall not exceed 0.40.

#### 8.66.5 Setbacks

Except where otherwise specified in this bylaw the following minimum *building setbacks* shall apply for the principle buildings:

- (1) *Front Yard* 7.5 m
- (2) *Rear Yard* 7.3 m
- (3) *Side Yard* - shall total 4.0 m, with a minimum *side yard setback* on one side of 1.5 m.

#### 8.66.6 Height of Building

Maximum *building height* shall be 7.0 m.

#### 8.66.7 Useable Open Space

*Useable open space* must be provided on a *lot* in the amount of 30.0 m<sup>2</sup> for each one-bedroom *dwelling unit* and 50.0 m<sup>2</sup> for each *dwelling unit* with two or more bedrooms.

### **8.66.8 Accessory Buildings and Structures**

Shall not be permitted except for a waste and recycling enclosure and exterior bicycle storage areas:

- (1) The side yard setback for the waste and recycling enclosure shall be 0.0 m.

### **8.66.9 Off-Street Parking and Loading**

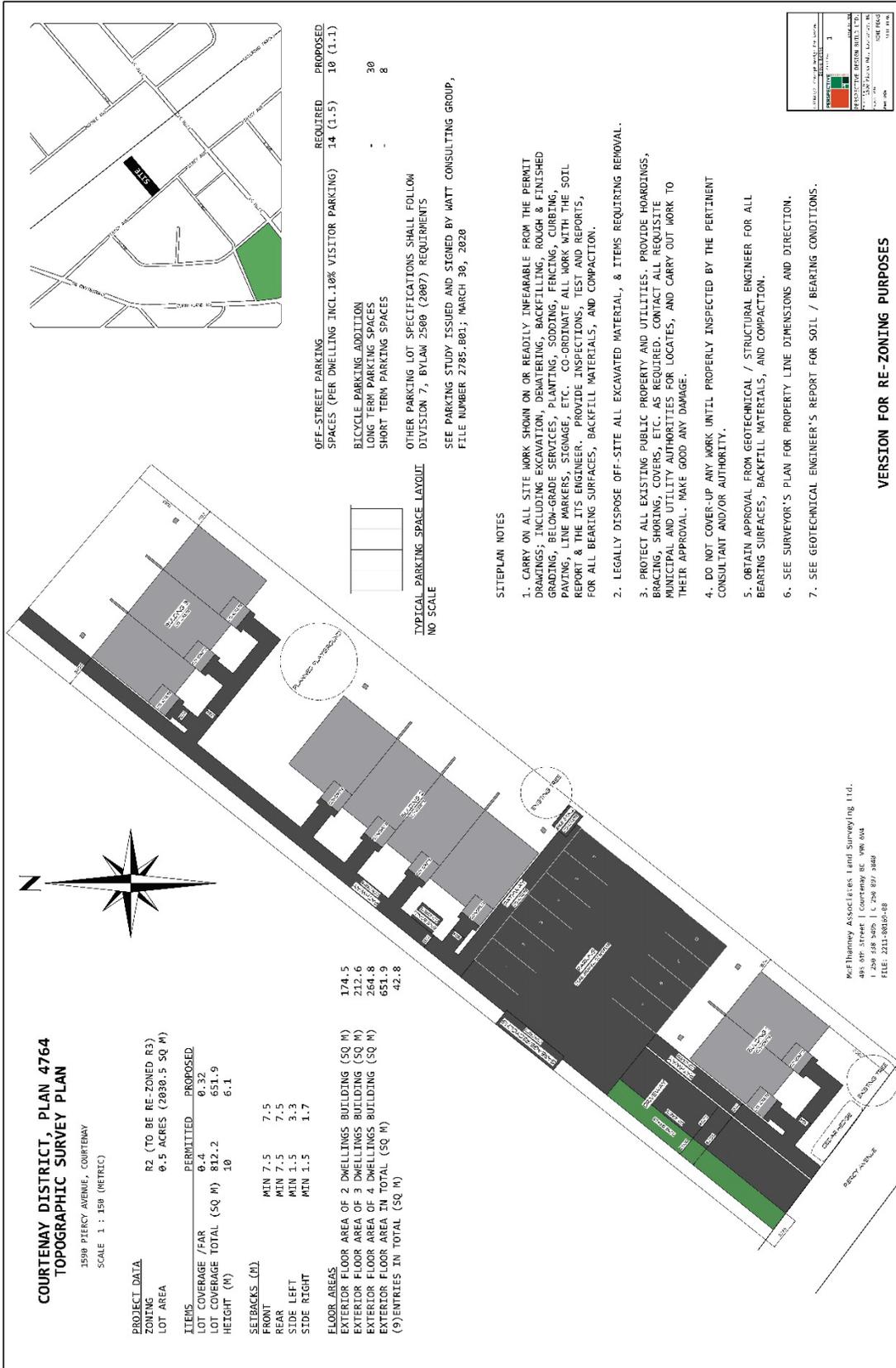
- (1) Off-street parking shall be provided and maintained in accordance with the requirements of Division 7 of this bylaw except in this zone, parking shall be provided at a rate of 1.11 parking spaces per dwelling unit inclusive of visitor parking;
- (2) Bicycle parking shall be provided and maintained in accordance with the requirements of Division 7, Part 3 of this bylaw.

### **8.66.10 Landscaping and Screening**

In addition to the Landscape Requirements in Part 14 of this bylaw, the following landscape requirements shall be met:

- (1) Landscaping shall be used to ensure privacy and to complement the overall development.
- (2) A 4.5 m landscape buffer in the rear and front yard, except for the driveway.
- (3) A 1.5 m landscape buffer for both side yards, except for the driveway and garbage enclosure.

