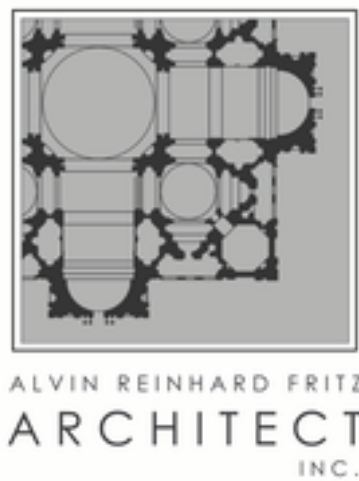


# Heritage Lane

## 419 & 407 4th Street Courtenay, BC



**ONSITE**  
Engineering Ltd.

**MUIR**  
ENGINEERING LTD.  
Consulting Electrical Engineers

KEYPLAN:

CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
#	By	Description	Date
Revision Schedule			

CONSULTANT LOGO:

3	CAR	ISSUED FOR REVISED DEVELOPMENT PERMIT	2024 11 07
2	CAR	ISSUED FOR REVISED DEVELOPMENT PERMIT	2024 11 01
1	CAR	ISSUED FOR DEVELOPMENT PERMIT	2024 04 10
NO.	BY	DESCRIPTION	DATE



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ARCHITECT  
INC.

PROFESSIONAL SEAL:



PROJECT :  
4th and England Multi Use Building

LOCATION :  
Courtenay, BC

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DRAWING TITLE:  
**Cover Sheet**

DRAWN BY: JMV	CHECKED BY: AF / CAR
SCALE: PROJECT : 22202CMMUB / 3021	
ISSUE FOR: Issued for Revised Development Permit	
ISSUE DATE: 2024 11 07	
REV. NO.	SHEET NO. <b>D0.0</b>







[illegible]

### MATERIAL INDICATIONS

	ASPHALT ROOF
	BRICK MASONRY
	BRICK & STONE MASONRY - SECTION
	CONCRETE MASONRY UNIT
	CONCRETE MASONRY UNIT - SECTION
	CONCRETE
	CULTURED STONE VENEER
	GLASS
	GRANULAR BASE, CRUSHED ROCK
	PLYWOOD
	RIGID INSULATION
	SAND, FILL SOIL
	GYPSUM BOARD, SPRAY FOAM, FARGING
	SHAKE ROOF
	STEEL
	WOOD FINISH

### DETAIL FRAMING

	WOOD FRAMING THROUGH MEMBER
	WOOD FRAMING INTERRUPTED MEMBER
	GLU-LAM BEAM
	CEMENTITIOUS BACKER BD
	GLASS BLOCK
	GLASS
	CARPET
	CERAMIC TILE, QUARRY TILE, OR RESIL FLR (SHOW PROFILE ONLY)

### FLOOR PLAN INDICATIONS

### LINE INDICATIONS

	CENTER LINE
	HIDDEN LINE
	OVERHEAD LINE
	SETBACK LINE
	PROPERTY LINE
	PEEL & STICK MEMBRANE LINE
	BUILDING PAPER LINE
	POLY A.V.B. LINE
	BATT INSULATION LINE

### WALL & OPENING INDICATIONS

### REFERENCE INDICATIONS

### REFLECTED CEILING PLAN INDICATIONS

### DETAIL FRAMING

	WOOD FRAMING THROUGH MEMBER
	WOOD FRAMING INTERRUPTED MEMBER
	GLU-LAM BEAM
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	CERAMIC TILE, QUARRY TILE, OR RESIL FLR (SHOW PROFILE ONLY)

