

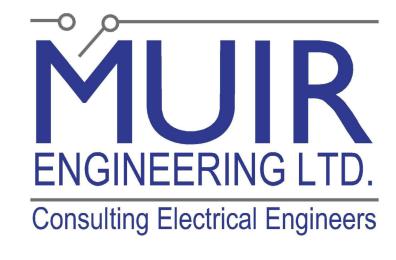


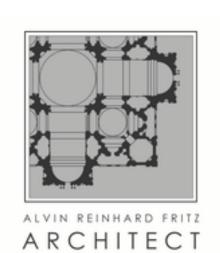


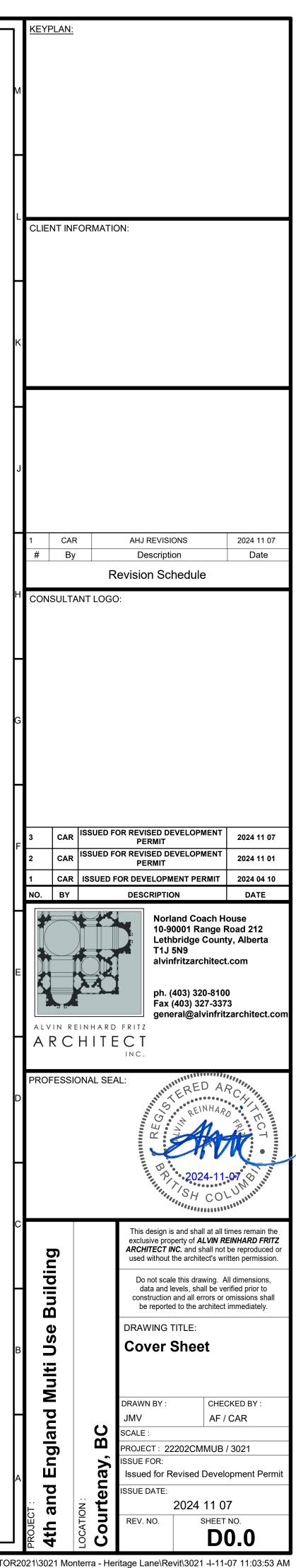


Heritage Lane 419 & 407 4th Street Courtenay, BC









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	PROJECT DISCIPTION		
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Μ	NEW PROJECT HOUSES FOUR COMMERICAL SPACES ON MAIN FLOOR WITH NINE MICRO SUITES ON REAR OF BUILDING. LEVELS TWO TO FOUR HOUSE TEN RESIDENTIAL UNITS RANGING FROM 788 SQ. FT. TO 1022 SQ. FT. ABOVE GRADE PARKADE WITH ACCESS FROM REAR LANE OF BUILDING.	LEGAL ADDRESS:	
	ADOVE GRADE FARNADE WITT ACCESS FROM REAR EANE OF DUILDING.		
		LOT: SETION:	A, B 61
		LAND DISTRICT: PLAN NO.:	15 VIP45735
		ADDRESS:	407 4th STREET COMOX, BC
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	PROJECT DIRECTORY		
	PLANNING DEPARTMENT: BUILDING SAFETY OWNER: DEPARTMENT: DEPARTMENT: MONTERRA PROJECTS LTD. RENWEST INVESTMENTS LTD.	ARCHITECT: ALVIN REINHARD FRI	
	830 CLIFFE AVENUE CITY OF COURTENAY 630 CLIFFE AVENUE GARRY RENKEMA 630 CLIFFE AVENUE 515 DUNCAN AVENUE 640 DUNCAN AVENUE PO BOX 3734	ALVIN FRITZ / CARLOS 10 - 90001 RANGE	5 ROMAN
<	E-MAIL: planning@courtenay.ca COURTENAY, BC V9N 2J7 COURTENAY, BC V9N 2J7 COURTENAY, BC V9N 2J7 PHONE: 250-703-4839 E-MAIL: building@courtenay.ca COURTENAY, BC V9N 2J7 COURTENAY, BC V9N 2M6 COURTENAY, BC V9N 7P1	LETHBRIDGE COUNTY E-MAIL: afrıtz@alvınfrı	, ALBERTA TIJ 5N9
	PHONE: 250-338-2414 PHONE: 250-338-2414 CELL: 250-331-1870	-	fritzarchitect.com
		FAX: 403327-337	
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	GENERAL NOTES :		
	I. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ¢ INSPECTIONS REQUIRED FOR CERTIFICATE OF OCCUPANCY.	DO.0 DO.1	Cover Sheet Project Information
	 ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE <u>NBC 2024 BC</u>, LAWS, RULES,	DO.2 DO.3	Architectural Abbre Construction Types
	3. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SHORING AND BRACING FOR ALL STRUCTURAL ELEMENTS AS REQUIRED UNTIL NEW STRUCTURAL MEMBERS ARE PERMANENTLY INSTALLED, WHETHER INDICATED ON THE DRAWINGS OR NOT. IF THE	D0.4	Building Code Revie
	CONTRACTOR IS UNSURE WHETHER OR NOT TO PROVIDE TEMPORARY SHORING AND BRACING, THE CONTRACTOR SHALL REQUEST INFORMATION FROM THE ARCHITECT OR STRUCTURAL ENGINEER, IN WRITING, PRIOR TO COMMENCEMENT OF WORK.	DI.I DI.2	Site Information Survey Plan
	4. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND CRITICAL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY OWNER & ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. THIS VERIFICATION	DI.3 DI.4	Context Plan Site Plan
	SHALL INCLUDE BUT IS NOT LIMITED TO LOCATION OF NEW FRAMING MEMBERS, LINES OF SUPPORT, LOCATIONS OF ANCHOR BOLTS, HOLD DOWNS, EXISTING SITE CONDITIONS, AND UTILITIES PRIOR TO ORDERING MATERIALS.	D2.1	Parkade Plan
	 CONTRACTOR TO VERIFY FIT & FINISH REQUIREMENTS FOR ALL PROJECT COMPONENTS, WITH OWNER, PRIOR TO ORDERING MATERIALS. REPORT CONFLICTING INFORMATION TO OWNER PRIOR TO PROCEEDING WITH WORK. CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION & CONSTRUCTION DEBRIS AS REQUIRED BY PROVINCIAL & MUNICIPAL 	D2.2 D2.3	Maın Floor Plan Second Floor Plan (
	REQUIREMENTS. NO CONSTRUCTION RELATED WASTE PRODUCT SHALL BE ALLOWED TO ENTER THE SANITARY SEWER OR THE STORM SEWER. GROUTS AND CEMENTITIOUS MATERIALS MUST BE DISPOSED IN LANDFILL.	D2.4 D2.5	Fourth Floor Plan Roof Plan
	7. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, AS REQUIRED BY CODE, ARE TESTED BY INDEPENDENT LABORATORIES AND THAT RESULTS ARE FURNISHED TO LOCAL BUILDING AUTHORITIES, OWNER, AND THE PROJECT CONSULTANTS IF	D2.6	Suite Plans
	REQUESTED. 8. CONTRACTOR SHALL STENCIL/LABEL ON ALL RATED WALLS IN CONCEALED AREAS THE FOLLOWING: "FIRE AND SMOKE BARRIER -	D2.7 D2.8	Suite Plans Suite Plans
	PROTECT ALL OPENINGS". 9. BY THE USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT THEY HAVE REVIEWED AND APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE.	D3.1 D4.1	Elevations Building Section
	APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE. 10. CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER CONTRACTORS FURNISHING THE LABOR, MATERIALS, AND ALL WORK, SO THAT THE WORK AS A WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY. THE OWNER AND THE	D5.1	Building View
	CONSULTANTS SHALL NOT BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY AND NEGLIGENT ACTS OR OMISSIONS BY THE GENERAL CONTRACTOR OR THE SUBCONTRACTORS ON THE JOB.		
	II. CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING, BUT NOT LIMITED TO, ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND CIVIL. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF		
	THE OWNER & ARCHITECT PRIOR TO ANY WORK. I 2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUAINT THEMSELVES WITH THE DIMENSIONS OF ALL EQUIPMENT INCLUDED IN THIS PROJECT SO THAT PREPARATIONS CAN BE MADE TO PROVIDE ENTRY INTO THE FACILITY WITH SUFFICIENT		
	INCLUDED IN THIS PROJECT SO THAT PREPARATIONS CAN BE MADE TO PROVIDE ENTRY INTO THE FACILITY WITH SUFFICIENT CLEARANCE, AND TO ENSURE THAT ADEQUATE FLOOR SPACE IS AVAILABLE. 13. CONTRACTOR SHALL NEVER SCALE DRAWINGS. LOCATIONS FOR ALL PARTITIONS, WALLS, CEILINGS, ETC. WILL BE DETERMINED BY		
	DIMENSIONS ON THE DRAWINGS. ANY SUCH DIMENSIONS MISSING FROM THE PLANS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT IMMEDIATELY.		
	14. THE CONTRACTOR SHALL ADHERE TO THE DRAWINGS AND SPECIFICATIONS. SHOULD ANY ERROR OR INCONSISTENCY APPEAR REGARDING THE TRUE MEANING AND/OR INTENT OF THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY		
	REPORT SAME TO THE ARCHITECT WHO WILL MAKE ANY NECESSARY CLARIFICATION, INTERPRETATION, OR REVISION AS REQUIRED. I 5. IF THE CONTRACTOR DISCOVERS AN ERROR OR INCONSISTENCY AND PROCEEDS WITH WORK WITHOUT NOTIFYING THE OWNER ≰ ARCHITECT OF ANY SUCH DISCREPANCIES, THE CONTRACTOR SHALL ASSUME ALL CHARGES AND MAKE ANY CHANGES TO HIS WORK		
	MADE NECESSARY BY THE CONTRACTORS FAILURE TO OBSERVE AND/OR REPORT THE CONDITION. I.G. IF THE INTENT OF THE DRAWINGS & SPECIFICATIONS ARE UNCLEAR. THE CONTRACTOR SHALL ASK THE ARCHITECT FOR		
	CLARIFICATION, PRIOR TO PROCEEDING WITH WORK, IN THE FORM OF A WRITTEN R.F.I. (REQUEST FOR INFORMATION). THE ARCHITECT SHALL THEN RESPOND IN WRITING TO ALL APPROPRIATE PARTIES.		
	17. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSS, DAMAGE, FIRE, THEFT, ETC.		
	 18. WHEREVER THE TERM "OR EQUAL" IS USED, IT SHALL MEAN EQUAL PRODUCT AS APPROVED IN WRITING BY ARCHITECT. 19. IF THE CONTRACTOR PROPOSES A MATERIAL OR EQUIPMENT SUBSTITUTION THE CONTRACTOR SHALL PROVIDE ALL APPROPRIATE 		
	DOCUMENTATION AND INFORMATION REQUIRED FOR THE ARCHITECT TO DETERMINE WHETHER OR NOT THE SUBSTITUTION IS EQUAL TO THE SPECIFICATION. ANY CHANGES TO THE DESIGN, AFTER ISSUANCE OF A BUILDING PERMIT, SHALL BE SUBMITTED TO THE PRESIDING BUILDING AGENCY FOR APPROVAL BY THE GENERAL CONTRACTOR.		
	20. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY IN-WALL FRAMING/BLOCKING REQUIRED TO CARRY SHELF, HANGING, AND VALANCE LOADS, RAILINGS, ETC. AS PER PLANS.		
	 PROVIDE SILICONE SEALANT AT ALL JOINTS AND INTERFACES OF ALL COUNTERTOPS, EQUIPMENT AND WALLS. PROJECT SHALL BE LEFT CLEANED, POLISHED, AND MOVE-IN READY AS PER EACH PRODUCT SPECIFICATION/RECOMMENDATIONS 		
	AFTER COMPLETION OF WORK. 23. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL FOOD SERVICE EQUIPMENT AND COORDINATE LOCATION OF FLOOR SINKS, FLOOR DRAINS, SLOPES/SLAB DEPRESSIONS AND RAISED CURBS, ELECTRICAL AND PLUMBING STUB OUTS, AND ALL OTHER WORK		
	FLOOR DRAINS, SLOPES/SLAB DEPRESSIONS AND RAISED CURBS, ELECTRICAL AND PLUMBING STUB OUTS, AND ALL OTHER WORK UNDER THIS SCOPE OF RESPONSIBILITY RELATED TO THIS EQUIPMENT. REFER TO OWNERS FOOD SERVICE EQUIPMENT SUPPLIER FOR SPECIFIC REQUIREMENTS & REFERENCES. EQUIPMENT DRAWINGS ARE INCLUDED FOR REFERENCE ONLY. ACTUAL SHOP		
	DRAWINGS FOR THE SPECIFIC PROJECT MAY VARY. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE SUPPLIERS FOR THE MATERIALS REPRESENTED BY SHOP DRAWINGS.		
	24. CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, UNCRATING, INSTALLATION AND HOOK-UP OF ALL FOOD SERVICE EQUIPMENT AND OTHER OWNER FURNISHED ITEMS UNLESS OTHERWISE NOTED.		
	25. CONTRACTOR SHALL REFER TO THESE DOCUMENTS, AS WELL AS SPECIFICATIONS, FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. CONTRACTOR SHALL VERIFY WITH OWNER, PRIOR TO ORDERING, WHICH ITEMS THE OWNER SHALL SUPPLY. ALL ITEMS NOT		
	MARKED AS 'OWNER SUPPLIED' ARE TO BE SUPPLIED BY THE CONTRACTOR. UNLESS NOTED OTHERWISE ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR. 26. MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISHES SHALL CONFORM TO THE NBC 2024 BC AND LOCAL GOVERNING		
	 26. MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISHES SHALL CONFORM TO THE <u>NBC 2024 BC</u> AND LOCAL GOVERNING BUILDING CODES/ORDINANCES. 27. CONTRACTOR SHALL CONTACT THE LOCAL FIRE MARSHALL, AND PROVIDE AND INSTALL FIRE EXTINGUISHERS PER THE FIRE 		
	MARSHAL'S DIRECTION, INCLUDING: TYPE, QUANTITY, AND LOCATIONS. AS A MINIMUM, CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS HAVING A RATING OF 2-A I O-BC FOR EVERY 3,000 S.F. OF FLOOR AREA AND TRAVEL DISTANCE TO AN		
	EXTINGUISHER SHALL NOT EXCEED 75 FEET AS PER MECHANICAL REQUIREMENTS. 28. FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS/DATA		
	SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. 29. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF WORK TO VERIFY LOCATIONS OF ALL UNDERCROUND UTILITIES - NOTIFY ARCHITECT IN MEDIATELY IF CONFLICTS EVIST BETWEEN EVISTING UTILITIES AND NEW		
	UNDERGROUND UTILITIES. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION. PATCH, REPAIR, AND/OR REPLACE ALL ADVERSELY AFFECTED FINISHES AND/OR SURFACES AS REQ'D. UPON COMPLETION OF CONSTRUCTION. ALL PARKING AREA PAVEMENT AND NEW CONCRETE PADS SHALL TRANSITION SMOOTHLY.		
	30. DOCUMENTS MARKED "BID DOCUMENTS" SHALL NOT BE USED FOR CONSTRUCTION. 31. POST OCCUPANT LOAD SIGN LISTED IN SPECIFICATIONS PER AUTHORITIES HAVING JURISDICTION.		
	 32. INSTALL ADDRESS NUMBERS PER SPECIFICATIONS OR LOCAL GOVERNING AGENCY DIRECTIONS. 33. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT WHO SHALL REVIEW THEM AND 		
	PROVIDE A NOTATION INDICATING THAT THEY ARE DEFERRED. 34. SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE W/THE DESIGN OF THE BUILDING.		
	THESE SUBMITTAL ITEMS MUST THEN BE SUBMITTED TO THE BUILDING OFFICIAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTALS ARE AS FOLLOWS		
	SUBMITTALS ARE AS FOLLOWS: A. TRUSS DRAWINGS AND CALCULATIONS B. EXHAUST HOOD AUTOMATIC FIRE EXTINGUISHING SYSTEM (AS REQUIRED)		
	 B. EXHAUST HOOD AUTOMATIC FIRE EXTINGUISHING SYSTEM (AS REQUIRED) C. ALARM MONITORING SYSTEM (AS REQUIRED) 35. SUBMIT SAMPLES IN TRIPLICATE FOR ALL FINISHES. LABEL SAMPLES WITH ORIGIN & INTENDED USE. A WRITTEN ENDORSEMENT WILL 		
	BE SUBMITTED BACK TO THE GENERAL CONTRACTOR WITH ACCEPTANCE OF THE SAMPLE. COORDINATE WITH ARCHITECTURAL SPECIFICATIONS SECTION 01 33 00 "SUBMITTAL PROCEDURES" POINT #1.5.		
	36. ALL WALLS THAT HAVE AN STC RATING OF 50 OR MORE REQUIRE ACOUSTICAL CAULKING AROUND ELECTRICAL BOXES AND OTHER OPENINGS, AS WELL AS AT THE JUNCTION OF INTERSECTING WOOD FRAMING AND STEEL STUD WALL AND FLOORS.		
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STRUCTURAL ENGINEER:

GLOTMAN SIMPSON GROUP OF COMPANIES JAMES MACAULEY IGGI W 5TH AVE VANCOUVER, BC VGJ 1N5 E-MAIL: jmacauley@glotmansimpson.com PHONE: 250-900-4915