# SCHEDULE A

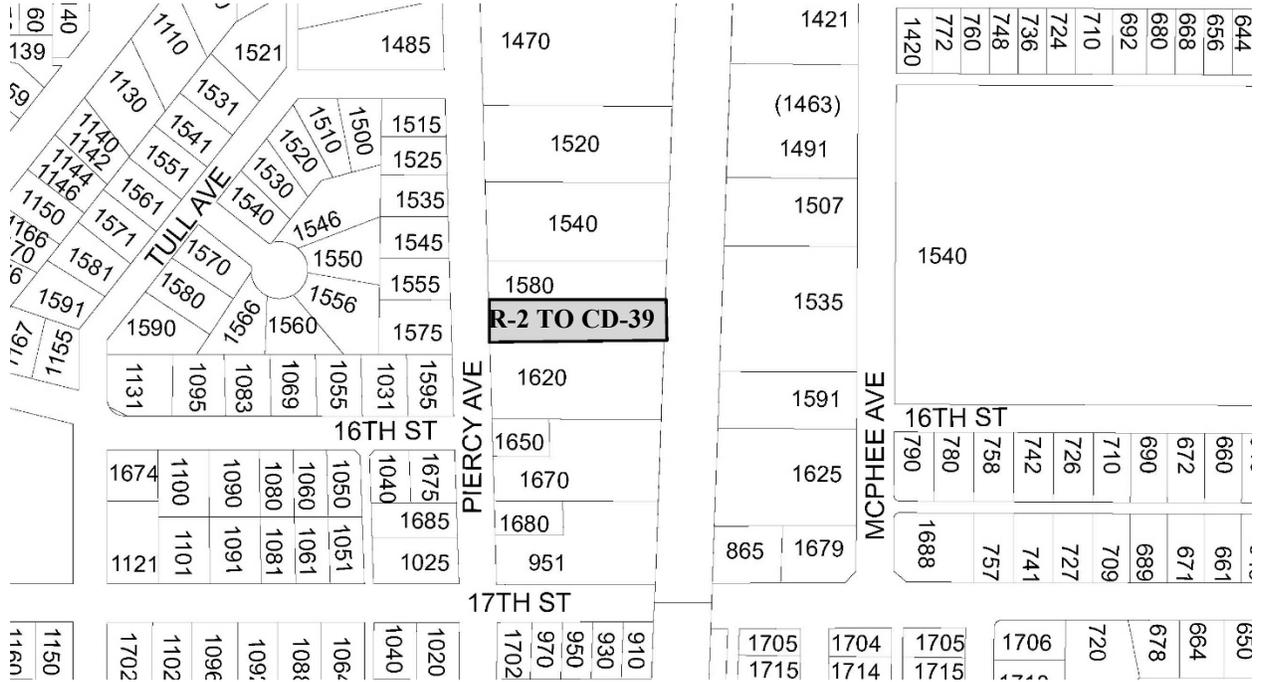




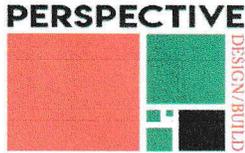




**ATTACHMENT B**



**THE CITY OF COURTENAY**  
**Attachment "B"**  
 Part of Bylaw No. 3037, 2023  
 Amendment to the  
 Zoning Bylaw No. 2500, 2007



1160 – 4<sup>th</sup> Street  
Courtenay, BC V9N 1H8  
Phone: (778) 647-2266  
Email: office@buildwithperspective.com

May 2, 2022

City of Courtenay – City Council

Re: Rezoning Application for 1590 Piercy Avenue (Nine Peaks project)

Dear Council,

Perspective Design Build Ltd. commends Council for their interest in promoting affordable housing within our community and your understanding of the urgency of the matter.

We also share this interest and have created our plans for Nine Peaks with this in mind. By taking property that once only had a small, single-family home on it and in its place adding a multi-family complex with 9 livable units, we are giving people the opportunity to enter homeownership at a more affordable price point than for a single-family home. Our target market is working singles and families or retirees with a median income. The future potential of renting these units out opens the door for those that do not qualify for homeownership.

The units will be offered for sale at a fair sale price. However, we understand the severe need for affordable housing. We realize that this is an ongoing issue with no quick resolution. To that end, Perspective Design Build Ltd. would like to offer the City of Courtenay two options to show our commitment to affordable housing.

Option 1 – A One Time contribution of \$40,000.00 to the Affordable Housing Fund.

This option would allow the funds to be directed where most needed by the Fund. Be it in support of emergency or supportive housing services, the development of new affordable housing projects or used as leverage in negotiations for additional non-market affordable housing units.

Option 2 – A Discount of \$40,000.00 on one of our strata units.

This option could be further discussed and may or may not include covenants whereby potential homeowners would be subject to qualification. Things like income qualification and covenants on title restricting resale price can be sorted out to ensure that this opportunity is held in perpetuity to any future owners of the discounted strata unit.

We look forward to hearing from City Council.

Yours Truly,

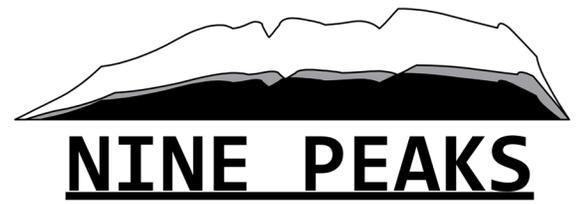
A handwritten signature in black ink, appearing to read "George Slomp".

George Slomp and Peter Bain  
Owners of Perspective Design Build Ltd.

A handwritten signature in black ink, appearing to read "Peter Bain".



1590 Piercy Avenue



May 28, 2021

To Whom It May Concern:

**Re: 1590 Piercy Avenue Rezoning Application (RZ000058)**

Perspective Design Build LTD is applying to change the Zoning of 1590 Piercy Avenue, Courtenay, BC V9N 3E9 from R-2 to a Comprehensive Development Zone for the purpose of constructing nine townhouse units. Seven of these townhouses will be two-bedroom units and two will be three-bedroom units. They will be separated into three buildings: a two-unit building facing Piercy Avenue, a four unit building in the heart of the property and a three unit building along the rear.

The lot will be developed to have a driveway, onsite parking, a garbage enclosure, bicycle parking facilities, green space, an amenity area, pathways, and a variety of native and ornamental plants and trees. Two large maple trees on the property will be retained.



View relevant documents on The City of Courtenay website [www.courtenay.ca/devapptacker](http://www.courtenay.ca/devapptacker) (search by file number or address)

If you have any comments regarding this application, please return your comments to the City of Courtenay by one of the following methods by Jun 11, 2021:

Drop your comment sheet off in the drop box located at the front entrance of the City of Courtenay or

mail: *City of Courtenay, Planning Services Department, 830 Cliffe Avenue, Courtenay BC V9N 2J7*

Email your comments to [planning@courtenay.ca](mailto:planning@courtenay.ca) Fax your comments to 250-334-4241

Regards,

George Slomp and Peter Bain, Owners

Perspective Design Build Ltd.