### FLOOR PLAN INDICATIONS

PRO	4t	LOC	CC			D0.2
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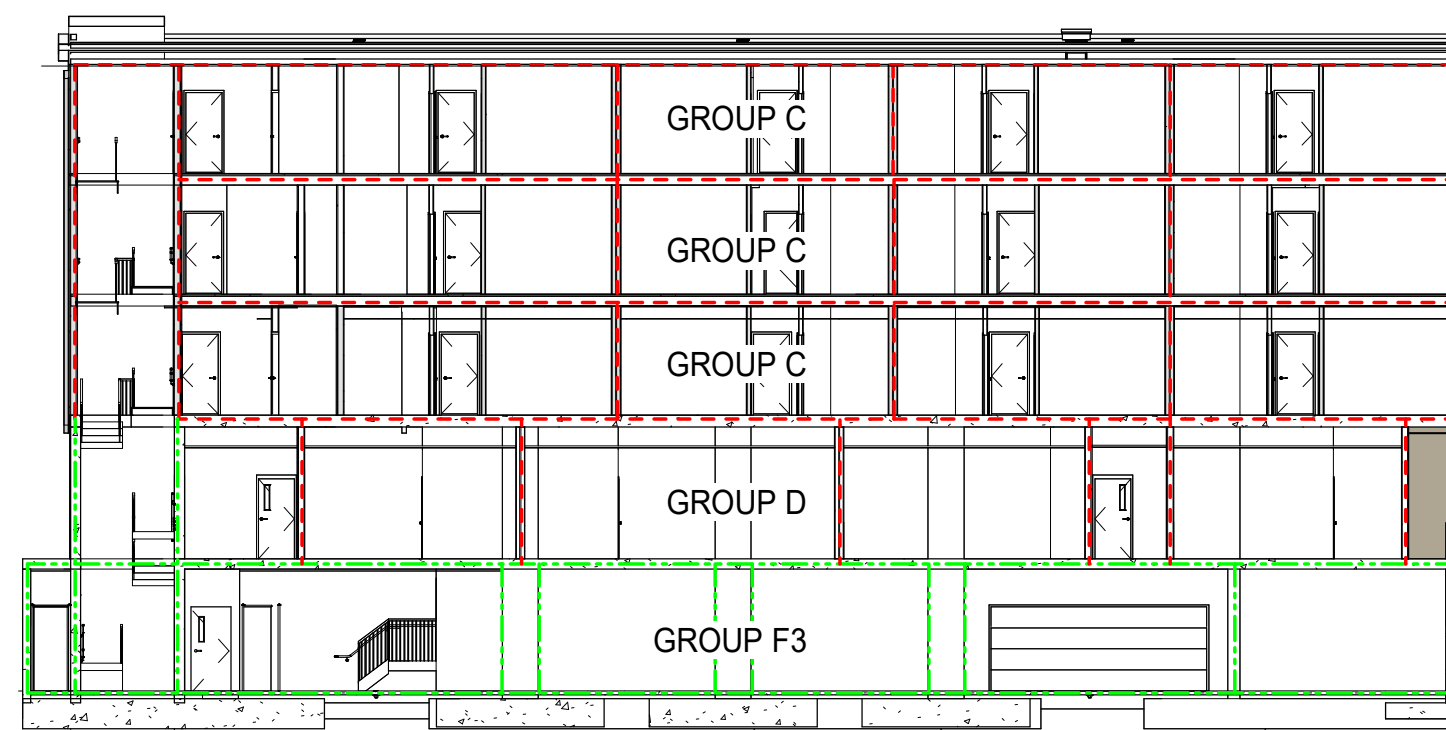