MECHANICAL ENGINEER

9 8 7 6 5

AVALON MECHANICAL TIM ROBERTSON 300 - 1245 ESQUIMALT RD VICTORIA, BC V9A 3P2 E-MAIL: trobertson@avalonmechanical.com PHONE: 250-585-9121

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ELECTRICAL ENGINEER

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MUIR ENGINEERING LTD. BRIAN MUIR I 822 COMOX AVE UNIT E COMOX, BC V9M 3M7 E-MAIL: brian@muireng.ca PHONE: 250-890-0870

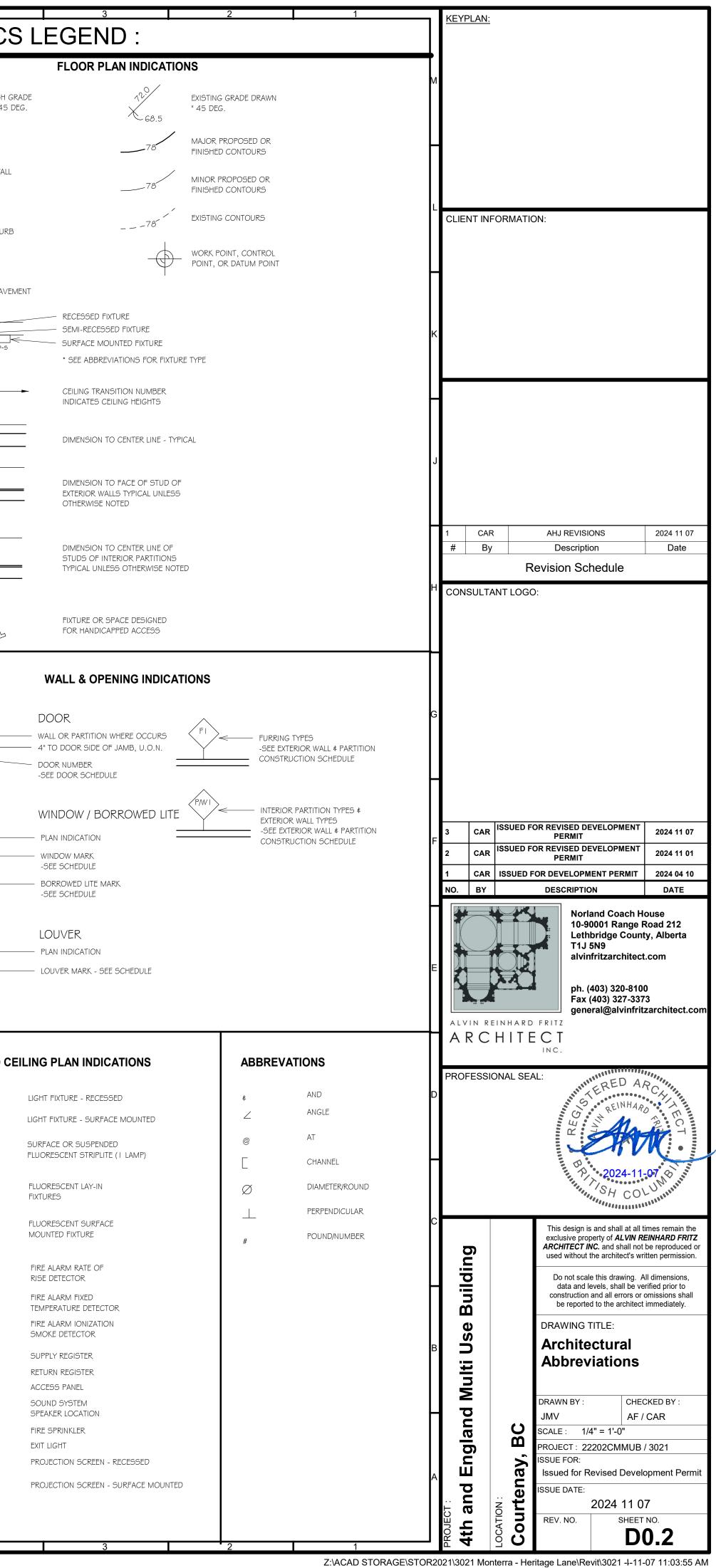
Sheet Name
Cover Sheet
Project Information
Architectural Abbreviations
Construction Types
Building Code Review
Site Information
Survey Plan
Context Plan
Site Plan
Parkade Plan
Main Floor Plan
Second Floor Plan (Typ. 2-3)
Fourth Floor Plan
Roof Plan
Suite Plans
Suite Plans
Suite Plans
Elevations
Building Section
Building View