Email: [george@buildwithperspective.com](mailto:george@buildwithperspective.com) Phone: (778) 647-2266 or (250) 218-6939

**Schedule No. 7**

Comments received for Zoning Amendment 1590 Piercy Ave  
and Staff Responses

**COMMENT**

Hello,

I am hoping there is a chance that the garbage bin area for the proposed 1590 Piercy Ave rezoning application (RZ000058) can be moved to the other side of the parking lot. I live at 1580 Piercy (so will be direct neighbors of the new complex) and the garbage bin will be right beside my small patio and house. The housing complex on the other side (1620 Piercy) have their garbage bin on the side against the new build so it would make sense to have them both together. Thank you for considering my request.

Jessica Cote (email 9/1/2021)

**RESPONSE**

The garbage can't be moved as the suggested location is not accessible for garbage/recycling collection. The garbage enclosure for 1580 Piercy is located along the fenceline that is adjacent to a rear patio and dwelling unit. This is a similar location to what is proposed for this application.

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**COMMENT**

I live at 1620 Piercy so would be the most impacted by this development. Our living room and back patio is 4 ft from the fence line. Our concern is how close the building will be to the fence line? I can't decipher from the sketch plan. If there is no space, we will lose privacy. For the 3 units most affected, developers should be made to put bigger trees as a buffer, not the little ones proposed. We planted 5 big maples on our side of the fence in the front portion, which will benefit their development. I think they should do the same on their side. In general, like the looks of the project. In our strata we have parking for all units plus 4 visitor spots. Will they be parking on the street? Please make our concerns known to council.

Thank you...Doug Vollet (email 6/24/2021)

**RESPONSE**

The proposed duplex dwelling units will be located between 1.5 m (4.95 ft) and the rear triplex 2.2 m (7.3 ft) from the property lines. These are both side elevations and have limited windows. The units are proposed to be located a similar distance to the unit sitting on the neighbouring property. A large maple is being retained in the rear of the triplex building and a landscape buffer is proposed to be planted around the perimeter of the property.

---

COMMENT

[REDACTED]  
Courtenay, B.C  
V9N 3E9  
June 7<sup>th</sup>, 2021

RE: 1590 Piercy Avenue Nine Peaks Development

Dear Sir/Madam,

I am writing with respect to the application to rezone the above listed property (RZ000058). I am a resident of Railside Lane Townhouse Complex at 1620 Piercy Avenue which borders the intended property for redevelopment.

I do support the development of this property, however, after having read through the documents to accompany this application I have a number of concerns.

- 1) Geotech Assessment Document: The date on this document is from June of 2017 with the sampling having been done in April of 2017. This document is 4 years old, and I ask **is there a time limit on when a report as important as this for recommending what may need to be done to prepare for foundations?** Further to this, the report states multiple times that plans for what may be built have yet to be decided. As such they can only make possible recommendations based on what they have found at the test sites. I ask, **does this testing need to be carried out again prior to approval of the proposed 9 units?** Lastly, within this document there is reference to Piercy Avenue as Piercy Creek Road. These are two different locations.
- 2) Landscape Plans Document: The one question that I have with respect to these plans is **how does the plan support the biodiversity within the local area, particularly along the back portion of the property nearest to the rail line?** I can see that there are plans to keep a minimal number of the mature foliage in the area. However, a number of animals use these areas on a regular basis: raccoons, rabbits, deer (on the odd occasion), rats, a number of different bird species (including and not limited to Hummingbirds, Steller's Jay, Pileated Woodpeckers, Robins, Starlings, Great Horned Owls, Barred Owl, Northern Flicker). So I ask again, **how is the landscaping going to support this biodiversity?**
- 3) Parking Study Document: I can see that this document is taking into consideration use of the space for vehicle parking as well as alternative conventional bike and electric bike storage. As we push forwards into the future to go more green, the 30 bike storage units is definitely a great way forward. However, I can also see that the current Courtenay bylaw states that there should be a minimum of 1.5 parking spaces per unit and should include visitor parking. Present plans of 9 resident parking spaces and one visitor parking space does not meet this requirement. The study conducted on January 29<sup>th</sup> and 30<sup>th</sup>, 2021 at 9pm on 8 townhouse sites within the City of Courtenay and Comox has several flaws. 1) This data was collected during a pandemic in which residents may have been impacted economically and as such have had to reduce their household vehicle numbers. 2) The data was collected during a particularly cold and rainy part of the year and in the evening in which residents and visitors alike may not be actively out. 3) Statistically, data should be collected over multiple time periods, under multiple weather conditions in order to be valid. 4) **Why were the adjacent units/complexes on Piercy Avenue not included in this study? Would it not make more sense to see how those individuals already residing in the area use the road and complexes?** 5) The study does not include information about a Family Day Care that resides almost directly across the road from the proposed development. **If there are more residents having to park on the road then how are**

**Parents/Guardians going to find safe spaces to drop off and pick up their children?** 6) Of the sites that were observed, **what was the socio-economic status of these properties? How many belong to individuals that are retired? Single parent families?** 7) Surely, properties with garages should also be included in the report. I understand that the proposed re-development does not include garages for the residents, however, this still supports the need for parking. 8) The observation of On-Street Parking is also flawed. It states that there is a possible 157 parking spaces available. However, there is not mention of the end of Piercy Road closest to Cumberland Road being primarily commercial property and a Licensed Day Care Centre. Again, safe access to drop off and pick up children is vital and if more road parking is used this becomes a concern. 9) Another proposed development is in the works by Habitat for Humanity at the end of Piercy Road near Cumberland Road. **How much on-street parking will result from this development?** Again, this has an impact on the 157 'available spaces'. 10) Even though there is an increase in the Comox Valley for demand on E-Bikes, **how many of those individuals within the age bracket that will either rent or reside in the proposed properties? How many e-bikes were observed on January 29<sup>th</sup> and 30<sup>th</sup>? Where do the individuals who are currently purchasing these products residing within the Valley?** Just because the bike shops are seeing an increase within the Comox Valley does not mean that individuals who choose to reside locally will be using them instead of a car. And let's be honest, my husband and I have conventional bikes and are in our mid-forties and have not used our bikes in over two years for a variety of reasons. 11) The proposed development is for multi-family use. The majority of families in today's current climate have a minimum of 2 vehicles. This is in part due to the fact that both parents have to work in order to support the family. Even with individuals wanting to be more 'green' they tend to choose a hybrid or electric vehicle over an electric bike.