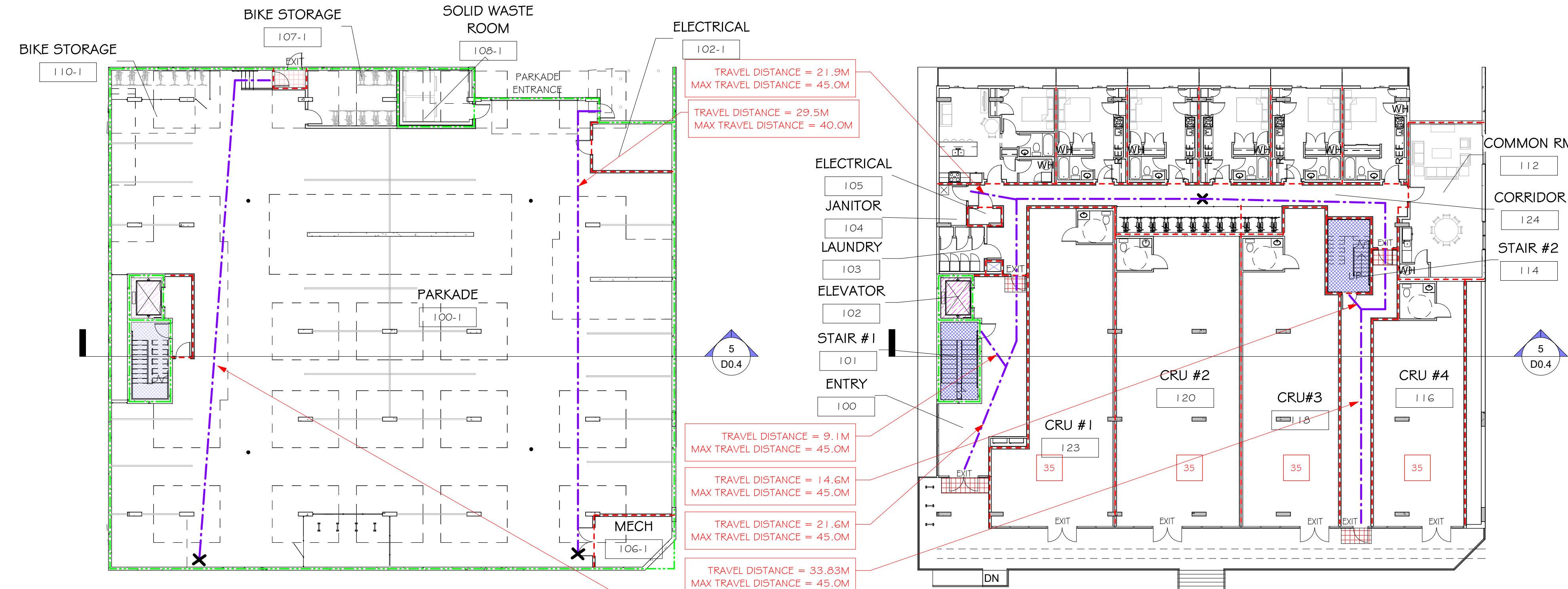


Project Name City Province British Columbia Building Code 2024 Edition - Data Matrix Parts 3 & 9		Project # Date By	
Monterra Mixed Use Building Courtenay BC		22202CMMUB / 3021 2024 04 09 DWJ / JMV / CAR / EVD	
Project Description:		Part 3 Part 9	
Major Occupancy(s):		C/D/F3	
Building Area (m2)		1142.0	
Gross Area (m2)		3374.9	
Group D		Existing	
Group F3		Existing	
Number of Storeys		Above Grade: 4 Below Grade: 1	
Height of Building:		15.5m	
Number of Streets/ Access Routes		2	
Building Classification		Group C Up to 6 storeys	
Sprinkler System Proposed		Entire building Basement only In lieu of roof rating Not required	
Standpipe required		Yes No	
Fire Alarm required		Yes No	
Water Service/Supply is Adequate		Yes No	
High Building		Yes No	
Permitted Construction		Combustible Non-combustible Both	
Actual Construction		Combustible Non-combustible Both	
Mezzanine(s) Area (m2)		n/a	
Occupancy		Occupant load based on seating capacity See Floor Plans (Total)	
Residential		69 Bedrooms X 2 persons/bedroom = 138 persons	
Commercial		515.5 sq.m. / 3.7 sq.m./person = 140 persons	
Total		280 persons	
Barrier-free Design		Yes No	
Hazardous Substances		Yes No	
Required Fire Resistance Rating (FRR)		Horizontal Assemblies FRR (Hours) Listed Design No. or Description (SG-2) Roof: 1 hour Mezzanine: n/a FRR of Supporting Listed Design No. Floors: 1 hour Roof: 1 hour Mezzanine: n/a	
Spatial Separation - Construction of Exterior Walls		2.2.3	
Wall		of EBF(m2) L.D.(m) L/H or H/L Max. % of Openings Proposed % of Openings FRR (Hours) Design or Description Comb. Const. Non-Comb. Const. (Non Comb. Or Comb.)	
North		622 6m Less than 3:1 22% 18.80% 1 (E-2)	
East		482 9m+ Less than 3:1 42% 6.10% 45 min (E-1)	
South		554 9m+ Less than 3:1 42% 28.30% 45 min (E-1)	
West		382.85 1.4m Less than 3:1 8% 6.10% 1 (E-2)	
Fire Alarm and Fire Access		REQUIRED	
Fire Alarm & Detection System		REQUIRED	
Signals to Fire Department		2 Stage	
Other conditions/features:		REQUIRED	
Smoke detectors in Group C public corridors		REQUIRED	
Visual fire alarm signals in public corridors, public washrooms, principal living area of residential suites		REQUIRED	
Smoke Alarms		Required in each sleeping room and between the sleeping rooms and the remainder of the storey Direct access from storey below by a stairway or fixed ladder and a 550mm x 900mm hatch for a building greater than 3 storeys/14m building ht.	
Roof Access		REQUIRED (to principal entrance)	
Access Routes for Fire Department Vehicles, including turnaround		REQUIRED	
Location of Hydrants		45m to fire dept's connection	