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	HITECTURAL	ABBF	REVIATIONS :					ARCHITECTURAL MATERIALS 8	GRAPHICS
A.C. A.B. ABV.	AIR CONDITIONING ANCHOR BOLT ABOVE	ENCL. ENTR. E.O.	ENCLOSURE ENTRANCE ELECTRICAL OUTLET	L.D. LD. BRG. LDG.	LINEAR DIFFUSER LOAD BEARING LANDING	5. 5.A.G. SAN.	SOUTH SUPPLY AIR GRILLE SANITARY	MATERIAL INDICATIONS DETAIL INDICATIONS	
A.C. ACOUS. ACOUS. INSUL. ACOUS. PLAS.	ASPHALTIC CONCRETE ACOUSTICAL ACOUSTICAL INSULATION ACOUSTICAL PLASTER	E.O.S. E.O.P. E.P.	EDGE OF SLAB EDGE OF PAVEMENT ELECTRICAL PANELBOARD	L.F. LG. L.H. L.H.R.	LINEAL FOOT LENGTH LEFT HAND LEFT HAND REVERSE	S.B. S.C. S.C.D. SCHED.	SPLASH BLOCK SOLID CORE SEAT COVER DISPENSER SCHEDULE	ASPHALT ROOF WOOD FRAMING	NEW FINISH GRA DRAWN " 45 DE
ACOUS. PNL. ACOUS. TILE ACR. PL.	ACOUSTICAL PANEL ACOUSTICAL TILE ACRYLIC PLASTIC	EQ. EQPT. EQL. SP. E.S.	EQUAL EQUIPMENT EQUALLY SPACED EDGE OF SHOULDER	LIB. LIQ. LKR.	LIBRARY LIQUOR LOCKER	S.C.M.U. SCPR. SCRN.	SOLID CORE MASONRY UNIT SCUPPER SCREEN	THROUGH MEMBER	~~ 68.5
A.C.U. AC.W.T. A.D. A.D.	AIR CONDITIONING UNIT ACOUSTICAL WALL TREATMENT AREA DRAIN ACCESS DOOR	E.S. ESCAL. E.W. E.W.C EXH.	ESCALATOR EACH WAY ELECTRIC WATER COOLER EXHAUST	LKR. RM. L.L. L.L.H. L.L.V.	LOCKER ROOM LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL	S.D. S.D. S.D. S.D.	SMOKE DETECTOR SOAP DISPENSER STORM DRAIN SUPPLY DIFFUSER	WOOD FRAMING INTERRUPTED	TOP OF WALL
ADJ. ADJC. A.F. A.F.F.	ADJUSTABLE ADJACENT ACCESS FLOOR	EXH. DT. EXH. FN. EXH. GR. EXH. HD.	EXHAUST DUCT EXHAUST FAN EXHAUST GRILLE EXHAUST HOOD	LNTL. LOC. LONG. L.P.	LINTEL LOCATION LONGITUDINAL LIGHT POLE	S.D.A. S.DISH. S.D.MH	SELF DRILLING ANCHOR SOAP DISH STORM DRAIN MANHOLE	BRICK & STONE MASONRY - SECTION	TOP OF WALL
A.F.G. A.F.S. AGGR. AHR.	ABOVE FINISHED FLOOR ABOVE FINISHED GRADE ABOVE FINISHED SLAB AGGREGATE	EXP. EXPO. EXP. BT.	EXPANSION EXPOSED EXPANSION BOLT	L.PT. L.R. L.R.V.	LOW POINT LIVING ROOM LOUVERED ROOF VENT	S.D.WIT, S.F. SGL. SH. SHR. SHTHG.	SECTION SQUARE FEET SINGLE SHELF SHOWER	GLU-LAM BEAM	06.
AHR. A.H.U. AL. ALT.	ANCHOR AIR HANDLING UNIT ALUMINUM ALTERNATIVE	EXP. JT. EXST. EXST. GR. EXT.	EXPANSION JOINT EXISTING EXHAUST GRILLE EXTERIOR	L.S. LT. LTG. LVL.	LOUD SPEAKER LIGHT LIGHTING LEVEL(ER)	SHR. SHTHG. SHV. SIM.	SHEATHING SHELVES(ING)		
ANOD. A.P. APPROX.	ANODIZED ACCESS PANEL APPROXIMATE	EXTR. F. F.BRK.	EXTRUSION FEMALE	LVR. LW. PLAS. LW.C.	LOUVER LIGHTWEIGHT PLASTER LIGHTWEIGHT CONCRETE	S.J. SK.	SIMILAR SCORED JOINT SINK STEEL LADDER	UNIT - SECTION BACKER BD	10 ⁸ . 5 ¹
APT. A.R.F. A.S.C. ASPH. ASYM.	APARTMENT ABOVE RAISED FLOOR ABOVE SUSPENDED CEILING ASPHALT (PAVING)	F/F F.A. F.A.C.P.	FIRE BRICK FACE TO FACE FIRE ALARM FIRE ALARM CONTROL PANEL	M. MACH. RM. MAINT. RM. MATL.	MALE/METER MACHINE ROOM MAINTENANCE ROOM	S.L. SLP. SLDG. SLNT. S.M.	SLOPE SLIDING SEALANT SHEET METAL	CONCRETE	TOP OF PAVEMI
ASYM. A.W. B.	ASYMMETRICAL ARCHITECTURAL WOODWORK BATHROOM	F.B. F.BD. F.CO. F.C.U.	FLAT BAR FIBERBOARD FLOOR CLEANOUT FAN COIL UNIT	MAS. MAX. M.B.	MATERIAL MASONRY MAXIMUM MACHINE BOLT	S.N.D. SP. SPEC. SPKR.	SANITARY NAPKIN DISPENSER SPACE SPECIFICATION SPEAKER	CULTURED STONE CULTURED STONE VENEER	ep-r
B/B BB. BB.R. B. BS	BACK TO BACK BASEBOARD BASEBOARD RADIATION BOTTOM OF BACKSLOPE	F.D. F.DMPR. FDN.	FLOOR DRAIN FIRE DAMPER FOUNDATION	M.B.H. M.BR. M.C. M.C.	MOP & BROOM HOLDER MASTER BEDROOM MEDICINE CABINET MOTOR CONTROL CENTER	SPKLR. SPLB. SQ.	SPRINKLER SPLASHBACK SQUARE		ep-sr ep-sr ep-s
B.BS. B.C. BD. BETW.	BACK OF CURB BOARD BETWEEN	F.EXT. F.E.C. F.F. F.F.A.	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FAR FACE FROM FLOOR ABOVE	M.D.O. MECH. MED. MEMB.	MOTOR CONTROL CENTER MEDIUM DENSITY OVERLAID MECHANICAL MEDIUM MEMBRANE	SQ. FT. SQ. IN. SQ. M. SQ. MM.	SQUARE FOOT SQUARE INCH SQUARE METER SQUARE MILLIMETER	GLASS	<u>8'-0"</u> 0'-0"
BEV. B.F. B.F. BITUM.	BEVEL BOTH FACES BOTTOM FACE BITUMINOUS	F.F.B. F.F¢E. F.F.S. FGL.	FROM FLOOR BELOW FURNITURE, FIXTURE AND EQUIPMENT FINISH FLOOR SEPARATION FIBERGLASS	MET. MEZZ. MFR.	METAL MEZZANINE MANUFACTURER	SQ. YD. S.R. S.SK. S.ST.	SQUARE YARD SEMI RECESSED SERVICE SINK STAINLESS STEEL	GRANULAR BASE, PROFILE ONLY) CRUSHED ROCK	
B.JT. B.L. BLDG.	BED JOINT BASE LINE BUILDING	F.H.C. F.H.P. FIN.	FIRE HOSE CABINET FULL HEIGHT PARTITION FINISH	MH. MIN. MIR. MISC.	MANHOLE MINIMUM MIRROR MISCELLANEOUS	ST. ST. STA.	STONE STREET STATION		
BLK. BLKG. BLW. BLW. CLG.	BLOCK BLOCKING BELOW BELOW CEILING	FIN. FLR. FIN. GR. FIXT. FI	FINISH FLOOR FINISH GRADE FIXTURE FLASHING	M.L. MLDG. MLWK.	METAL LATH MOLDING MILLWORK	STAG. STD. STIF. STI	STAGGERED STANDARD STIFFENER STEEL		
B.F.F. BM. B.M.	BELOW FINISHED FLOOR BEAM BENCH MARK	FLDG. FLR. FLR. FIN. FLR. FIN.	FOLDING FLOOR(ING) FLOOR FINISH	MM. M.O. MOD. MOD.	MILLIMETER MASONRY OPENING MODIFIED MODULAR	STL. STL. JST. STL. PL. STOR. STP	STEEL JOIST STEEL PLATE STORAGE	RIGID INSULATIONHIDDEN LINE	
BOT. BR. BRCG. BRDG.	BOTTOM BEDROOM BRACING BRIDGING	FLR. PL. FLR. REG. FLR. SK. FLT. GL.	FLOOR PLATE FLOOR REGISTER FLOOR SINK FLOAT GLASS	M.R. MRK. BD. MTD. MTG.	MOISTURE RESISTANT MARKERBOARD MOUNTED MOUNTING	STR. STRUC. STRUCT. SURF.	STRAIGHT STRUCTURE STRUCTURAL SURFACE	OVERHEAD LINE	
BRG. BRG. PL. BRK. BRKT.	BEARING BEARING PLATE BRICK	FLUOR. F.N.D. F.N.V.	FLUORESCENT FEMININE NAPKIN DISPOSAL FEMININE NAPKIN VENDOR FACE OF	MTG. MUL. MVBL. N	MOUNTING MULLION MOVEABLE NORTH	SURR. SUSP. SUSP. CLG. SVC.	SURROUND SUSPENDED SUSPENDED CEILING SERVICE	PROPERTY LINE	
B.S. BSMT. B.T.	BRACKET BOTH SIDES BASEMENT BATH TUB	F.O. F.O.C. F.O.F. F.O.M.	FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF SLAB	N. N.A. NAT. N.F.	NOT APPLICABLE NATURAL NEAR FACE	SWK. SW. SWR.	SIDEWALK SWITCH SEWER	FOAM, PARGINGPEEL & STICK MEMBRANE LINE	
BTWN. B.U. B.U.R. B.W.	BETWEEN BUILT-UP BUILT-UP ROOFING BOTH WAYS	F.O.S. F.O.S. F.O.W. FPL.	FACE OF STUDS FACE OF WALL	N.I.C. NO. NOM. N.P.	NOT IN CONTRACT NUMBER NOMINAL NO PAINT	SYMM. SYS. T.	SYMMETRICAL SYSTEM TINTED	IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	
C¢G C/C	CURB AND GUTTER CENTER TO CENTER	FPL. FPRP. F.R. F.RS.	FIREPLACE FIREPROOF FIRE RATING FIRE RESISTANT	N.S. N.T.S.	NEAR SIDE NOT TO SCALE OVER	T∉B T∉G T¢S	TOP AND BOTTOM TONGUE AND GROOVE TUB AND SHOWER	STEEL BATT INSULATION LINE	GL
CABT. CAB. H. CARP. CAV.	CABINET CABINET HEATER CARPET CAVITY	FR. F.R.G. F.R.P. FRZ.	FRAME FIBER REINFORCED GYPSUM FIBERGLASS REINFORCED PLASTIC/ POLYESTER FREEZER	0. 0/0 0.A. 0A.	OUT TO OUT OUTSIDE AIR OVERALL	TACKBD. T.B. T.B. T.B.E.	TACKBOARD TOP OF BEAM TOWEL BAR THREADED BOTH ENDS		
C.B. C.B.B. C.GD. C.F.B	CORNER BEAD CEMENTITIOUS BACKER BOARD CORNER GUARD CONCRETE EQUIPMENT BASE	FRT. F.R.T.W. F.S. F.S.	FRONT FIRE RETARDANT TREATED WOOD FAR SIDE	0.A.G. 0.C. 0.D. 0.F	OUTSIDE AIR GRILLE ON CENTER OUTSIDE DIAMETER (DIMENSION) OUTSIDE FACE	T.D. T.E. TEL. TEMP.	TRENCH DRAIN TOP ELEVATION TELEPHONE	WOOD FINISH	
C.E.B. CEM. CEM. PLAS. CER. TILE	CEMENT CEMENT PLASTER CERAMIC TILE	F.S. F.S. F.S.H. F.SP.	FLOOR SINK FULL SIZE FIRE SPRINKLER HEAD FIRE STANDPIPE	0.F. 0.F./C.I. 0.F./0.I.	OWNER FURNISHED/ CONTRACTOR INSTALLED OWNER FURNISHED/	TEMP. TER. T.F.A.	TEMPERED TEMPORARY TERRAZZO TO FLOOR ABOVE		
C.FL. CHAN. CHFR. C.I.	COUNTER FLASHING CHANNEL CHAMFER CAST IRON	FT. FTG. FUR. FURN.	FOOT/FEET FOOTING FURNACE FURNITURE	O/H OPNG. OPP.	OWNER INSTALLED OVERHEAD OPENING OPPOSITE	T.F.B. THD. THERM. TH. RES.	TÖ FLÖOR BELOW THREAD(ED) THERMAL THERMAL RESISTANCE	COLUMN/ GRID LINE	
C.I.P. C.J. C.L. CLG.	CAST-IN-PLACE CONSTRUCTION JOINT CENTER LINE CEILING	FURR. FUT. FXTR.	FURRING/FURRED FUTURE FIXTURE	OPR. O.R.D. OVHD. O.W.S.J.	OPERABLE OVERFLOW ROOF DRAIN OVERHEAD OPEN WEB STEEL JOIST	THK. THRES. THRU. T.J.	THICK/THICKNESS THRESHOLD THROUGH	LETTERS IN ONE DIRECTION. NUMBERS IN THE OTHER.	
CLG. DIFF. CLG. HT. CLG. REG.	CEILING DIFFUSER CEILING HEIGHT CEILING REGISTER	G.1.5. G.2.5. G.3.5.	GOOD ONE SIDE GOOD TWO SIDES GOOD THREE SIDES	0.w.9.J. O.W.W.J. P.A.	OPEN WEB STEEL JOIST OPEN WEB WOOD JOIST PUBLIC ADDRESS	TK. BD. TLT. TMPD.	TOP OF JOIST TACK BOARD TOILET TEMPERED		
CL.J. CLO. CLR. CLRM.	CONTROL JOINT CLOSET CLEAR CLASSROOM	G.4.5. GA. GAL.	GOOD FOUR SIDES GAUGE GALLON	PAR. PARG. PASS.	PARALLEL PARGING PASSAGE	TMPD. GL. T/O T.O.E. T.O.C	TEMPERED GLASS TOP OF THREADED ONE END TOP OF CONCRETE	SURVEY LINES 142.0— FOR SURVEYOR'S GRID.	
C.M.R. C.M.U. CNR. CNTR.	CONCRETE MASONRY RUBBLE CONCRETE MASONRY UNIT CORNER COUNTER	GALV. G.B. G.D. GD.R.	GALVANIZED GRAB BAR GUTTER DRAIN GUARD RAIL	P.B. P.BD. PC. P.C.	PANIC BAR PARTICLE BOARD PIECE PORTLAND CEMENT	T.O.C. T.O.C. T.O.F. T.O.F.F.	TOP OF CONCRETE TOP OF CURB TOP OF FOOTING TOP OF FINISH FLOOR	SECTIONS	
C.O. CO. COL. COMB.	CASED OPENING CLEANOUT COLUMN	GEN. G.F.R.C. G.L. GL.	GENERATOR GLASS FIBER REINFORCED CONCRETE GRID LINE GLASS	P.C. P.C.D. P.C.P. P.D.	PULL CHAIN PAPER CUP DISPENSER PORTLAND CEMENT PLASTER PLANTER DRAIN	T.O.P. T.O.R. T.O.S. T.O.ST	TOP OF PAVEMENT TOP OF RIM TOP OF SLAB TOP OF STEEL		BLI
COMB. COMPL. COMPT. CONC.	COMBINATION COMPLETE COMPARTMENT CONCRETE	GL. BLK. GLU. LAM. GLZ. GLZ. C.M.U.	GLASS BLOCK GLUED LAMINATED WOOD GLAZING GLAZED CONCRETE MASONRY UNIT	P.E. PERF. PERM.	PORCELAIN ENAMEL PERFORATED PERMANENT	T.O.ST. T.O.W. T.P.H. T.R. TRAN.	TOP OF STEEL TOP OF WALL TOILET PAPER HOLDER TOWEL RING TRANSITION	A4.1 - SECTION DRAWING LOCATION ON SHEET	
CONC. FL. CONF. CONN. CONSTR.	CONCRETE FLOOR CONFERENCE CONNECTION	GND. GR. GR. BM.	GROUND GRADE GRADE BEAM	PERP. PERIM. PGBD. PH	PERPENDICULAR PERIMETER PEGBOARD PENTHOUSE	TRAN. TRANS. TRD. TRNBKL.	IRANSHION TRANSPARENT TREAD TURNBUCKLE	DETAIL CALLOUTS	
CONT. COP. CORR.	CONSTRUCTION CONTINUOUS COPPER CORRIDOR	GRL. GRTG. G.R.V. G.S.B	GRILLE GRATING GRAVITY ROOF VENTILATOR GYPSUM SHFATHING BOARD	PH. P.H. PL. PLAM.	PHASE PERFORATED HARDBOARD PLATE PLASTIC LAMINATE	T.S. TV. TYP.	TOWEL SHELF TELEVISION TYPICAL	A7.1 DETAIL DRAWING LOCATION ON SHEET	
COV. COV. PL. CPRS. C.R.S.	COVER COVER PLATE COMPRESSIBLE COLD ROLLED STEEL	G.S.B. GSNK. GT. GUT. GVL.	GYPSUM SHEATHING BOARD GOOSENECK GROUT GUTTER GRAVEL	PLAS. PLAT. PLBG.	PLASTER PLATFORM PLUMBING	UC. U/C U.F.D.	UNDERCUT UNDER COUNTER UNDER FLOOR DUCT	DRAWING TITLES	
C.S. CS.B. CSG.	CAST STONE CASING BEAD CASING	GVL. GYP. GYP. BD. GYP. PLAS.	GYPSUM GYPSUM BOARD GYP PLASTER	PLYWD. PM.F.S. PNL. PNT.	PLYWOOD PREMOLDED FILLER STRIP PANEL PAINT	U/G U/S U.H. UNEX.	UNDERGROUND UNDERSIDE UNIT HEATER UNEXCAVATED	MODULE IDENTIFICATION	
C.SK. CSMT. CSWK. CTR.	COUNTERSUNK CASEMENT CASEWORK CENTER	H. H¢C.W. H.A.GL.	HEIGHT/HIGH HOT AND COLD WATER HEAT ABSORBING GLASS	POL. POLY. PR.	POLISHED POLYETHYLENE PAIR	UNIFIN. U.O.N. UR. UTIL.	UNFINISHED UNLESS OTHERWISE NOTED URINAL UTILITY	I Drawing Name DRAWING NAME AI.I I/4" = I*5** DRAWING SCALE	REFLECTED CE
C.TV. CUB. C.W. C/W	CABLE TELEVISION CUBICLE COLD WATER COMPLETE WITH	H.B. H.C. H.C.M.U. HCP.	HOSE BIB HOLLOW CORE HOLLOW CONCRETE MASONRY UNIT HANDICAPPED	PRCST. PREFAB. PREFIN. PREP.	PRECAST PREFABRICATE PREFINISHED PREPARATION	VAL. VAP.	VALANCE VAPOUR	ORIGIN DRAWING LOCATION ON SHEET	
d. D.	PENNY (NAILS) DEEP/DEPTH	HD. H.D. H.D. H.D. HD. JT.	HEAD HAND DRYER HEAVY DUTY HEAD JOINT	PRKG. P.S. P.S.F. P.SH.	PARKING PIPE SPACE POUNDS PER SQUARE FOOT PURSE SHELF	VAR. V.C.T. VENT. VERT.	VARIES VINYL COMPOSITE TILE VENTILATOR VERTICAL	REVISIONS	X X
D. D.A. DBL. DBL. ACT.	DRYER DRAINAGE AREA DOUBLE DOUBLE ACTING	HDBD. HDR. HDWD.	HARDBOARD HEADER HARDWOOD	PT. PTD. P.T.D. P.T.D.R.	POINT PAINTED PAPER TOWEL DISPENSER PAPER TOWEL DISPENSER	VEST. V.F.A.T. VIN. VLV.	VESTIBULE VINYL FACED ACOUSTIC TILE VINYL VALVE	REVISION NO. CLOUD AROUND REVISION	
DBL. GLZ. D.D. DEMO	DOUBLE GLAZING DECK DRAIN DEMOLITION	HDWE. HGR. HGT. H.H.	HARDWARE HANGER HEIGHT HANDHOLE	PTN. PV.C.	∉ RECEPTACLE PARTITION POLYVINYL CHLORIDE	VNR. VOL. V.P.	VENEER VOLUME VENEER PLASTER	ELEVATIONS	
DEPT. DET. D.F. D.FIR.	DEPARTMENT DETAIL DRINKING FOUNTAIN DOUGLAS FIR	H.M.D. H.M.F. HND. RL. HORIZ.	HOLLOW METAL DOOR HOLLOW METAL FRAME HAND RAIL HORIZONTAL	PVG. PVMT.	PAVING PAVEMENT	V.R. V.T.R. W.	VAPOUR RETARDER VENT THROUGH ROOF WASHER	A3. 1-27 ELEVATION MODULE IDENTIFICATION	
D.FR. D.H. DIA. DIAG.	DOUGLAS FIR DOOR FRAME DOUBLE HUNG DIAMETER DIAGONAL	H.PT. H.S. HTR.	HIGH POINT HAND SINK HEATER	RI. R.A. R.A. GR. RAD.	RADIUS RETURN AIR RETURN AIR GRILLE RADIUS	W. W. W/	WEST WIDE/WIDTH WITH	ELEVATION LOCATION ON SHEET ELEVATIONS UNFOLD CLOCKWISE NO NUMBER INDICATES NO ELEV.	
DIAG. DIFF. DIM. DISP.	DIAGONAL DIFFUSER DIMENSION DISPENSER DIVIDER	H.V. H.V.A.C. H.W. H.W.H.	HOSE VALVE HEATING, VENTILATION ≰ AIR CONDITIONING HOT WATER HOT WATER HEATER	R.B. RBR. R.D. REC	RESILIENT BASE RUBBER ROOF DRAIN	W/O W/W W.C. W.C.	WITHOUT WALL TO WALL WALLCOVERING WATER CLOSET		
DIV. D.L. D.LV. DMPF.	DEAD LÒAD DOOR LOUVER DAMPPROOFING	H.W.T.	HOT WATER TANK INSIDE DIAMETER (DIMENSION)	REC. RECPT. RECT. REBAR.	RECESSED RECEPTACLE RECTANGULAR REINFORCING BAR	WD. WD.P. WDW. W.F.	WOOD WOOD PANELING WINDOW WIDF FLANGF	ROOM IDENTIFICATION - TYPE I	r
DMPR. DN. D.OP.	DAMPER DOWN DOOR OPENING	IN. INCL. INCL. INCL.	INCH INCLUDED INCLUSIVE INCLUDING	REF. REFL. REF. REF. REG.	REFERENCE REFLECTED REFRIGERATOR REGISTER	W.GL. W.H. WHSE.	WIRE GLASS WATER HEATER WAREHOUSE	I 02 < ROOM NUMBER I AI < ROOM MATERIAL CODE	f
D.PTN. D.R. DR.	DEMOUNTABLE PARTITION DINING ROOM DOOR DRAIN	INSUL. INTR. INV. INV. EL.	INSULATION INTERIOR INVERT INVERT ELEVATION	REINF. REM. REQD.	REGISTER REINFORCE(D)(ING)(MENT) REMOVABLE REQUIRED RESILIENT	W.L. WLD. W.O. W/O	WIND LOAD WELDED WHERE OCCURS WITHOUT	l st (number) - floor/base 2nd (letter) - walls/wainscot 3rd (number) - ceilina	5
DS. D.SP. D.T. DVTL.	DOWNSPOUT DRY STANDPIPE DRAIN TILE DOVETAIL	JAN. J.B.	JANITOR JUNCTION BOX	RESIL. REST. RET. REV. P.	RESILIENT RESTROOM RETURN REVISED/REVISION RAISED FACE	WP. WP.M. W.R. WRB.	WEATHERPROOF WEATHERPROOF MEMBRANE WATER RESISTANT WARDROBE	3rd (number) - ceiling	
DW. DWG. D.W.H.	DISHWASHER DRAWING DOMESTIC WATER HEATER	JST. JT. K.D.	JOIST JOINT KILN DRIED	R.F. R.FL. RFG. RGH.	RESILIENT FLOORING ROOFING ROUGH	W.R.C. W.RCP. WRM.	WESTERN RED CEDAR WASTE RECEPTACLE WASHROOM	EQUIPMENT TYPE	\square
DWR. DWTR. E.	DRAWER DUMBWAITER EAST	K.D. KG. KIT.	KNOCK-DOWN KILOGRAM KITCHEN	RGTR. R.H. R.H. R.H.B.	REGISTER RIGHT HAND ROBE HOOK RECESSED HOSE BIBB	W.S. WSCT. W.S.P. WT	WEATHERSTRIPPING WAINSCOT WET STAND PIPE WEIGHT	EQUIPMENT ITEM	© ●
EA. E.A.R. E.CAB. E.DR.	EACH EXHAUST AIR REGISTER ELECTRICAL CABINET EQUIPMENT DRAIN	K.O. K.O.P. K.PL.	KNOCK-OUT KNOCK-OUT PANEL KICK PLATE	RI. RLG. RM.	RISER RAILING ROOM	WT. WTRPRF. W.W.F.	WEIGHT WATERPROOFING WELDED WIRE FABRIC	BLUE TEXT & BOXES REFLECT REFERENCES & SPECIALIZED NOTES	
E.F. E.F. F.F.S	EACH FACE EXHAUST FAN EXTERIOR FINISH SYSTEM	L. LAB. LAD. =M LAM.	LENGTH/LONG LABORATORY LADDER LAMINATE	RND. R.O. R.O.W. RSI.	ROUND ROUGH OPENING RIGHT OF WAY THERMAL RESISTANCE			RED TEXT & BOXES REFLECT BUILDING CODE REFERENCES & SPECIALIZED NOTES	
E.I.F.S. E.J.	EXTERIOR INSULATION & FINISH SYSTE EXPANSION JOINT ELEVATION	EM LAM. LAM. LAM. LAU.	LAMINATED LAMINATED LAMINATION LAUNDRY	RSI. R.V. R.V. RVS.	ROOF VENT ROOF VENTILATOR REVERSE			GREEN TEXT & BOXES REFLECT ENERGY CODE REFERENCES & SPECIALIZED NOTES	
ELAS. ELEC. ELEV.	ELASTOMERIC	LAV.	LAVATORY		RIVETED				



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WALL TYPES

WALL TYPE W1, W1a, W1b & W1c

EXTERIOR

14

14

INTERIOR

3/4" PARGING (TO EXTEND 1'-0" BELOW GRADE) PROTECTION BOARD (TO EXTEND 1'-O" BELOW GRADE)

2" EPS INSULATION (TO EXTEND 4'-0" BELOW GRADE) I Omm DRAINAGE MAT BITUMINOUS DAMPROOFING 8" CONCRETE FOUNDATION WALL - REFER TO STRUCTURAL

NOTE:

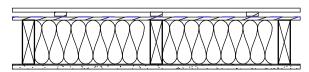
WI a WALL TYPE INCLUDES: - I O" CONCRETE FOUNDATION WALL

WID WALL TYPE INCLUDES: - 12" CONCRETE FOUNDATION WALL

WIC WALL TYPE INCLUDES:

-8" CMU TO REPLACE CONCRETE

WALL TYPE W2 & W2a



INTERIOR

EXTERIOR

HARDIE PANEL RAINSCREEN DRAINAGE MAT 2 LAYERS OF 30 MIN. ASHPALT IMPREGNATED BUILDING PAPER 1/2" PLYWOOD SHEATHING 2x6 STUDS AT 16" O/C U.O.N. BY STRUCT. REFER TO STRUCT DWG'S R24 BATT INSULATION 6 MIL POLY VAPOUR BARRIER 5/8" GYPSUM BOARD

NOTE:

W2a WALL TYPE INCLUDES: - WOODTONE - RUSTIC SERIES SIDING TO REPLACE HARDIE PANEL

WALL TYPE W3

EXTERIOR

INTERIOR

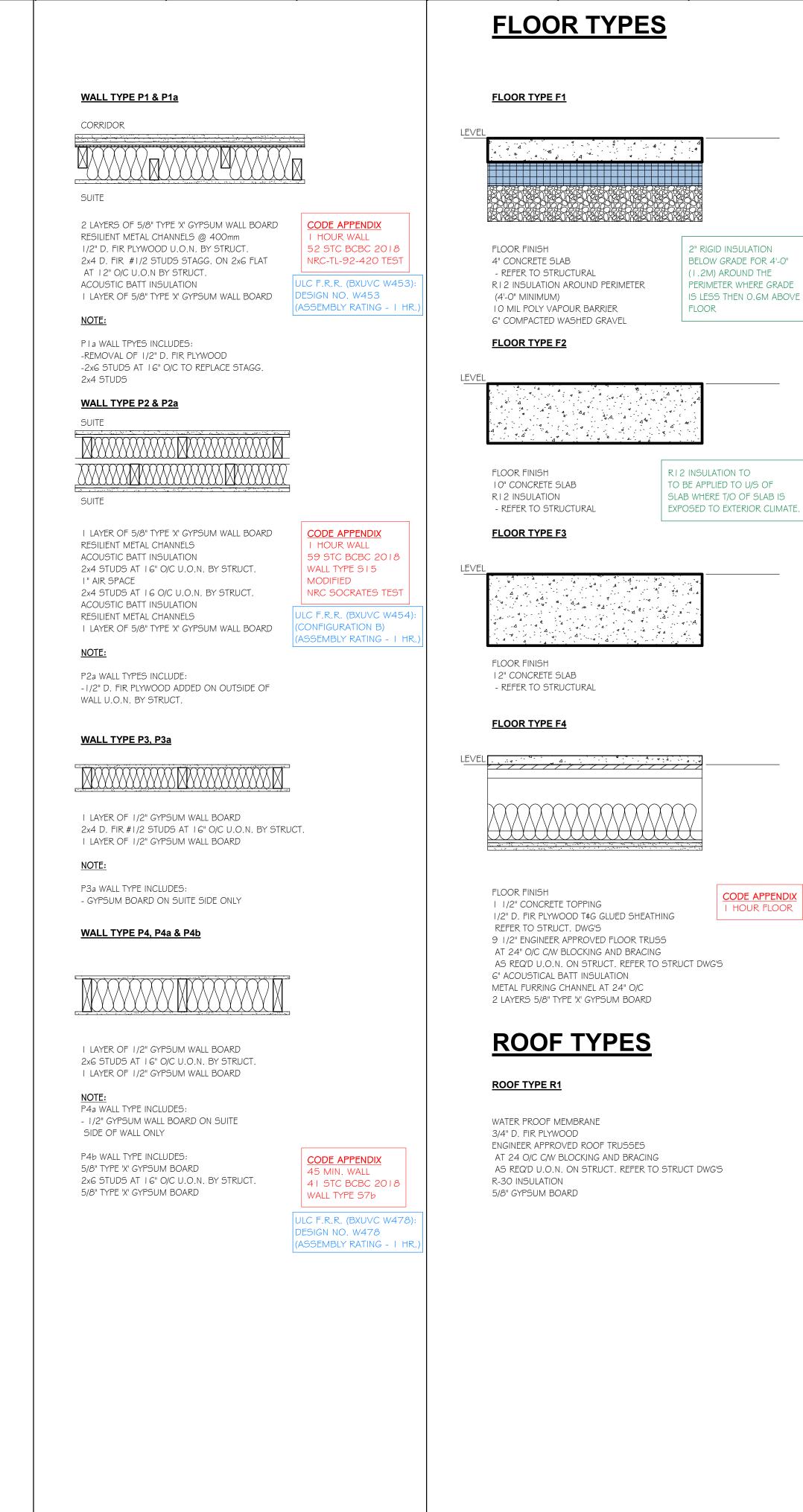
WOODTONE - RUSTIC SERIES RAINSCREEN STRAPPING 2 LAYERS OF 30 MIN. ASHPALT IMPREGNATED BUILDING PAPER 1/2" PLYWOOD SHEATHING 2x6 STUDS AT 16" O/C U.O.N. BY STRUCT. REFER TO STRUCT. DWG'S 1/2" PLYWOOD SHEATHING 2 LAYERS OF 30 MIN. ASHPALT IMPREGNATE BUILDING PAPER RAINSCREEN STRAPPING WOODTONE - RUSTIC SERIES

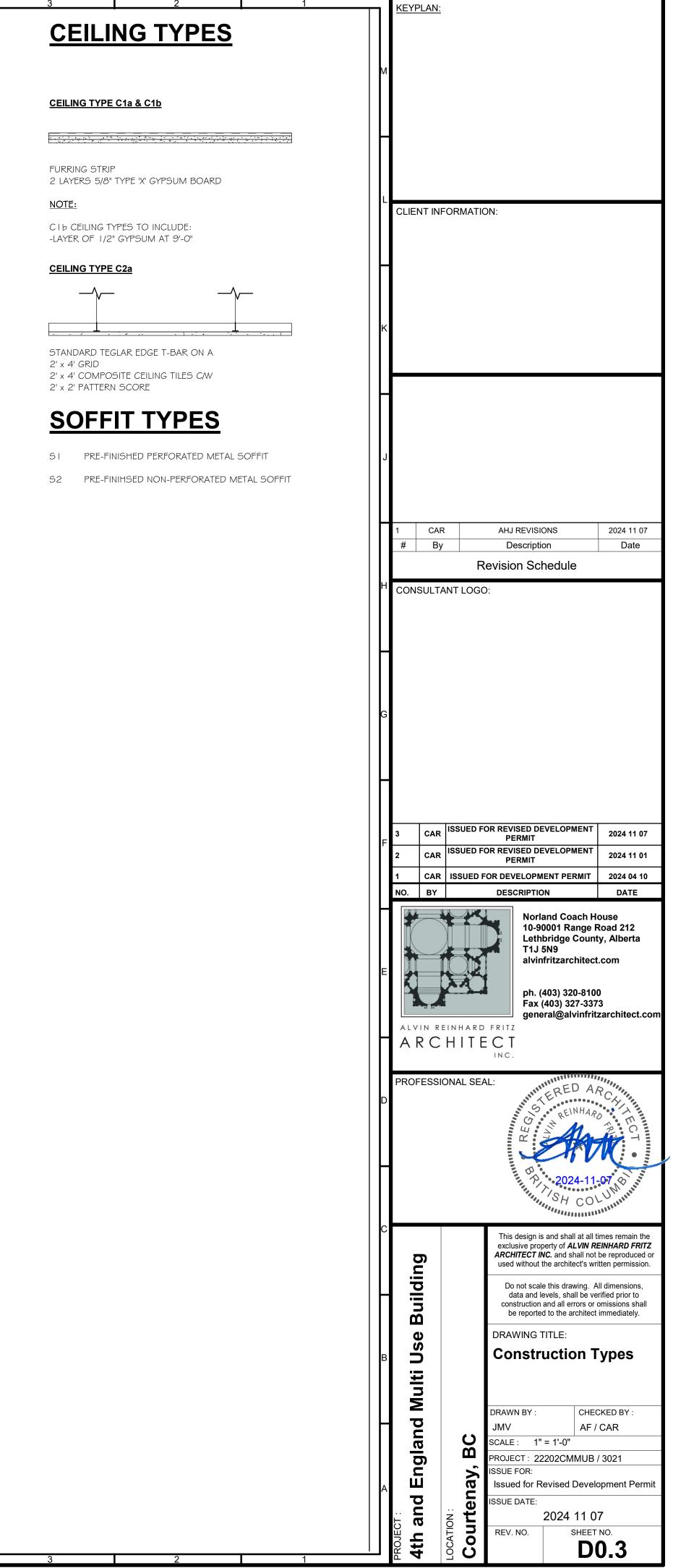
WALL TYPE W4

EXTERIOR	
	Ň

HARDIE PANEL RAINSCREEN STAPPING 2 LAYERS OF 30 MIN. ASHPALT IMPREGNATED BUILDING PAPER 1/2" PLYWOOD SHEATHING

2x4 STUDS AT 16" O/C U.O.N. BY STRUCT. REFER TO STRUCT. DWG'S

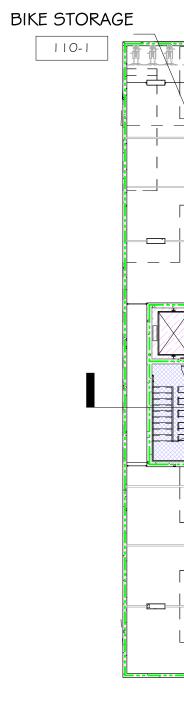


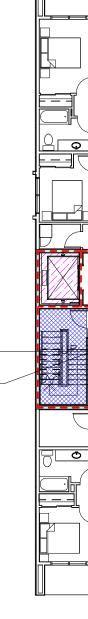


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2	Major Occupancy(s): Building Area (m2)	Residential/0 1142 sq. m.	Commerci	al/Industrial Existing	0.0	Addition Alteration Group: New	C/D/F3 1142.0	Total	1142.0	1.3.3.2 9.10.1.3 3.1.2.1.(1) 1.4.1.2	1.3.3.3 9.10.1.2 9.10.2 1.4.1.2
4	Gross Area (m2)	Group C Group D		Existing Existing Existing	0.0	New New	3314.9 501.9	Total Total Total	1142.0 3314.9 501.9	4.4.4.2	1.4.1.2
5	Number of Storeys	Group F3	_	Existing Above Grade:	0.0	New Below Grade	1142.0	Total	1142.0	3.2.1.1 & 1.4.1.2	1.4.1.2
5 7	Height of Building: Number of Streets/			15.5m 2						1.4.1.2 3.2.2.10	1.4.1.2
8	Access Routes Building Classification		3.2.2.50		Group C Up t	the state of the second se				& 3.2.5.5 3.2.2.2090	1.4.1.2 9.10.2
9	Sprinkler System Propo		Entire buil Basement	only				3.2.2.2090 3.2.1.5,3.2.1.7 3.2.2.18	9.10.18.2		
□In lieu of ro Not require 10 Standpipe required ☑Yes						ed	□ No			3.2.5.8	
11 12	Fire Alarm required Water Service/Supply	is Adequate			⊡Yes ⊡Yes		□ No			3.2.4 3.2.5.7	9.10.18.2
13 14	High Building Permitted Construction	n		Combustib	□Yes le		☑ No □Non-comb	ustible	⊡Both	3.2.6 3.2.2.2090	9.10.6
15	Actual Construction Mezzanine(s) Area (m2	2)		Combustib n/a	le		Non-comb	ustible	⊿Both	3.2.1.1.(3)-(8)	9.10.4.1
16	Occupancy Occupant load base See Floor Plans (Total)	d on seating o	apacity				⊡Design of I	ouilding		3.1.17	9.9.1.3
	Residential Commercial			69 Bedrooms 515.5 sq.m. /			99 Tangasan Tanun Hali			1	
16.1	Total Barrier-free Design			280 persons ⊡Yes			□No			3.8	9.5.2
17	Hazardous Substances			∐Yes			⊡No			3.3.1.2.1(1) & 3.3.1.20 (1)	9.10.1.3.(4
	Required Fire Resistance Rating		ontal Ass	emblies FRR (H	lours)	Listed	Design No. o	r Description	(SG-2)	3.2.2.2090 & 3.2.1.4	9.10.8 9.10.9
19	(FRR)	Floors: Roof:		1 hour 1 hour							
		Mezzanine:	FRR of	n/a Supporting 1 hour			Listed D	esign No.			
		Floors: Roof: Mezzanine:	-	1 hour 1 hour n/a							
20	Spatial Separation - Co		Exterior V		Permitted	-		Listed		3.2.3	9.10.14 & Cladding
20.1	Contra Del C	of EBF(m2)	L.D.(m)	L/H or H/L	Max. % of Openings	Proposed % of Openings		Design or Description	Comb. Const.	Non-Comb. Constr.	(Non Com Or Comb
	North East South	622 482	6m 9m+	Less than 3:1 Less than 3:1	22% 42%	6.10%	1 (E-2) 45 min (E-1)				Non Com
21	South West Fire Alarm and Fire Ac	554 382.85	9m+ 1.4m	Less than 3:1 Less than 3:1	42% 8%		45 min (E-1) 1 (E-2)		N	☑ ☑ 3.2.4	Non Com Non Com
21	Fire Alarm and Fire Ac Fire Alarm & Detection Signals to Fire Departm	System				REQUIRED 2 stage				3.2.4 3.2.4.3 3.2.4.7	9.10.18.2 9.10.18.4
	Other conditions/featu Smoke detectors in Gro	ures:	orridors			- REQUIRED				3.2.4.7/8 3.2.4.11	
	Visual fire alarm signal living area of residenti	s in public cor	and the second se	blic washroom	s, principal	REQUIRED			3.2.4.19		
	Smoke Alarms Roof Access						ms and the re	room and bet mainder of th	e storey	3.2.4.20 (4)	
							Direct access from storey below by a stairway or fixed ladder and a 550mm x 900mm hatch for a building greater than 3 storeys/14m building ht.				
Access Routes for Fire Department Vehicles, including turnaround Location of Hydrants					REQUIRED	(to principal) ep't connecti	entrance)	ng nt.	3.2.5.4 & 6 3.2.5.5 & 15	9.10.20.3	
	Sprinkler and/or Stand	REQUIRED				3.2.5.8 & 9					
23	Emergency Lighting							req'd		3.2.5.16 3.2.7 2.2.8/2.2.1.1	9.9.12.3
24	Mezzanines - 3.2.8.2 (1 Interconnected Floor Sp					n/a n/a				3.2.8/3.2.1.1. 3.2.1.6 3.2.8.2(6)	9.10.4.1 &
25	Safety Within Floor Are					1			3.3.1.1	9.10.9	
	Suite Separation							oup C & D to I	3 - 2 hour	3.3.1.1	9.10.9.11
	Major Occupancy Sepa Public Corridor	auon:				(3.2.1.2) 45 min for Gr	oup C - reside		3.1.3 3.3.1.4/3.1.8.1/ 3.3.4.2	9.10.2.3 9.10.9.15	
	Barrier-Free Protection Janitor Room					Sprinklered Sprinklered -	no rating rea	uired		3.3.1.7 3.3.1.21	9.5.2
	Storage Room					1 hour - sprin	klered			3.3.4./3.6.2.1/ 3.3.2.16	9.10.10.6
	Storage Garage					permitted to the purposes floor, and roc constructed a	be considered of Section 3.3 of assemblies as a non comb	as a storage p d as a separat 2.1.2. provided above the bas oustible fire se e rating. Min	e building for d the walls, ement are paration	3.3.5.4/3.3.5.6/ 3.2.1.2	9.10.9.16
26	Other Conditions/ Feat Exits Minimum 2 exits requir					YES				3.4 3.4.2.1	9.9 9.9.8.2
	Single Exit Permitted Location of Exit / Trave					NO 45m for Group C / F3 & 40m Group D				3.4.2.1	9.9.8.2 9.9.8.2 (2) 9.9.8.2
	Mezzanine Exits Exit Capacity (min widtl	h in mm)			Doors/Corr.	n/a 1708mm req	uired	vided	3.4.2.2 3.4.3.2	9.9.8.6 9.8.2.1,	
	For Part 3, see 3.4.3.2 (ramps,doorways & corr				Stairs	2208mm req	uired	vided		9.8.5.2, 9.9.3.2	
	stairs) Exit Stair Enclosure Exit Lobby			1 hour YES				3.4.4 3.4.4.2	9.9.4 9.9.8.5		
Exit Lobby Exit Signage Required Other conditions/ Features 3.4.5.1(6) - Arrow & Pointer Indicators						YES				3.4.5	9.9.11
27	Vertical Transportation Elevator Shaft					YES - 1 hour r	ating			3.5 3.5.3	
	Elevator Machine Roon Elevator Size (mm X mr		0x610 REC)'D		YES TBD					
28	Service Spaces Service (furnace) Room Service (other) Room					1 hour				3.6 3.6.2.1 2.6.2.1 (7)	9.10.10 9.10.10.3
Service (other) Room Roof-top Appliance & Building Plenums Flame Spread<25, Smoke Development<50						Sprinklered Fire separatic Non-combust	on not require tible	d		3.6.2.1 (7) 3.6.2.1 (10) 3.6.4.3	
	Attic/ Roof Space Acces Crawl Space	550x900 N/A				3.6.4.4 & 7 3.6.4.6	9.19.2.1 9.18.2.1				
29		Other conditions/ Features:								3.6.3	9.10.9.18
30	Service Spaces Washrooms		45 minutes				3.6.3.1 3.7.2.2	10.5.2			
	Number of Water Close	ets and Lavato	ry		Female Male	1	(up to 25 per (up to 25 per	sons)			
_	Group C Barrier-Free Design Barrier-free access provided to all of Floor Areas Public entrance doors will be equipped w/ power door operator					1 water closet per dwelling unit YES YES YES - active leaf / exterior and vestibule doors				3.8	9.5.2
31										3.8.2.3 3.8.2.7	
31			YES - within barrier free path of travel / not in residential units YES - intercom at principal entrance				3.8.2.8				
31	Barrier-free washroom Barrier-free required at				3	YES - intercor	m at principal	entrance		3.8.2.2 & 3.8.2.5	