- 4) Plans and Elevation Duplex Document: The parking plan document references 6 short term bike spaces, however, the plans and elevation duplex document references 8. **Could someone please clarify which one it is?** This information is repeated on the Plans and Elevation Triplex Document.
- 5) Plans and Elevation Complex Document: **Is there information missing from this?** I cannot see the detailed drawings similar to those for the Duplex and Triplex portion. I am assuming that Units 3 and 6 will be the 3-bedroom, but as there is no drawing to show this, it is unclear. It is unclear where the placement of windows along the back side are and how this may affect the properties possibly being overlooked located in the Railside Lane Townhouse Complex.
- 6) Project Summary Document: This only refers to 30 bike spaces and references 10% having e-bike accommodation. This needs to be clarified as the previous documentation states different information.
- 7) 9 Units: I also have concerns as to the number of properties that are being proposed to occupy this space. The Railside Lane Townhouse Complex is twice the size of the proposed 1590 property and consists of 10 units. The Habitat for Humanity Complex which borders the proposed 1590 property on the other side is a similar size and only contains 6 units. The front and back proposed properties do not appear to have windows that would be facing the other properties. However, the middle complex of four properties do have windows that face into the Railside Lane Complex. Further, to the above concern about the need for more parking the middle complex should be reduced in size to accommodate it and possibly the direction in which it faces should be changed to ensure that the windows do not overlook other properties privacy.

I look forward to your response to the above. Please feel free to contact me by email at

Kind Regards

Christina Kurshumliu

Resident of Railside Lane Townhouse Complex and Strata Treasurer - letter in email 6/7/2021

## RESPONSE

1. Geotech Assessment Document  
There are no steep slopes on this property. The geotechnical engineer on record has confirmed the site is safe for the intended use.  
The building department may require a revised geotechnical report at the time of building permit application if that is deemed necessary.
2. Landscape Plan and biodiversity  
There are no environmentally sensitive areas identified on DP Guidelines Map 5, Terrestrial Environmentally Sensitive Areas. A 4.5 m wide landscape buffer will be planted in the rear and lesser buffers around the perimeter of the proposed development.
3. Parking study  
This comment resulted in the applicant providing an updated parking study. The two studies are attached to the staff report. The consultants concluded that the proposed number of on-site parking stalls is suitable for the proposed use and that there is adequate on street parking for the residential use.  
The specific questions asked about purchasers of EV bicycles are beyond the scope for evaluating the suitability of the proposed use. This is a requirement in the Zoning Bylaw.
4. Elevation drawings  
Revised elevation drawings were provided by the applicant. Windows are proposed on the rear elevation on the first and second floors. Overlooking onto adjacent properties is avoidable with infill and more dense developments. Landscaping will provide some screening.  
The landscape plan shows and the applicant has confirmed that the required number of bicycle parking stalls, both class I and II, are being provided.
5. Numbers of units  
The proposed density is a .4 floor area ratio and is a consistent density to the existing R-3 zone and other multi-unit developments.

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## COMMENT

I've received an information sheet regarding the 'Nine Peaks' proposed development and have the following concerns:

1. **Traffic** - This development, along with the one at 1435 Piercy, will add significant traffic along Piercy. The intersection at 17<sup>th</sup> St. and Piercy is currently a problem and there needs to be a traffic light installed to facilitate vehicles turning off of Piercy onto 17<sup>th</sup>.  
I have raised this before but I have been ignored and it is an accident waiting to happen. Given that Council has approved bike Lanes along 17<sup>th</sup>, it would make sense to rectify the situation at the same time. As well, the intersection at Piercy and Cumberland will be affected and the traffic signals should be adjusted.

2. **Consultation area** - As indicated previously, the 100 meter community consultation perimeter is inadequate. In this case, it will not even include both intersections and the impact of the development will even go beyond this.
3. **Business plan** - The City does not require a copy of the business plan (the banks/funders do). There is no indication as to the proposed sale or rental revenue anticipated and how affordable or unaffordable these units will be. Will it alleviate any of the local housing pressure?; or is it a money grab to attract new residents from areas such as the Lower Mainland.
4. **Infrastructure** - *We are already impacted by water restrictions several times a year. How will this development exacerbate this? As well, several trees will require removal and how will the city demand compliance with the recent policies?*

*Sincerely,*

*Fred Muzin (email 6/7/2021)*

  
*Courtenay V9N 1X8*

## **RESPONSE**

1. Traffic light – a traffic light has been determined to not be warranted in  
The City's Transportation Plan (2019) does not identify this intersection as one where a high number of collisions take place as a result this intersection is not identified for future improvements for vehicular traffic. Nor does the plan does not propose pedestrian or cycling related improvements for this intersection.  
Piercy itself is a recognized cycling route in the City's Cycling Network Plan. Cycling improvements at the intersection of Piercy and 17<sup>th</sup> are budgeted in the 2023 work plan.
2. Consultation area – the 100 m notification area is established in the Development Application Procedure Bylaw No. 2790. This bylaw is under review as part of the Bill 26 review and this includes notice distances.
3. Business Plan – the City does not require a business plan as part of an application. This matter is not part of evaluating the suitability of the proposed land use.
4. Infrastructure – Residents in this development will also be subject to water restrictions. The arborist report notes that trees located in the perimeter are cottonwood or red-alder and are not suitable for the landscape plan. And other trees have structural characteristics which preclude them from maturing into healthy, defect free trees.  
The landscape plan shows protection of two mature maple trees and tree replacement for those that are being removed (32 new trees).

THE CORPORATION OF THE CITY OF COURTENAY

BYLAW NO. 3037

A bylaw to amend Zoning Bylaw No. 2500, 2007

The Council of the Corporation of the City of Courtenay in open meeting assembled enacts as follows:

- 1. This bylaw may be cited for all purposes as “Zoning Amendment Bylaw No. 3037, 2023”.
- 2. That “Zoning Bylaw No. 2500, 2007” be hereby amended as follows:

(a) Amending Division 8 – Classification of Zones through the addition of:

Part 66 – Comprehensive Development 39 Zone (CD-39) 1590 Piercy Avenue as attached in **Attachment A**.

(b) By rezoning That part of Lot 3, Section 41, Comox District, Plan 4764, Shown Outlined in Red on Plan 1402-R (1590 Piercy Avenue) as shown in bold outlined on **Attachment B** which is attached hereto and forms part of this bylaw, from Residential 2 to Comprehensive Development Zone 39 (CD-39).

(c) That Schedule No. 8. Zoning Map be amended accordingly.

- 3. This bylaw shall come into effect upon final adoption hereof.