Sprinkler and/or Standpipe system connections		REQUIRED	
Other Conditions/ Features		Portable Fire Extinguishers req'd	
Emergency Lighting		REQUIRED	
Mezzanines - 3.2.8.2 (1) and 3.2.1.1 (3 to 8)		n/a	
Interconnected Floor Space - 3.2.8.3 (4&6)		n/a	
Safety Within Floor Areas - Fire Separation		3.1.1	
Suite Separation		1 hour - Group C only Group C to D - 1 hour / Group C & D to F3 - 2 hour (3.2.1.2)	
Major Occupancy Separation:		3.1.3	
Public Corridor		3.1.4/3.1.8.1/	
Barrier-Free Protection		3.1.7	
Janitor Room		3.1.21	
Storage Room		3.3.4/3.6.2.1/	
Storage Garage		3.3.4/3.6.2.1/	
Other Conditions/ Features:		A basement used primarily as a storage garage is permitted to be considered as a separate building for the purposes of Section 3.2.1.2, provided the walls, floor, and roof assemblies above the basement are constructed as a non combustible fire separation with a 2 hour fire resistance rating. Min 2m clear ht.	
Exit		3.4	
Minimum 2 exits required		YES	
Single Exit Permitted		NO	
Location of Exit / Travel Distance		45m for Group C / F3 & 40m Group D	
Mezzanine Exits		n/a	
Exit Capacity (min width in mm)		Doors/Corr. 1708mm required 1828mm provided	
For Part 3, see 3.4.3.2 (6. 1mm/person on ramps, doorways & corridors 8mm/person on stairs)		Stairs 2208mm required 2742mm provided	
Exit Stair Enclosure		1 hour	
Exit Lobby		YES	
Exit Signage Required		YES	
Other conditions/ Features 3.4.5.1(6) - Arrow & Pointer Indicators		YES	
Vertical Transportation		3.5	
Elevator Shaft		YES - 1 hour rating	
Elevator Machine Room		YES	
Elevator Size (mm X mm) inside: 2010x610 REQ'D		180	
Service Spaces		3.6	
Service (Furnace) Room		1 hour	
Service (other) Room		Sprinklered	
Roof-top Appliance & Building		Fire separation not required	
Plenums Flame Spread<25, Smoke Development<50		Non-combustible	
Attic/ Roof Space Access		550x900	
Crawl Space		N/A	
Other conditions/ Features:		N/A	
Vertical Service Spaces		3.6.3	
Service Spaces		45 minutes	
Washrooms		3.7.2.2	
Number of Water Closets and Lavatory		Group D Female 1 (up to 25 persons) Male 1 (up to 25 persons) Group C 1 water closet per dwelling unit	
Barrier-free Design		3.8	
Barrier-free access provided to all of Floor Areas		YES	
Public entrance doors will be equipped w/ power door operator		YES - active leaf / exterior and vestibule doors	
Barrier-free washrooms are provided		YES - within barrier free path of travel / not in residential units	
Barrier-free required at exterior		YES - intercom at principal entrance	
Other Conditions/ Features:		Max. ramp slope 1 in 12. Landings every 9m of length	