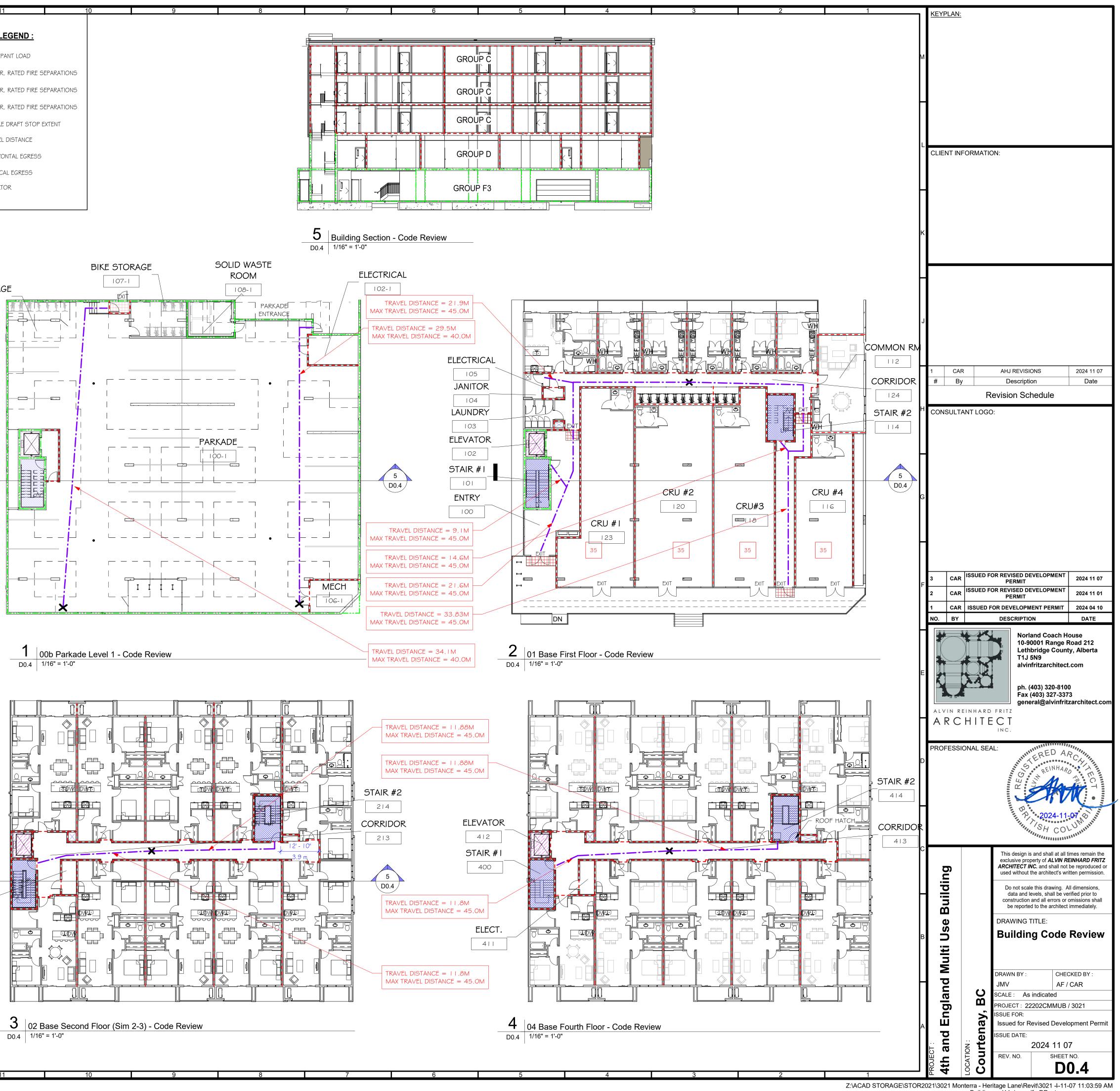
CODE REVIEW LEGEND : IOI OCCUPANT LOAD ---- I.O HR. RATED FIRE SEPARATIONS ------ I.5 HR. RATED FIRE SEPARATIONS ----- 2.0 HR. RATED FIRE SEPARATIONS SMOKE DRAFT STOP EXTENT ----- TRAVEL DISTANCE HORIZONTAL EGRESS VERTICAL EGRESS ELEVATOR



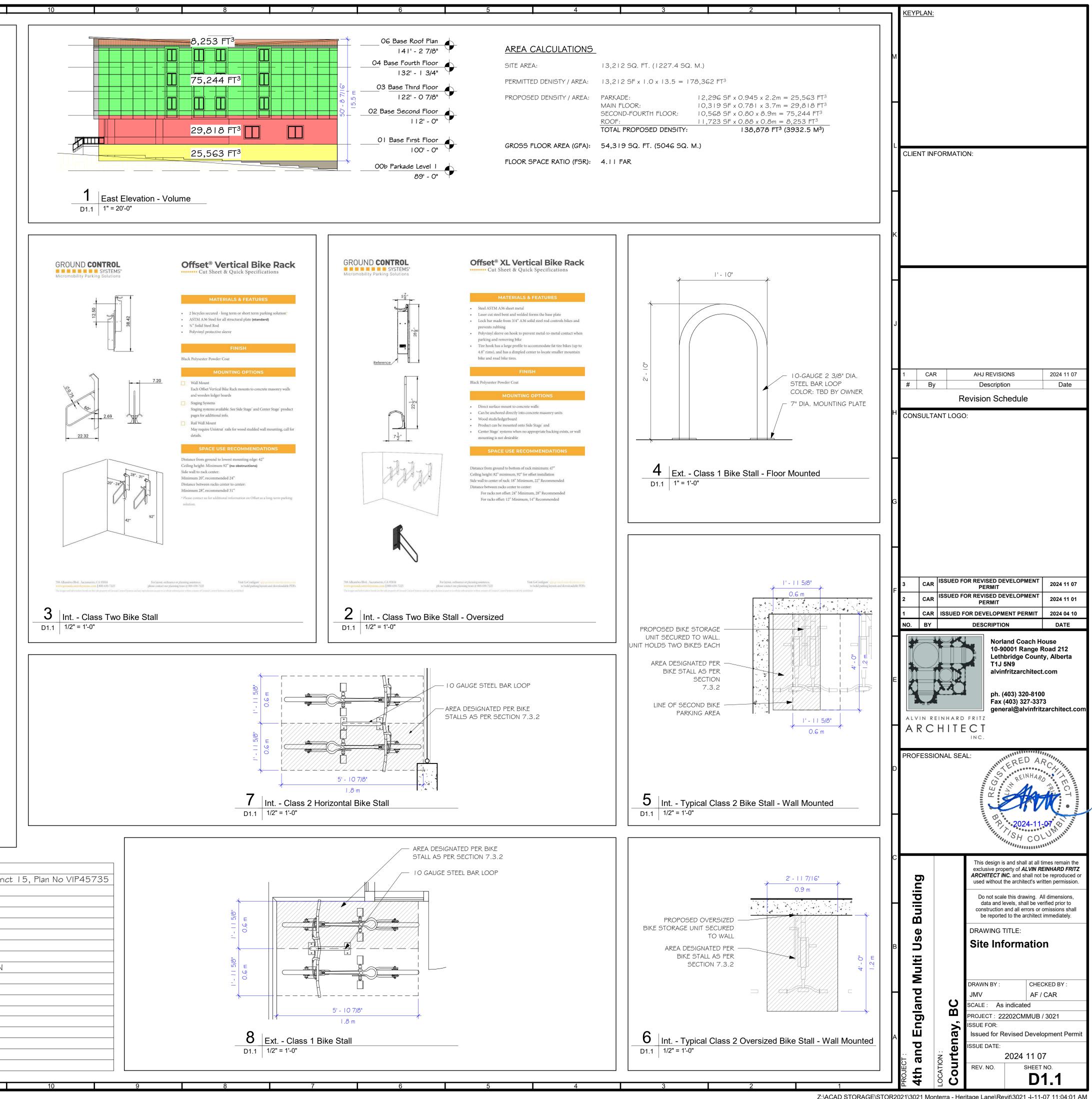


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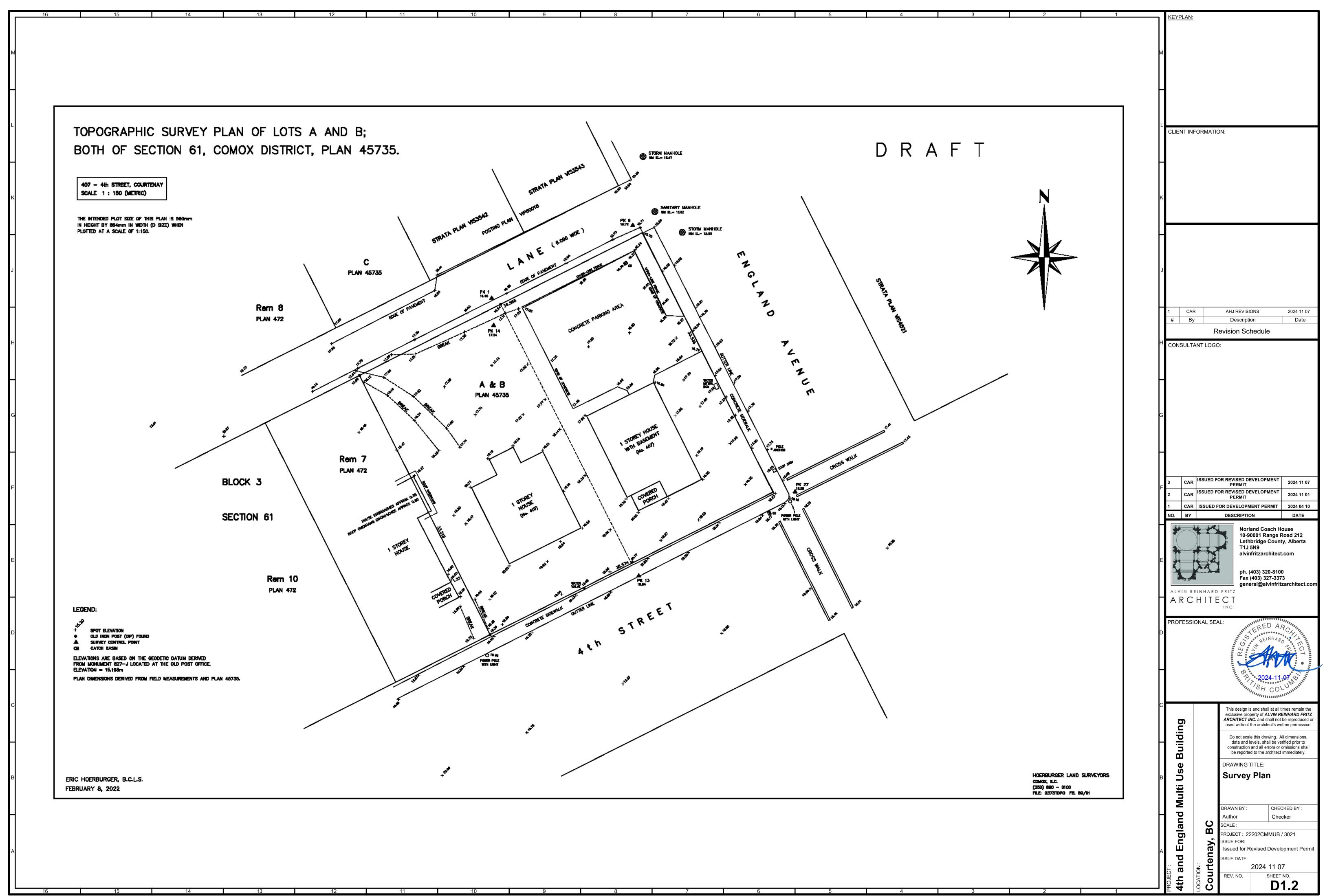
212



4th and England M 407 4th Street Cou						
<u>STATISTICS:</u>	, , –	DEVELOPMENT DATA	SUMMARY			
	CIVIC ADDRESS	<u>TOTAL SITE AREA</u> 13,212 SQ. FT. (1227.4 SC	Q. M.)			
Lot A & B, Section 61, Land District 15, Plan No VIP45735	407 4th Street Courtenay, BC V9N 1G9	FLOOR AREA AND DENSITY PROPOSED:				
P.I.D. 009-629-211 009-629-271		FROPOSED: BUILDING NET AREA: FLOOR AREA RATIO:				
EXISTING ZONING COMMERCIAL ZONING (CI) PROPOSED USE		DWELLING UNIT DENSITY PROPOSED:	= 36 UNITS			
RESIDENTAL / COMMERCIAL / INDUSTRIAL MULTIPLE DWELLING UNITS 4 CRU SPACES		GARBAGE & RECYCLING PER GARBAGE & RECYCLING : BASED ON MULTI-FAMILY	STORAGE AMENITY DESIGN SUPPLEMENT			
SURVEY INFROMATION: COMPLETED BY HOERBURGER LAND SURVEY	ORS	REQUIRED: 3 Yard Bin (2294 l): fo	R THE DEVELOPMENT (PICK UP IN LANE)			
HOUSING AGREEMENT:		Provided: 3 Yard Bin (2294 L): Fo	R THE DEVELOPMENT (PICK UP IN LANE)			
<u>CIVIL:</u> COMPLETED BY ONSITE ENGINEERING		COMMERCIAL AREA				
<u>GEOTECHNICAL:</u> REPORT COMPLETED BY GEOTECHNICAL ENG	INEER	CRU #1 CRU #2 CRU #3	= 393 SQ.FT. = 658.5 SQ.FT. = 3 7.4 SQ.FT.			
SITE COVERAGE PERMITTED SITE COVERAGE:		CRU #4	= 998.4 SQ.FT.			
AS PER SECTION 8.18.4 THERE IS NO LIMIT PROPOSED SITE COVERAGE:	TO LOT COVERAGE	UNIT COUNT: LEVEL I : (G UNITS)				
10326 SQ. FT./ 13,212 SQ. FT.		MICRO SUITE 'A' (4 UNITS) MICRO SUITE 'B' (1 UNIT) SUITE 'G' (1 UNIT)	= 288 SQ.FT.			
	= 558 SQ. FT. (51.8 SQ. M.) = 2.6% SITE COVERAGE	SUITE 'A' (I UNIT)				
BUILDING SETBACKS		SUITE 'B' (4 UNITS) SUITE 'C' (1 UNIT)	= 838 SQ.FT.			
AS PER SECTION 8.18.6 THERE ARE NO SET	BACK REQUIREMENTS	SUITE 'D' (I UNIT) SUITE 'E' (I UNIT) SUITE 'F' (I UNIT)	= 991 SQ.FT.			
LOCATION: FRONT YARD (4TH STREET)	PROPOSED: = . m	SUITE 'H' (I UNIT)				
SIDE YARD (NORTHWEST NEIGHBOR) REAR YARD (LANE)	= 0.2m	LEVELS 3: (10 UNITS) SUITE 'A' (1 UNIT)				
	= Om	SUITE 'B' (4 UNITS) SUITE 'C' (1 UNIT)	= 988 SQ.FT. = 838 SQ.FT.			
CAR PARKING: REQUIRED: OFF STREET PARKING REQUIREMENTS:		SUITE 'D' (I UNIT) SUITE 'E' (I UNIT)	= 991 SQ.FT.			
I STALL PER RESIDENTIAL UNIT REQ'D (2.75m x 5.5m)	= 36 STALLS	SUITE 'F' (I UNIT) SUITE 'H' (I UNIT)				
PROPOSED:	00.071112	LEVELS 4: (10 UNITS) SUITE 'A' (1 UNIT)				
REGULAR STALLS PROVIDED (2.87m x 5.5m W/ COLUMN	=20 STALLS	SUITE 'B' (4 UNITS) SUITE 'C' (1 UNIT)	= 838 SQ.FT.			
	=7 STALLS	SUITE 'D' (I UNIT) SUITE 'E' (I UNIT) SUITE 'F' (I UNIT)	= 991 SQ.FT. = 653 SQ.FT.			
(2.5m x 4.6m) SHORT TERM VISITOR PARKING AVAILABLE A	LONG STREET	SUITE 'H' (I UNIT)	= 1 020 SQ. FT.			
FRONTAGES.		MICRO UNITS I BEDROOM UNITS				
BICYCLE PARKING: REQUIRED: AS PER PART 3 BICYCLE PARKING REQUIREM	ENTS:	2 BEDROOM UNITS 3 BEDROOM UNITS	= 21 UNITS (884 SQ.FT 1020 SQ.FT.) = 3 UNITS (1075 SQ.FT.)			
7.3.1 MINIUMUM REQUIRED NUMBER OF BIO PARKING SPACES:		TOTAL NUMBER OF UNITS	= 36 UNITS			
MULTI RESIDENTIAL CLASS 2 BICYCLE PARKING SPACES PER DW	ELLING UNIT - 2	<u>HEIGHT:</u> BUILDING HEIGHT:				
2 PER 36 UNITS = 72 SPACES CLASS BICYCLE PARKING SPACES - CALCL AS 10% OF THE MINIMUM NUMBER OF CLAS SPACES REQUIRED.		AS PER 8.18.7 BUILDING HEIGHT SHALL NOT EXCEED 13.5m PROPOSED BUILDING HEIGHT: 16.0m AT BUILDING MID POINT				
$78 \text{ SPACES } \times 10\% = 8 \text{ SPACES}$	<u>.</u>					
TOTAL REQ'D BICYCLE SPACES: 80 SPACES PROPOSED:	,					
CLASS 2 SPACES PROVIDED: VERTICAL	= 46 SPACES					
HORIZONTAL OVERSIZE	= 16 SPACES = 4 SPACES					
TOTAL CLASS 2: *ALL SPACES ARE LOCATED IN THE PARKADE	= 66 SPACES \$ LI					
CLASS I SPACES PROVIDED: HORIZONTAL *ALL SPACES ARE LOCATED UNDER THE	= 6 STALLS					
COVERED ENTRY TOTAL BICYCLE SPACES PROVIDED:	= 72 STALLS					
BUILDING CODE SUMMARY:						
PROJECT NAME CIVIC ADDRESS / LEGAL DESCRIF			ED USE BUILDING Street /Lot A & B, Section G I , Land			
MAJOR OCCUPANCY		RESIDENTAL / CO	Street /Lot A & D, Section 61, Land OMMERCIAL / INDUSTRIAL			
PART 3 OR PART 9 BUILDING AREA (m2)		PART 3				
BUILDING GRADE (m)						
NUMBER OF STOREYS NUMBER OF STREETS FACING		4 STOREYS - 1 2 STREETS (COP				
SPRINKLER SYSTEM		· · · · · · · · · · · · · · · · · · ·				
PERMITTED CONSTRUCTION PARTY WALL ASSEMBLY (SEPERA	TING RESIDENTAL SUITES		AND NON-COMBUSTIBLE CONSTRUC			
PARTY FLOOR ASSEMBLY (BETWE FLOOR ASSEMBLY (WITHIN DWEL	EN DWELLING UNITS)	I h FIRE SEPERA				
FLOOR ASSEMBLY (WITHIN DWEL		•				
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WALL ASSEMBLY OF LOADBERING	GEXTERIOR WALLS	I h FIRE SEPERA	TION			