Read a first time this	14th day of June	, 2023
Read a second time this	14th day of June	, 2023
Considered at a Public Hearing this	19 <sup>th</sup> day of July	, 2023
Read a third time this	day of	, 2023
Finally passed and adopted this	day of	, 2023

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Director of Legislative Services

Approved under S.52(3)(a) of the *Transportation Act*

\_\_\_\_\_  
Tallina McRae, Development Services Officer  
Ministry of Transportation and Infrastructure  
Vancouver Island District

## ATTACHMENT A

### Part 66 – Comprehensive Development 39 Zone (CD-39) (1590 Piercy Avenue)

#### 8.66.1 Intent

The CD-39 Zone is intended to accommodate a strata development of three buildings with 9 units on the property legally described as Lot 3, Section 41, Comox District, Plan 4764, Shown Outlined in Red on Plan 1402-R. The property shall be developed substantially in accordance with Schedules A and B which form part of this zone.

#### 8.66.2 Permitted Uses

The following uses are permitted and all other uses are prohibited except as otherwise noted in this bylaw:

- (1) *Dwelling, duplex*
- (2) *Dwelling, townhouse*
- (3) *Accessory buildings and structures*
- (4) *Home occupation*

#### 8.66.3 Minimum Lot Size

A *lot* shall have an area of not less than 2,030 m<sup>2</sup>.

#### 8.66.4 Floor Area Ratio

Providing all other applicable size, shape and siting conditions are met, the maximum *floor area ratio* shall not exceed 0.40.

#### 8.66.5 Setbacks

Except where otherwise specified in this bylaw the following minimum *building setbacks* shall apply for the principle buildings:

- (1) *Front Yard* 7.5 m
- (2) *Rear Yard* 7.3 m
- (3) *Side Yard* - shall total 4.0 m, with a minimum *side yard setback* on one side of 1.5 m.

#### 8.66.6 Height of Building

Maximum *building height* shall be 7.0 m.

#### 8.66.7 Useable Open Space

*Useable open space* must be provided on a *lot* in the amount of 30.0 m<sup>2</sup> for each one-bedroom *dwelling unit* and 50.0 m<sup>2</sup> for each *dwelling unit* with two or more bedrooms.

### **8.66.8 Accessory Buildings and Structures**

Shall not be permitted except for a waste and recycling enclosure and exterior bicycle storage areas:

- (1) The side yard setback for the waste and recycling enclosure shall be 0.0 m.

### **8.66.9 Off-Street Parking and Loading**

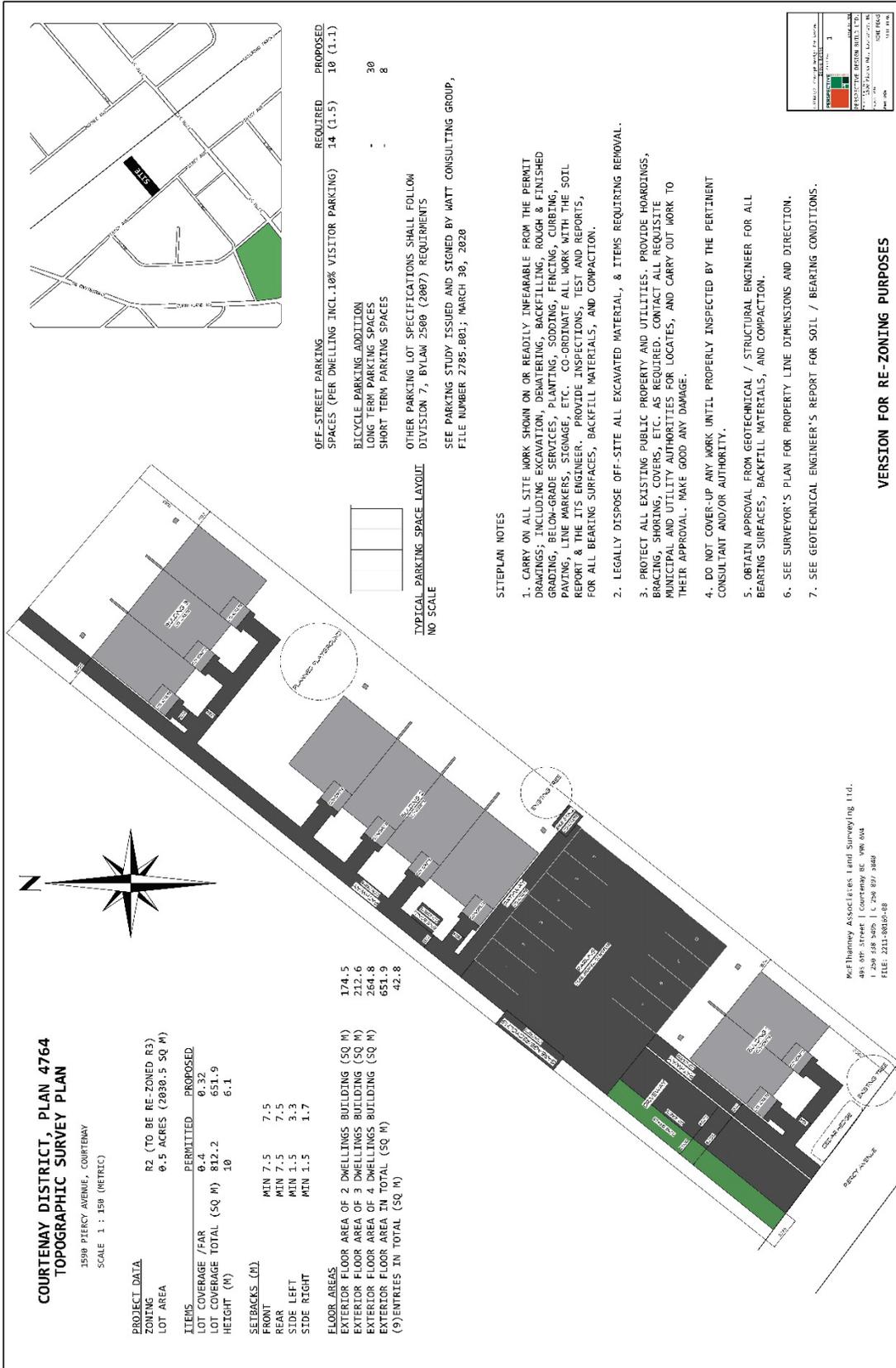
- (1) Off-street parking shall be provided and maintained in accordance with the requirements of Division 7 of this bylaw except in this zone, parking shall be provided at a rate of 1.11 parking spaces per dwelling unit inclusive of visitor parking;
- (2) Bicycle parking shall be provided and maintained in accordance with the requirements of Division 7, Part 3 of this bylaw.