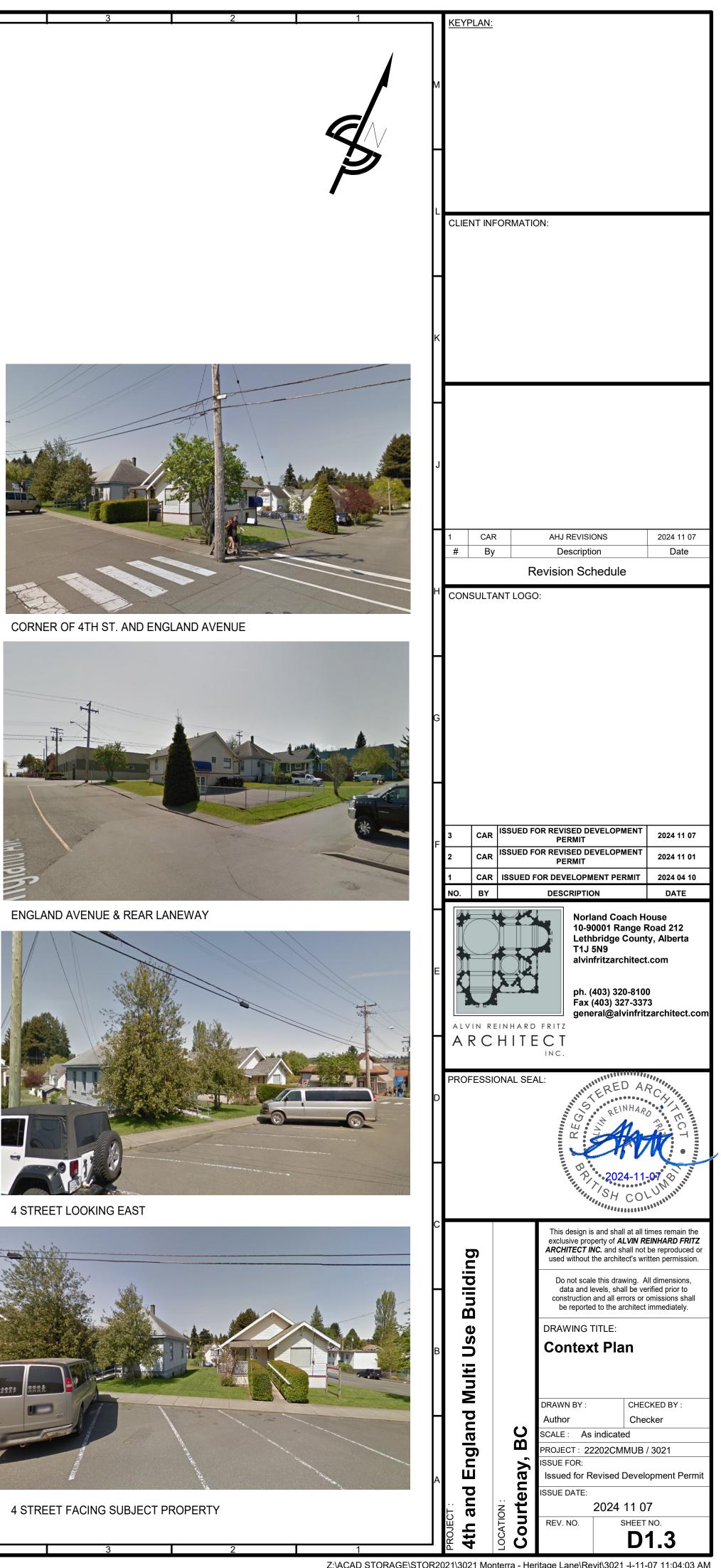


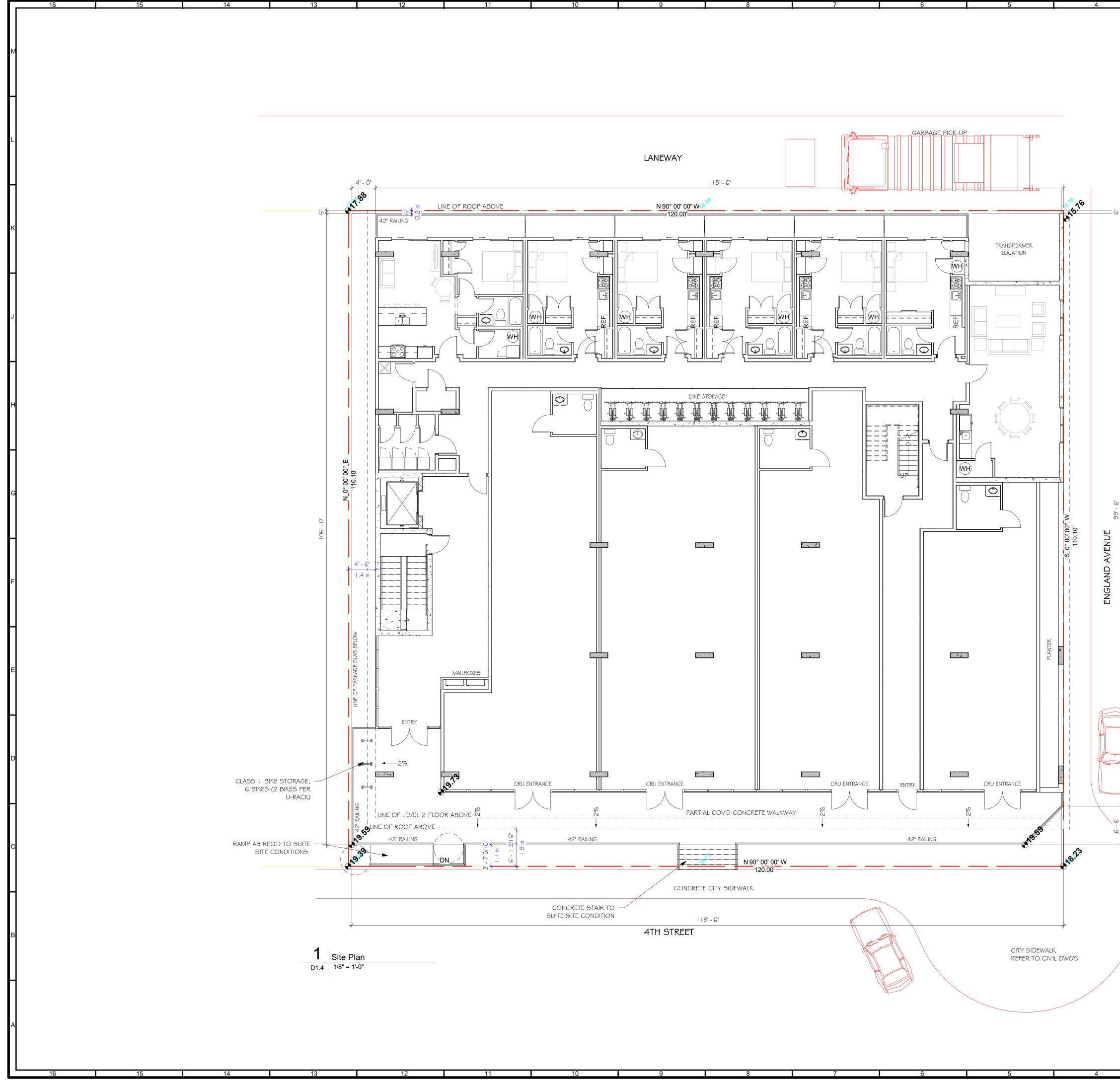
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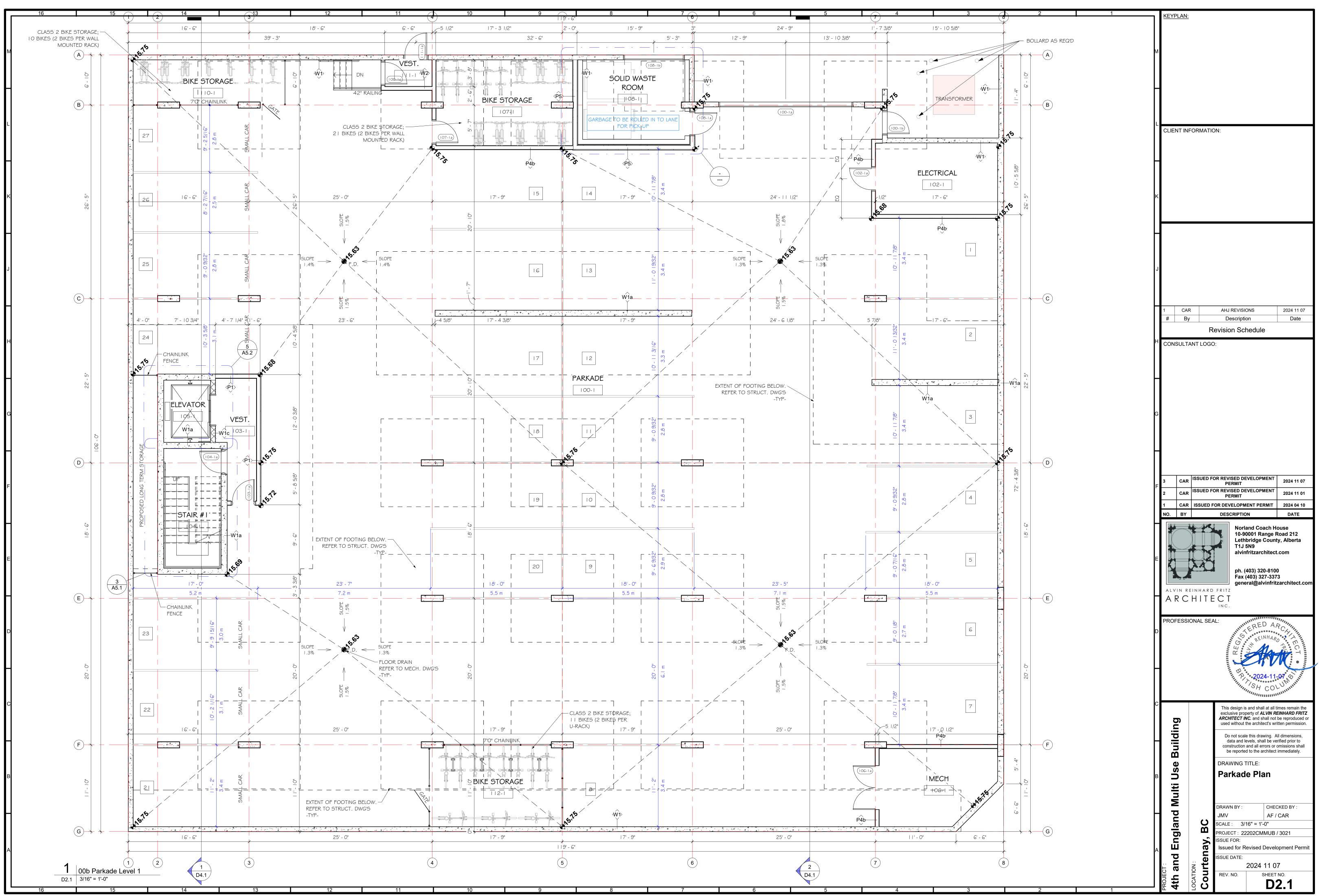


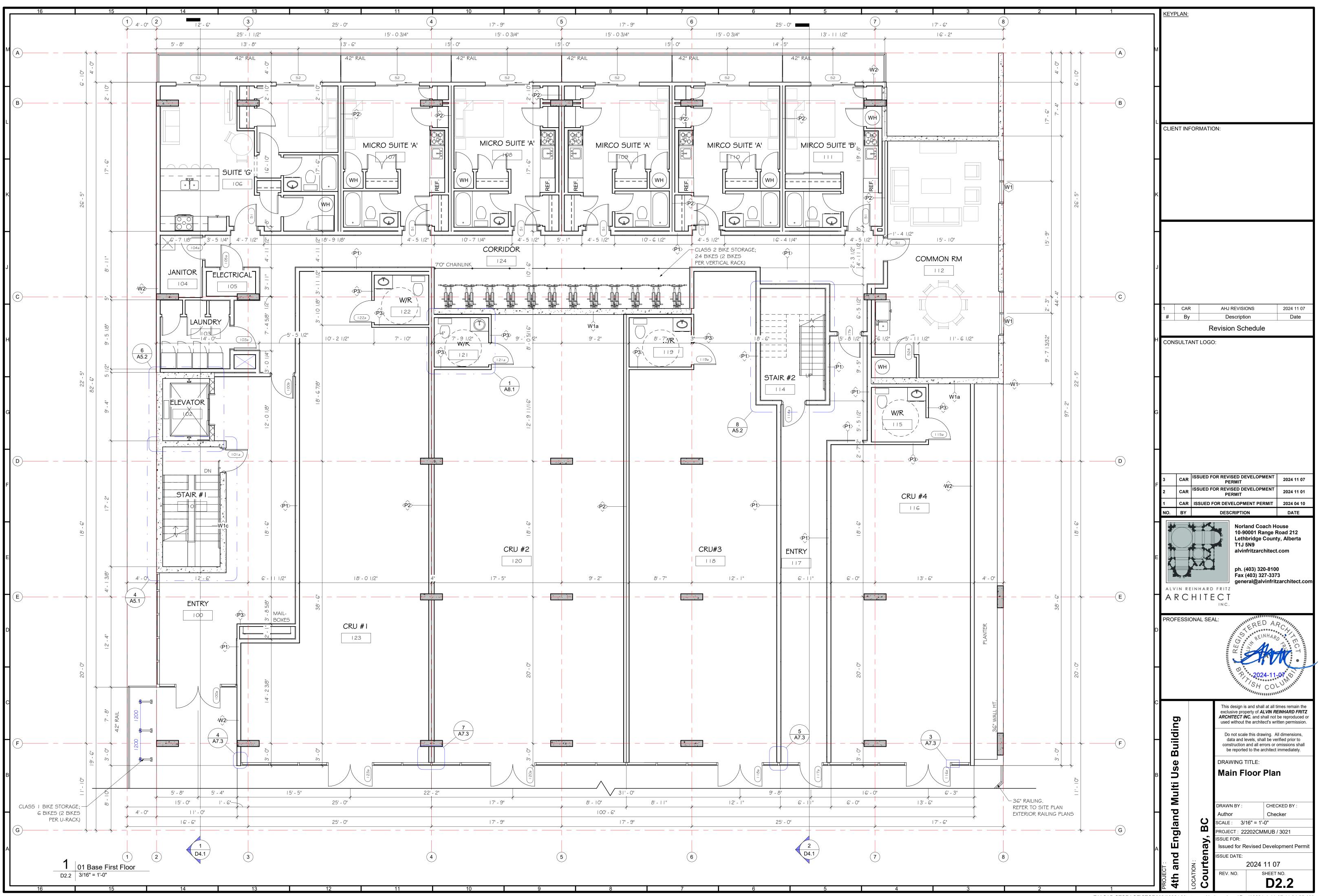




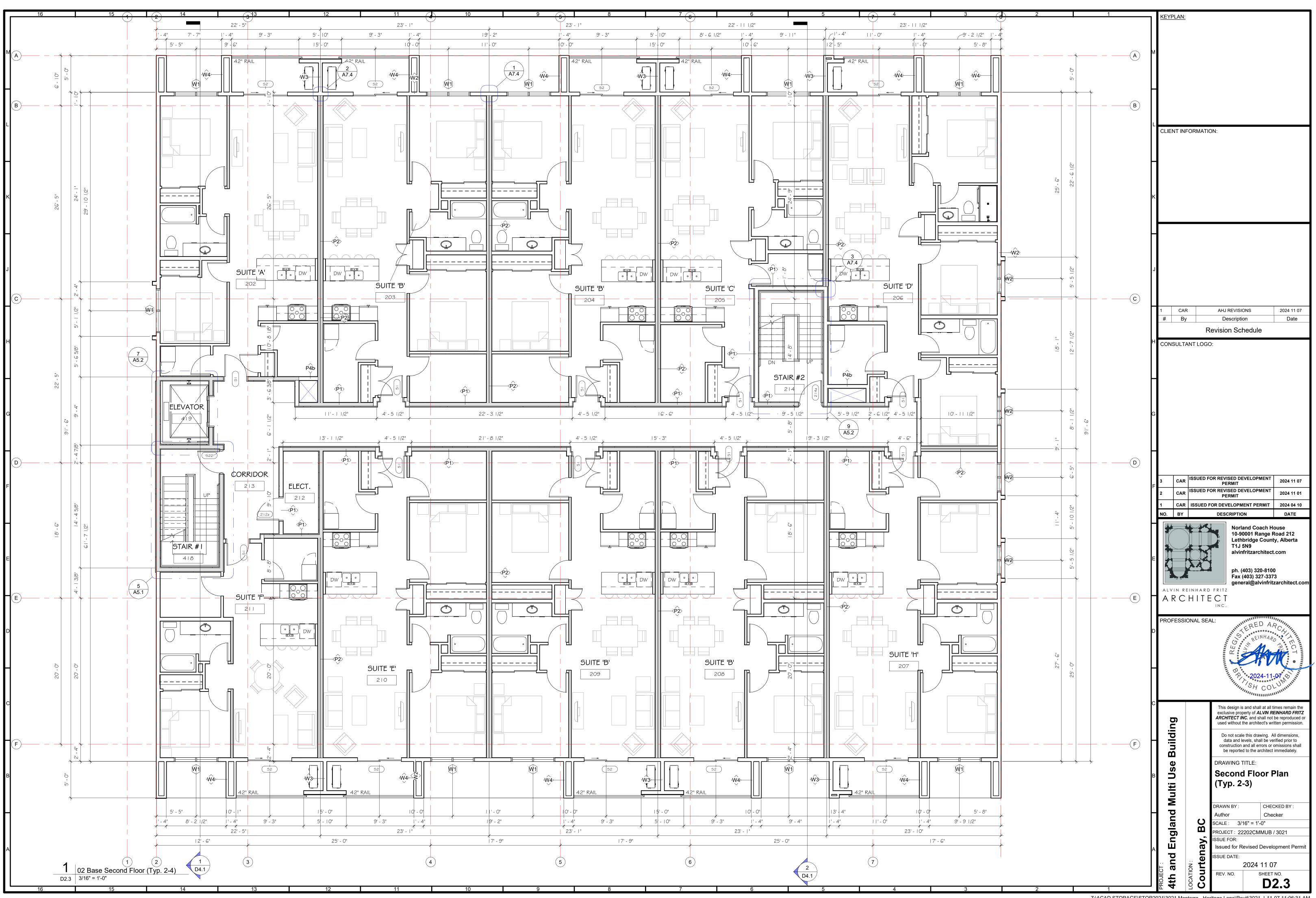
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		Norland Coach House 10-90001 Range Road 212
		Lethbridge County, Alberta T1J 5N9 alvinfritzarchitect.com
		ph. (403) 320-8100 Fax (403) 327-3373 general@alvinfritzarchitect.com
		A R C H I T E C T
		INC.
		PROFESSIONAL SEAL:
		D REINHARD
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		DA COLUMBURING
		This design is and shall at all times remain the exclusive property of <i>ALVIN REINHARD FRITZ</i>
		used without the architect's written permission.
		Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction and all errors or omissions shall
		be reported to the architect immediately.
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		A BRAWN BY : CHECKED BY : Author Checker SCALE : 1/8" = 1'-0" PROJECT : 22202CMMUB / 3021 ISSUE FOR: Issued for Revised Development Permit
		DRAWN BY : CHECKED BY : Author Checker
		Scale : 1/8" = 1'-0" PROJECT : 22202CMMUB / 3021
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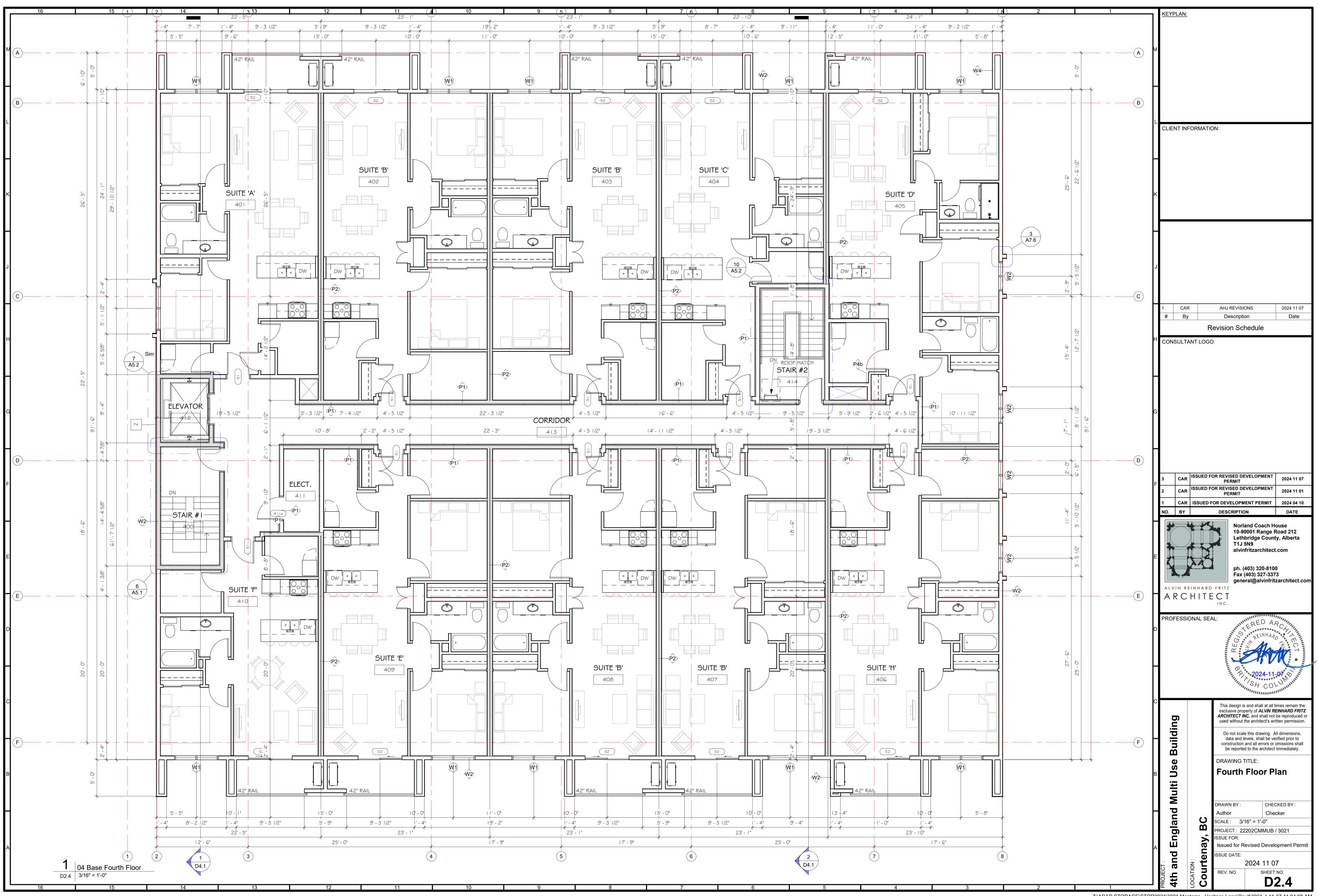




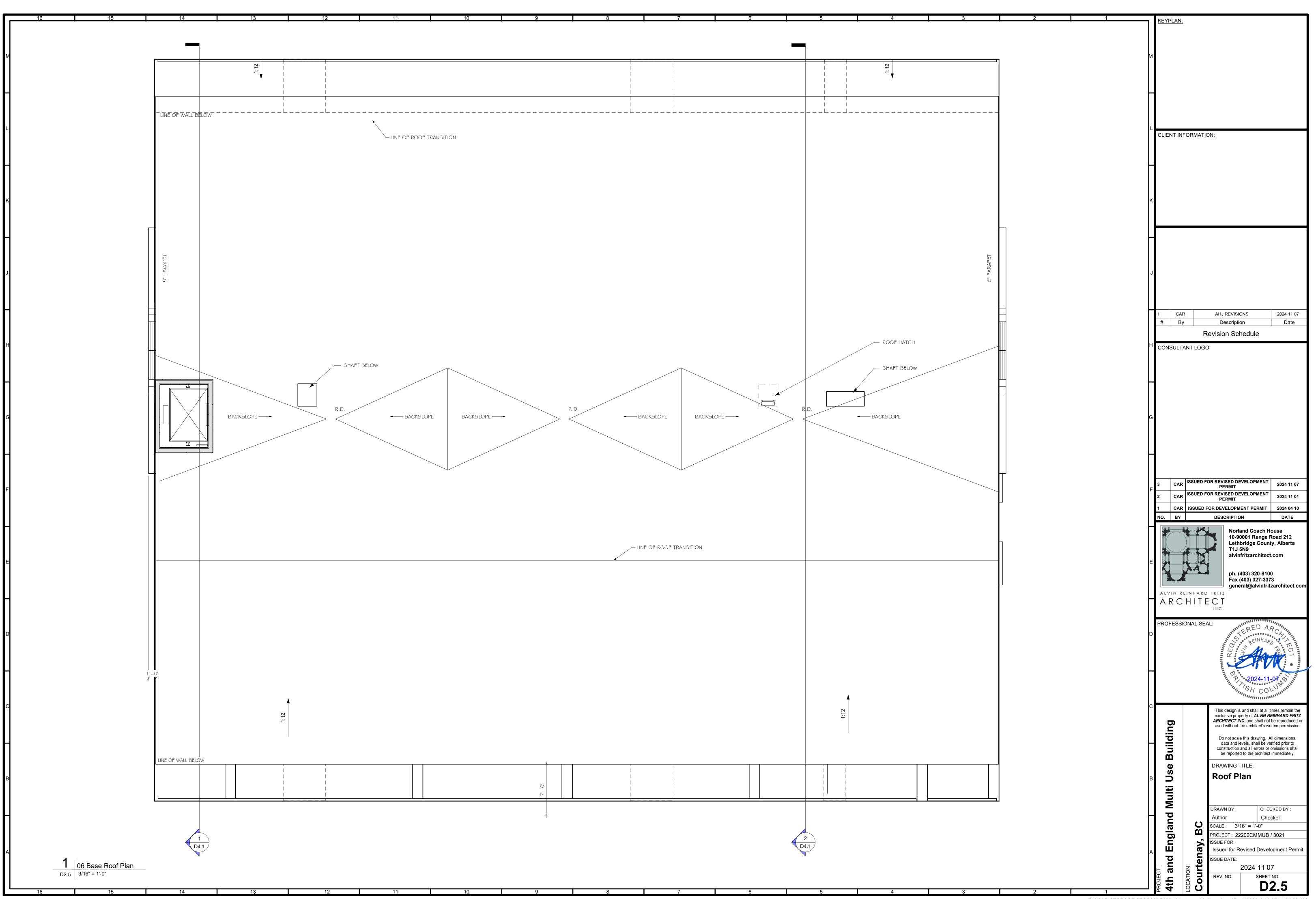
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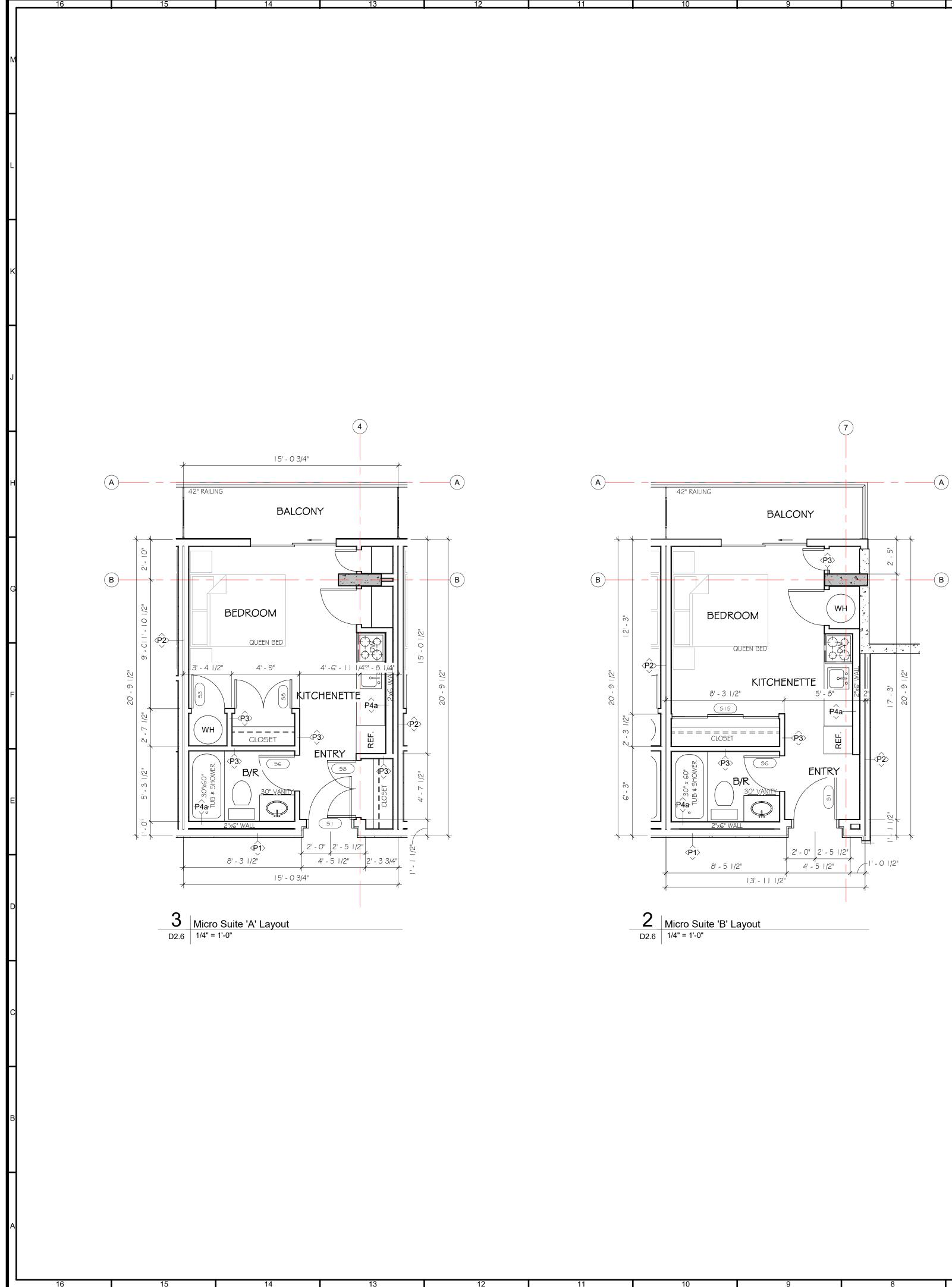


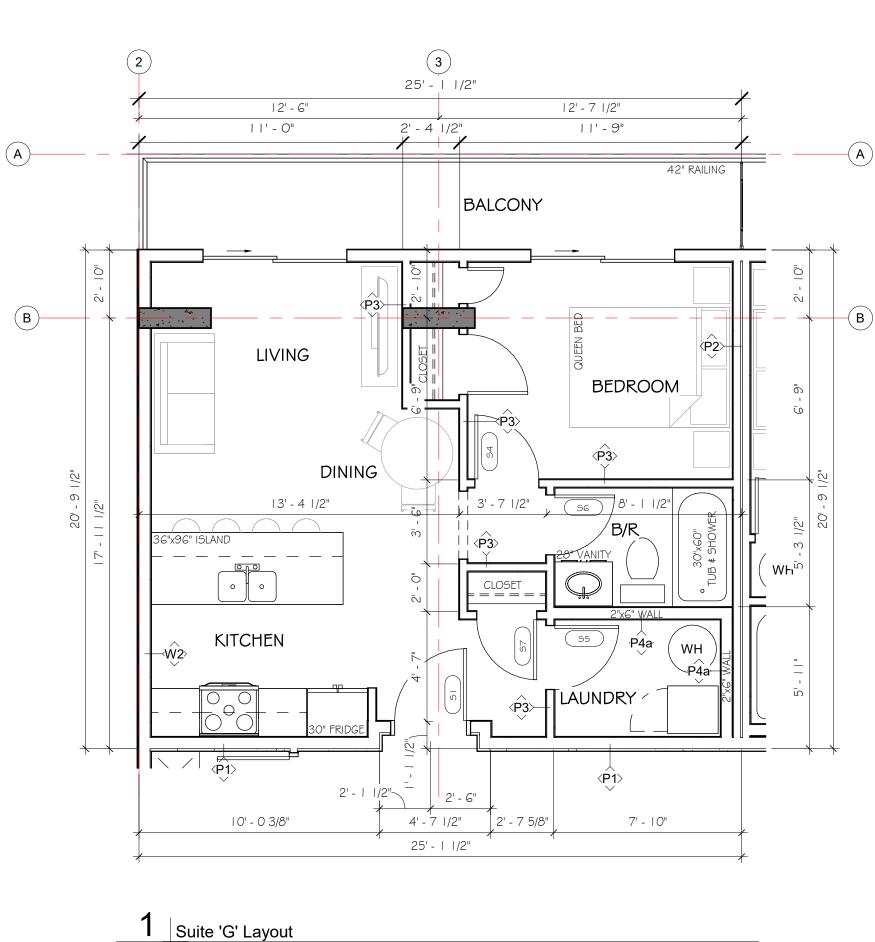
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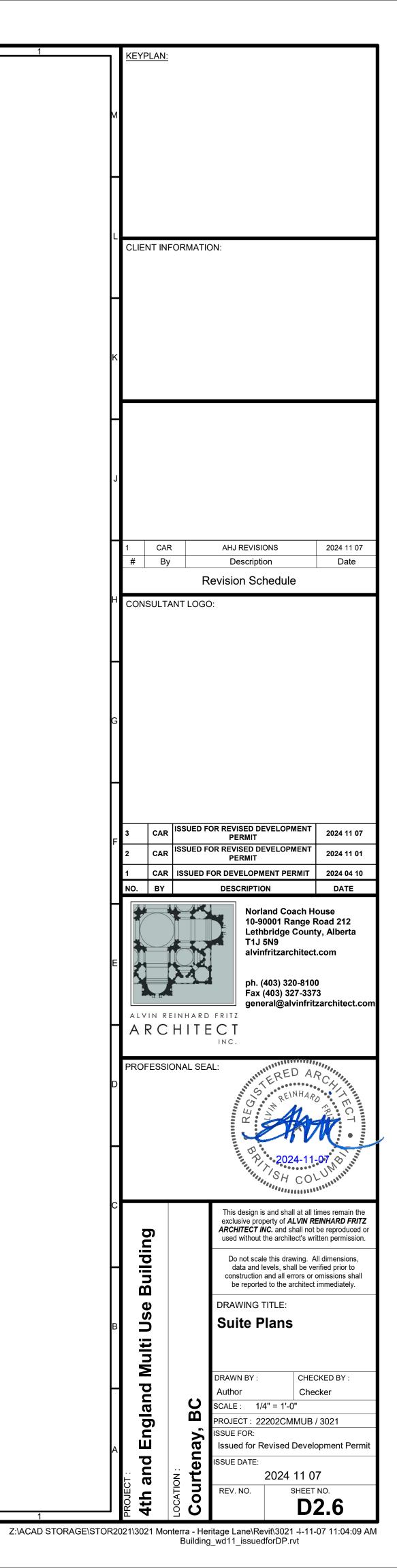