### **8.66.10 Landscaping and Screening**

In addition to the Landscape Requirements in Part 14 of this bylaw, the following landscape requirements shall be met:

- (1) Landscaping shall be used to ensure privacy and to complement the overall development.
- (2) A 4.5 m landscape buffer in the rear and front yard, except for the driveway.
- (3) A 1.5 m landscape buffer for both side yards, except for the driveway and garbage enclosure.

# SCHEDULE A



## COURTENAY DISTRICT, PLAN 4764 TOPOGRAPHIC SURVEY PLAN

15th PERCY AVENUE, COURTENAY  
SCALE 1 : 150 (METRIC)

PROJECT DATA	
ZONING	R2 (TO BE RE-ZONED R3)
LOT AREA	0.5 ACRES (2030.5 SQ M)
ITEMS	
LOT COVERAGE / FAR	0.4
LOT COVERAGE TOTAL (SQ M)	812.2
HEIGHT (M)	10
SETBACKS (M)	
FRONT	7.5
REAR	7.5
SIDE LEFT	3.3
SIDE RIGHT	1.7
FLOOR AREAS	
EXTERIOR FLOOR AREA OF 2 DWELLINGS BUILDING (SQ M)	174.5
EXTERIOR FLOOR AREA OF 3 DWELLINGS BUILDING (SQ M)	212.6
EXTERIOR FLOOR AREA OF 4 DWELLINGS BUILDING (SQ M)	264.8
EXTERIOR FLOOR AREA IN TOTAL (SQ M)	651.9
(9)ENTRIES IN TOTAL (SQ M)	42.8

ITEMS	REQUIRED	PROPOSED
OFF-STREET PARKING SPACES (PER DWELLING INCL.10% VISITOR PARKING)	14 (1-5)	10 (1-1)
BICYCLE PARKING-ADDITION	-	30
LONG TERM PARKING SPACES	-	8
SHORT TERM PARKING SPACES	-	8

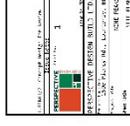
OTHER PARKING LOT SPECIFICATIONS SHALL FOLLOW DIVISION 7, BYLAW 2500 (2007) REQUIREMENTS  
SEE PARKING STUDY ISSUED AND SIGNED BY WATT CONSULTING GROUP, FILE NUMBER 2785.802; MARCH 30, 2020



TYPICAL PARKING SPACE LAYOUT  
NO SCALE

### SITEPLAN NOTES

- CARRY ON ALL SITE WORK SHOWN ON OR READILY INFERRABLE FROM THE PERMIT DRAWINGS; INCLUDING EXCAVATION, DEMATERING, BACKFILLING, ROUGH & FINISHED GRADING, BELOW-GRADE SERVICES, PLANTING, SODDING, FENCING, CURBING, PAVING, LINE MARKERS, SIGNAGE, ETC. CO-ORDINATE ALL WORK WITH THE SOIL REPORT & THE ITS ENGINEER. PROVIDE INSPECTIONS, TEST AND REPORTS, FOR ALL BEARING SURFACES, BACKFILL MATERIALS, AND COMPACTION.
- LEGALLY DISPOSE OFF-SITE ALL EXCAVATED MATERIAL, & ITEMS REQUIRING REMOVAL.
- PROTECT ALL EXISTING PUBLIC PROPERTY AND UTILITIES. PROVIDE HOARDINGS, BRACING, SHORING, COVERS, ETC. AS REQUIRED. CONTACT ALL REQUISITE MUNICIPAL AND UTILITY AUTHORITIES FOR LOCATES, AND CARRY OUT WORK TO THEIR APPROVAL. MAKE GOOD ANY DAMAGE.
- DO NOT COVER-UP ANY WORK UNTIL PROPERLY INSPECTED BY THE PERTINENT CONSULTANT AND/OR AUTHORITY.
- OBTAIN APPROVAL FROM GEOTECHNICAL / STRUCTURAL ENGINEER FOR ALL BEARING SURFACES, BACKFILL MATERIALS, AND COMPACTION.
- SEE SURVEYOR'S PLAN FOR PROPERTY LINE DIMENSIONS AND DIRECTION.
- SEE GEOTECHNICAL ENGINEER'S REPORT FOR SOIL / BEARING CONDITIONS.



Jeff Thomson, Assoc. Engrs. Land Surveying 114,  
400  
1-250-438-5005 | C-250-897-3668  
FILE: 2211-00160-08