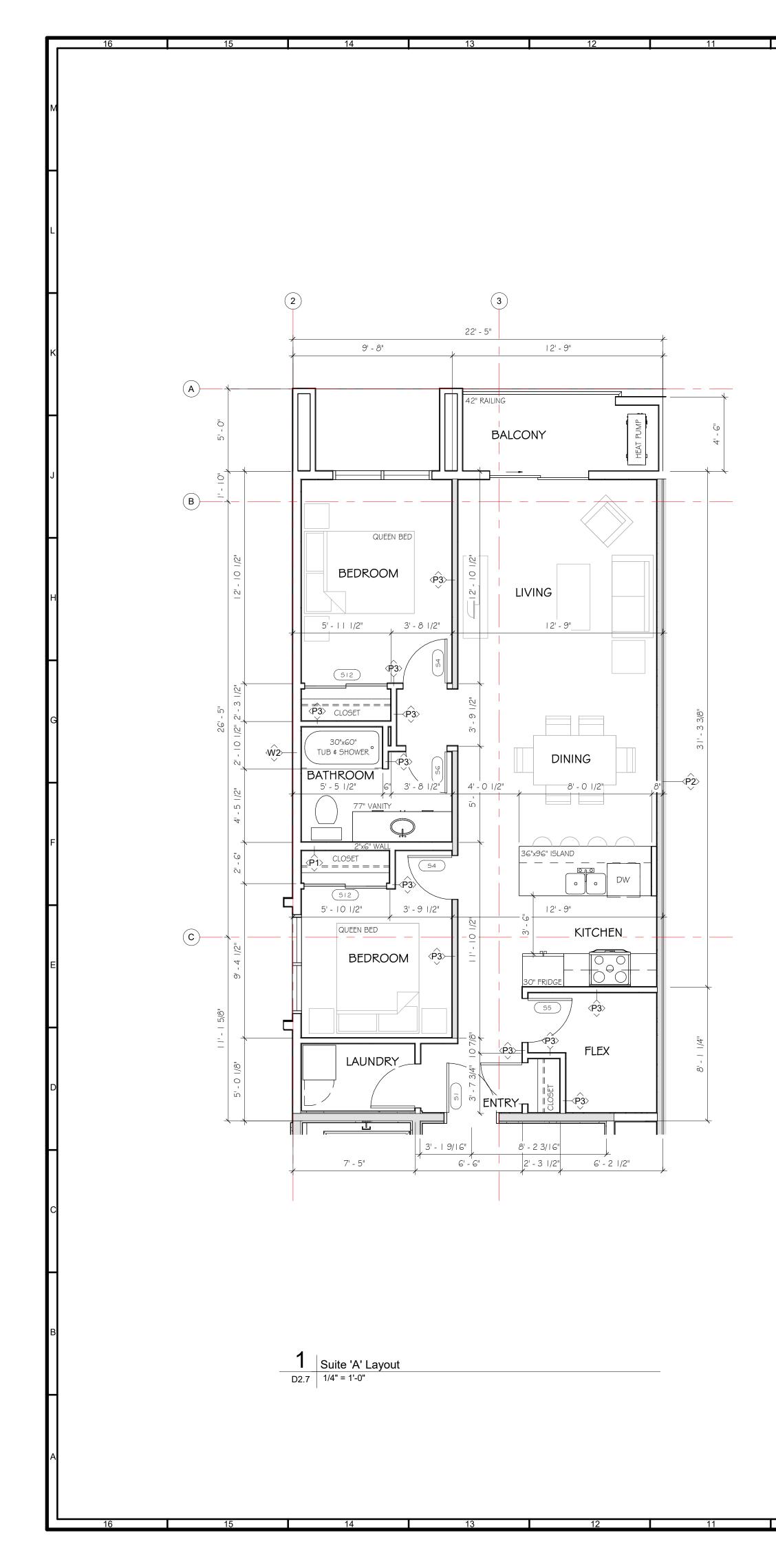


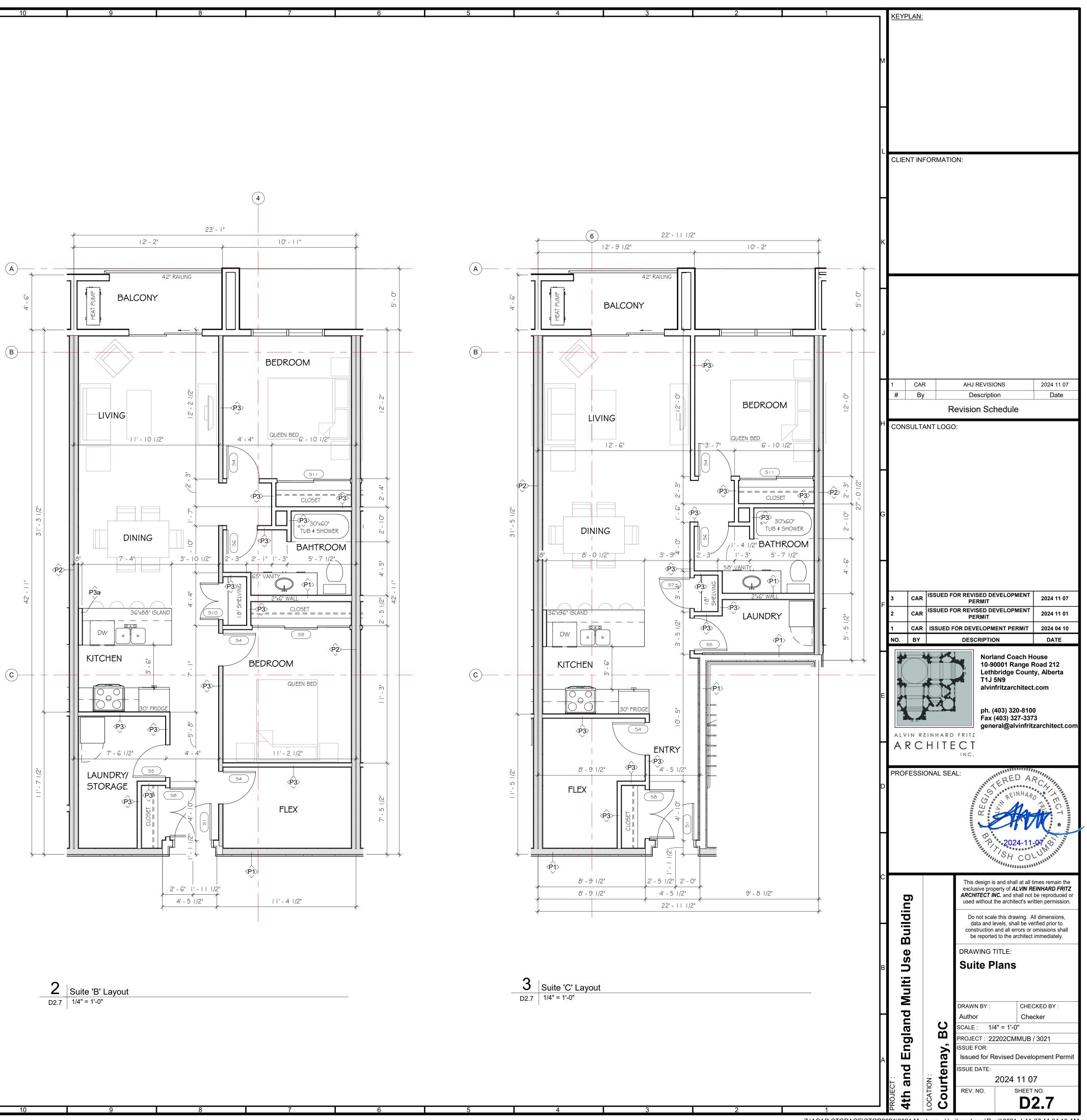


 1
 Suite 'G' Layout

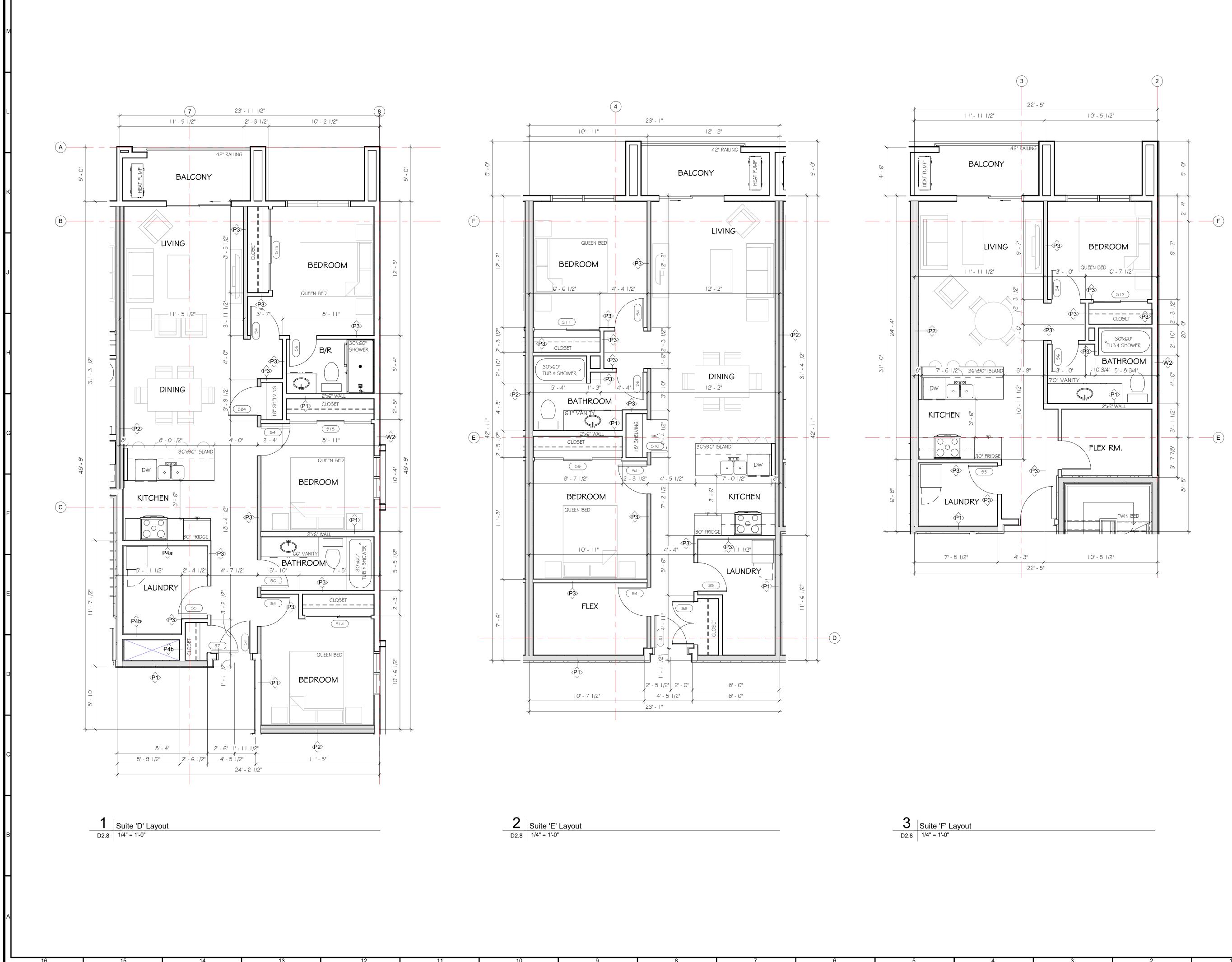
 D2.6
 1/4" = 1'-0"

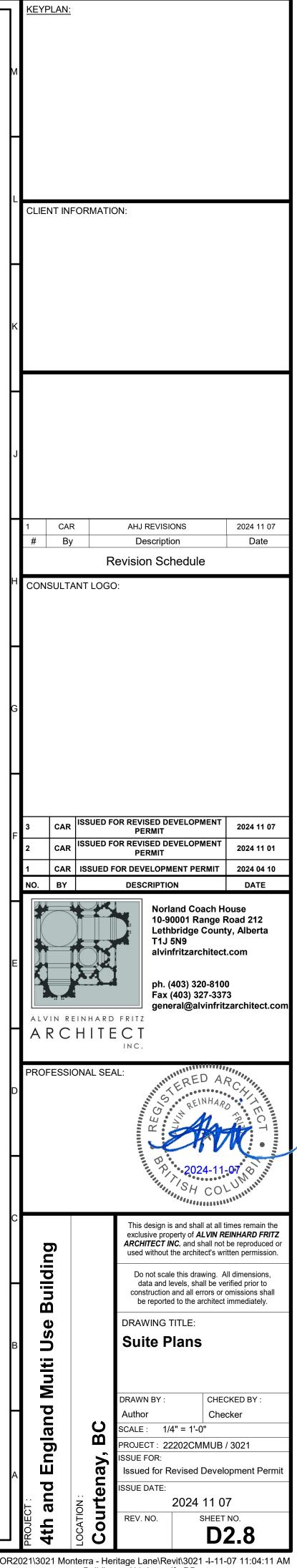






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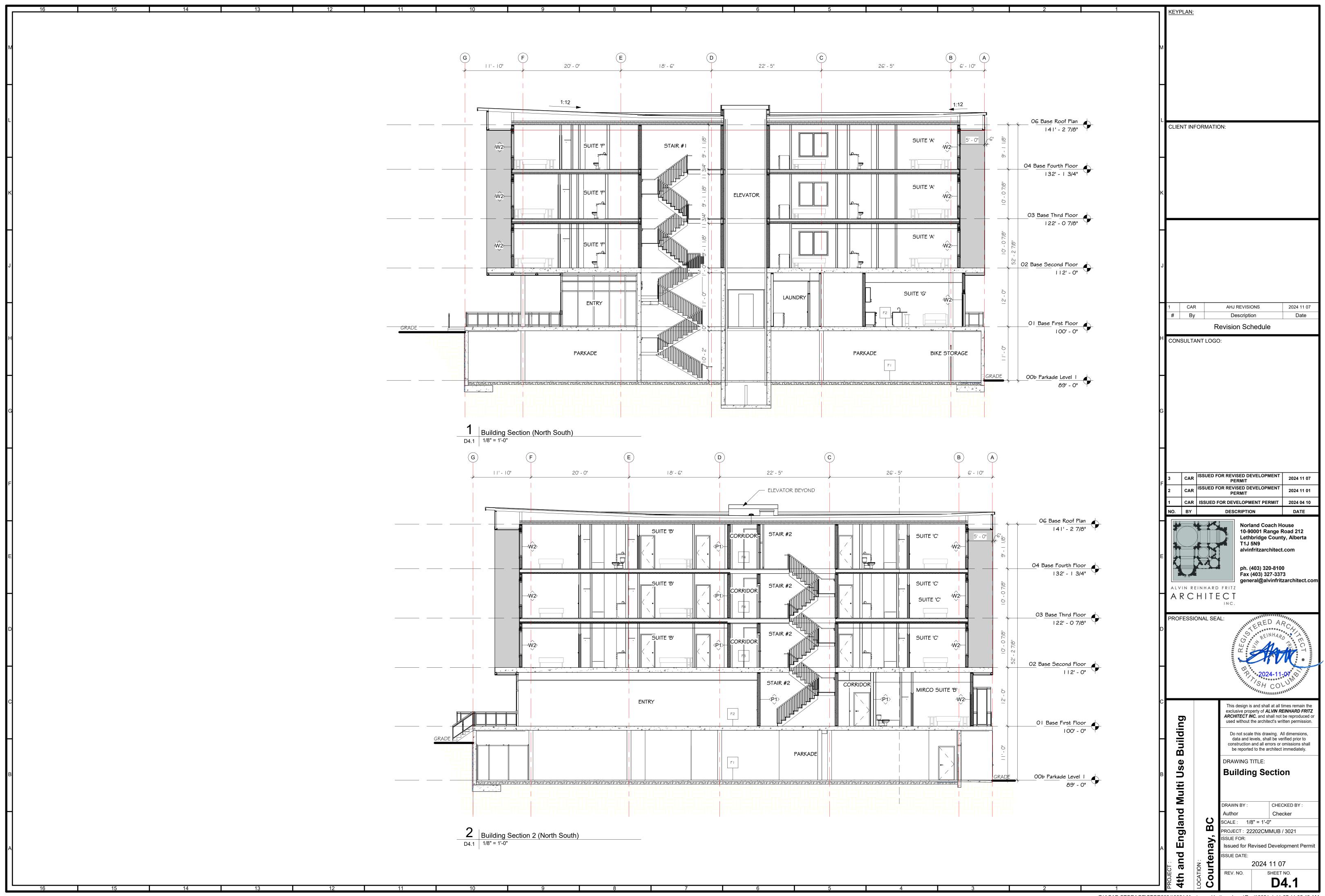




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