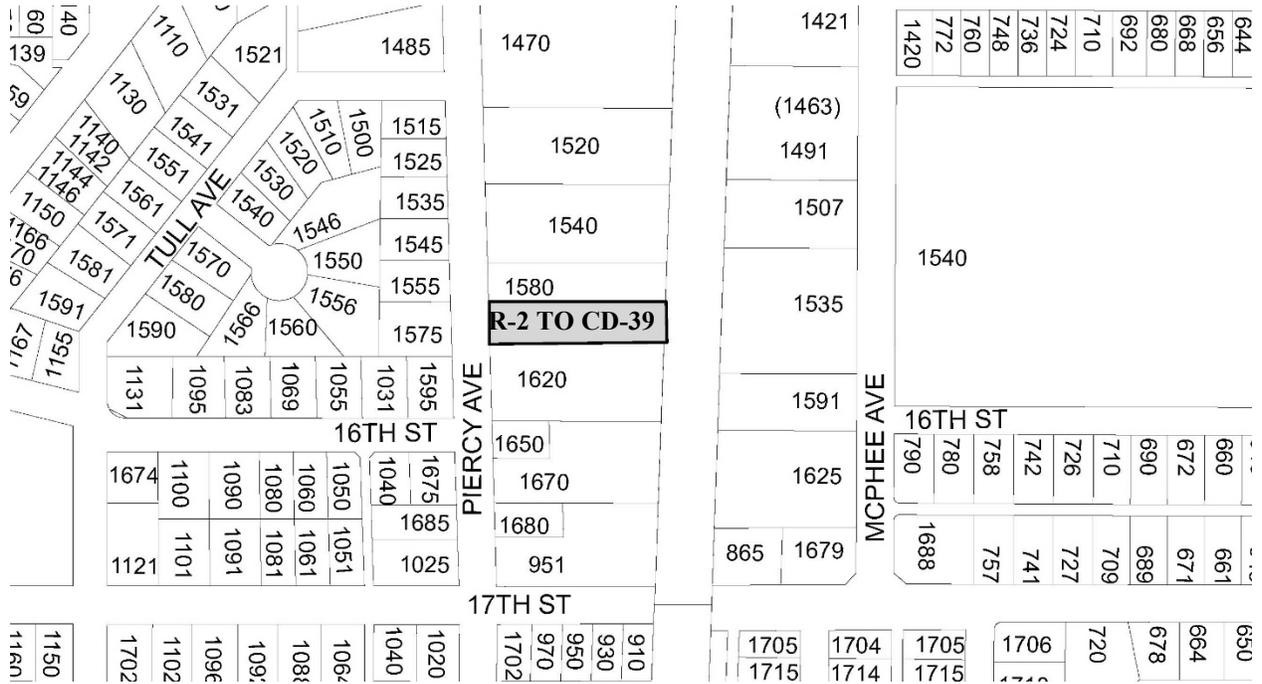
### VERSION FOR RE-ZONING PURPOSES







**ATTACHMENT B**

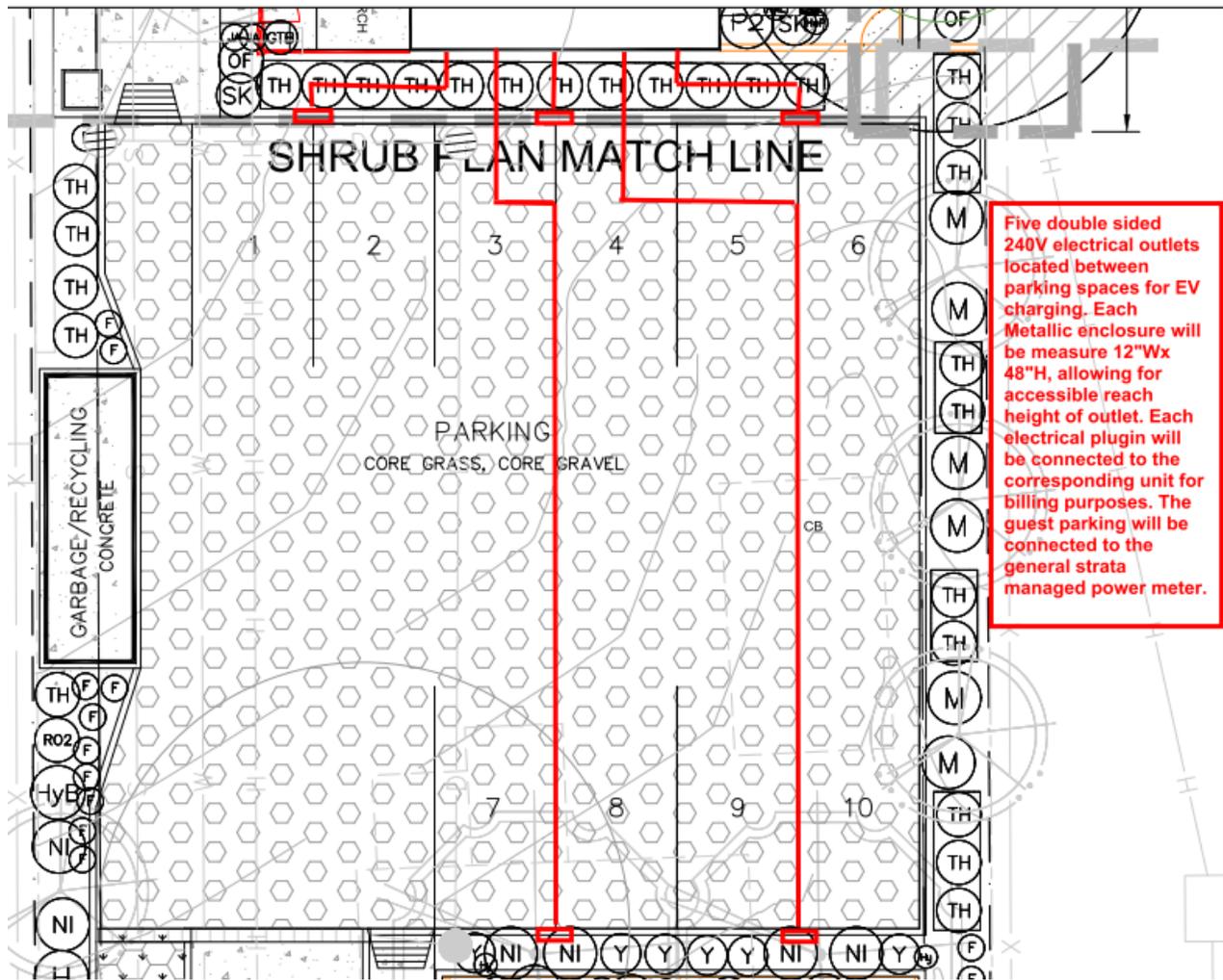


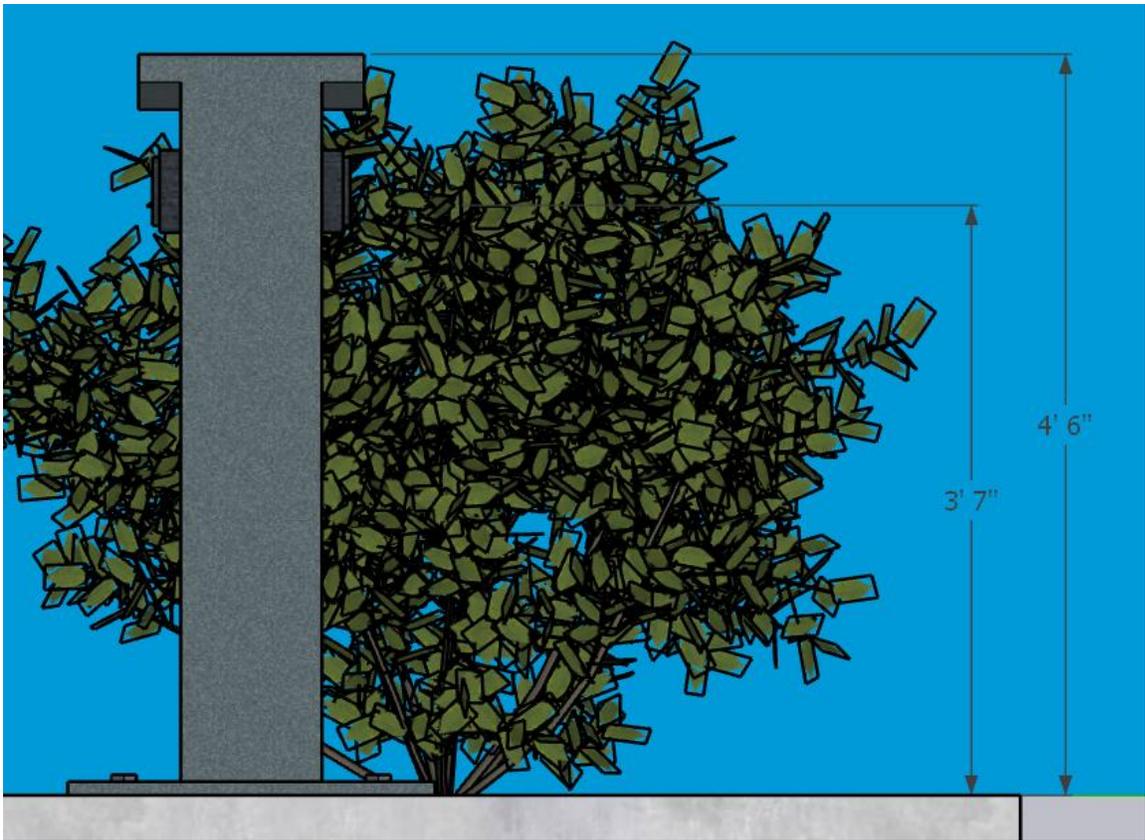
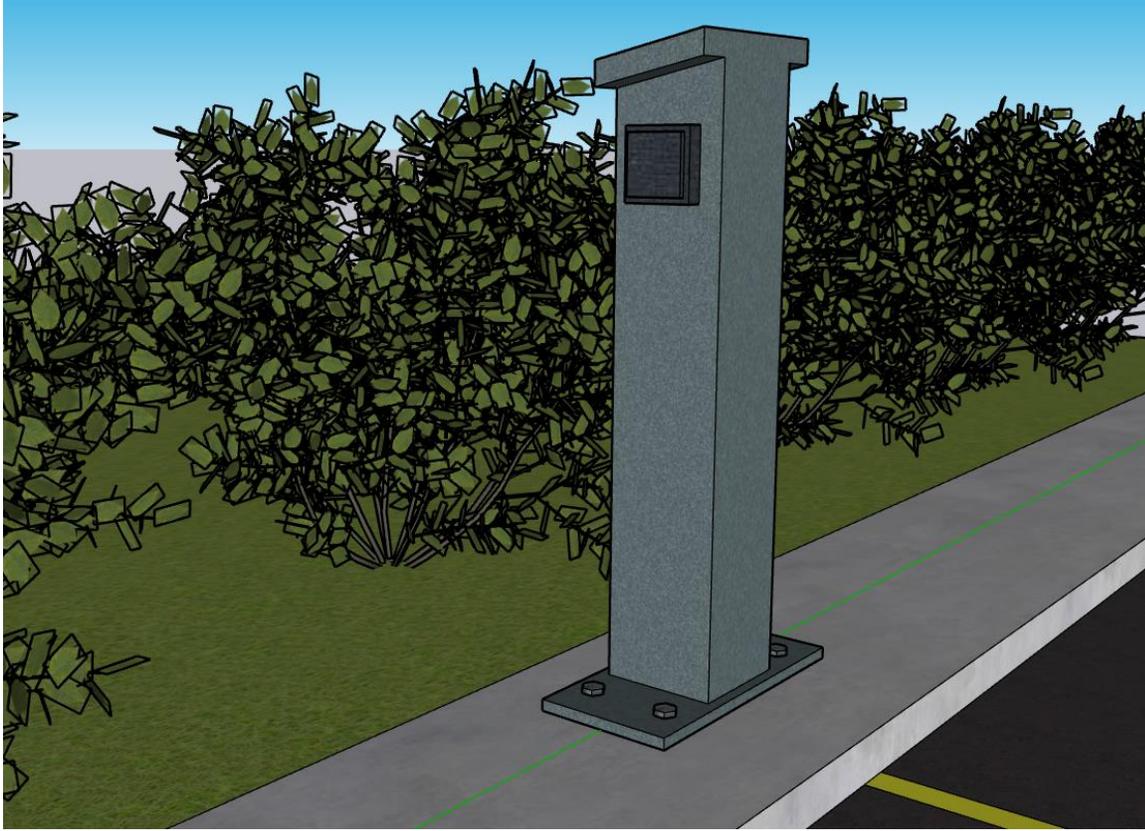
**THE CITY OF COURTENAY**  
**Attachment "B"**  
 Part of Bylaw No. 3037, 2023  
 Amendment to the  
 Zoning Bylaw No. 2500, 2007

## PROPOSED EV Charging updates 1590 Piercy Ave

EV Charging will be available for all the 9 independently owned strata units. Each of the 5 charging Towers will be located between two parking stalls. Each tower will have two 240 volt plug in units, allowing independent charging connected to the corresponding housing unit.

Charging cables will be supplied by the car owner to ensure the correct charging cable is available. An additional charging station will be available for the guest parking stall. This unit will be connected to the strata managed power meter.





**From:** [REDACTED]  
**To:** [PlanningAlias](#)  
**Subject:** RZ000058 - 1590 Piercy Avenue - Comment for Public Hearing  
**Date:** Friday, July 7, 2023 8:59:48 AM

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Hello Planning Department,

I would like to convey my support for the rezoning application RZ000058 for 1590 Piercy Avenue.

The proposal appears to be consistent with the Neighbourhood Centre land use designation of the OCP and seems like an all-around good fit with the existing multi-family neighbourhood, close access to transit, bike lanes, parks, and downtown.

I appreciate the parking area being located behind the duplex building, the landscaping and open space, the permeable paving that is proposed, and the design of the ground-oriented buildings. You can see much thought went into this proposal.

Regards,

[REDACTED]  
1944 Riverside Ln, Courtenay

**CITY OF COURTENAY**  
**BYLAW NO. 3103, 2023**

**A bylaw to repeal bylaw 3069, 2022**

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1. This bylaw shall be cited as “Council Remuneration Repeal Bylaw No. 3103”,
2. “Council Remuneration Bylaw No. 3069, 2022” be hereby repealed

READ a first time by the City Council the 12<sup>th</sup> day of July, 2023.

READ a second time by the City Council the 12<sup>th</sup> day of July, 2023.

READ a third time by the City Council the 12<sup>th</sup> day of July, 2023.

ADOPTED by the City Council this \_\_\_\_ day of \_\_\_\_, 2023.

\_\_\_\_\_  
Bob Wells, Mayor

\_\_\_\_\_  
Adriana Proton, Corporate Officer