#### CODE REVIEW LEGEND :

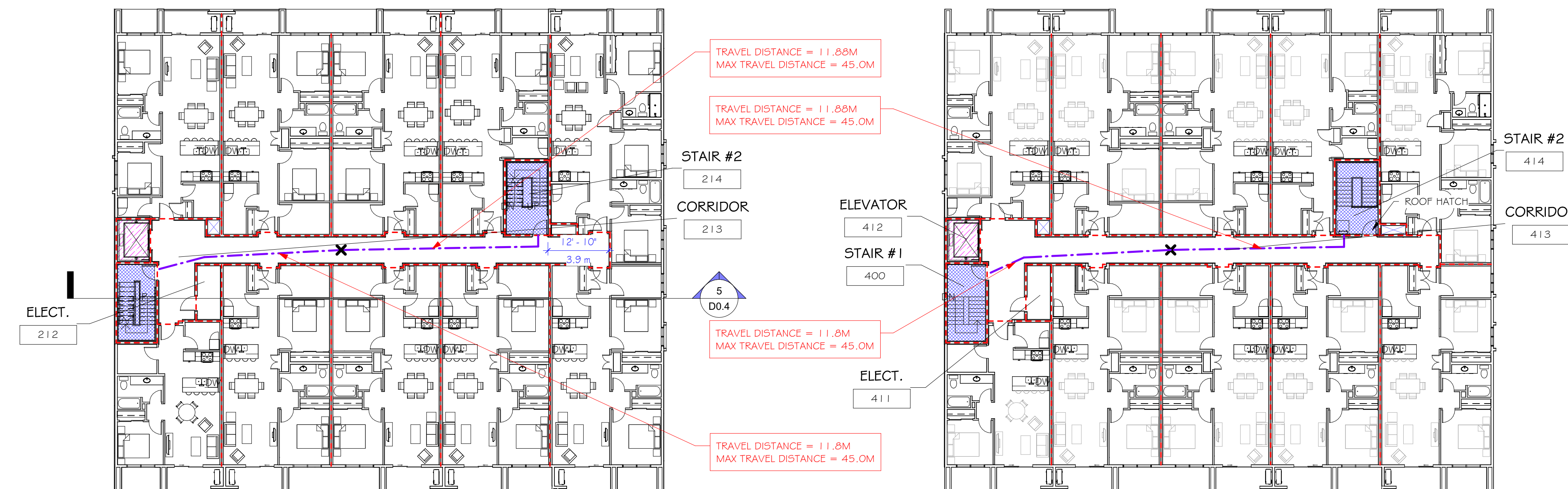


5 Building Section - Code Review  
D0.4 1/16" = 1'-0"



1 00b Parkade Level 1 - Code Review  
D0.4 1/16" = 1'-0"

2 01 Base First Floor - Code Review  
D0.4 1/16" = 1'-0"



3 02 Base Second Floor (Sim 2-3) - Code Review  
D0.4 1/16" = 1'-0"

4 04 Base Fourth Floor - Code Review  
D0.4 1/16" = 1'-0"

#### KEYPLAN:

#### CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
#	By	Description	Date
Revision Schedule			

#### CONSULTANT LOGO:

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ALVIN REINHARD FRITZ  
ARCHITECT  
INC.

#### PROFESSIONAL SEAL:



#### 4th and England Multi Use Building Courtenay, BC

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#### DRAWING TITLE: Building Code Review

DRAWN BY:	CHECKED BY:
JMV	AF / CAR
SCALE:	As indicated
PROJECT:	22202CMMUB / 3021
ISSUE FOR:	Issued for Revised Development Permit
ISSUE DATE:	2024 11 07
REV. NO.	SHEET NO.
	D0.4



# 4th and England Mixed Use 407 4th Street Courtenay, BC

## STATISTICS:

### LEGAL DESCRIPTION

Lot A & B, Section G1,  
Land District 15, Plan No VIP45735

### CIVIC ADDRESS

407 4th Street  
Courtenay, BC V9N 1G9

### P.I.D.

009-629-211  
009-629-271

### EXISTING ZONING

COMMERCIAL ZONING (C1)

### PROPOSED USE

RESIDENTIAL / COMMERCIAL / INDUSTRIAL  
MULTIPLE DWELLING UNITS  
4 CRU SPACES

### SURVEY INFORMATION:

COMPLETED BY HOERBURGER LAND SURVEYORS

### HOUSING AGREEMENT:

CIVIL:  
COMPLETED BY ONSITE ENGINEERING

### GEOTECHNICAL:

REPORT COMPLETED BY GEOTECHNICAL ENGINEER

### SITE COVERAGE

PERMITTED SITE COVERAGE:  
AS PER SECTION 8.1.5.4 THERE IS NO LIMIT TO LOT COVERAGE

### PROPOSED SITE COVERAGE:

10326 SQ. FT. / 13,212 SQ. FT. = 78.1%

### LANDSCAPED AREA

PROPOSED LANDSCAPE AREA = 558 SQ. FT. (51.8 SQ. M.)  
= 2.6% SITE COVERAGE

### BUILDING SETBACKS

AS PER SECTION 8.1.8.6 THERE ARE NO SETBACK REQUIREMENTS

### LOCATION:

FRONT YARD (4TH STREET)  
SIDE YARD (NORTHWEST NEIGHBOR)  
REAR YARD (LANE)  
SIDE YARD (ENGLAND AVENUE)

PROPOSED:  
= 1.1m  
= 1.4m  
= 0.2m  
= 0m

### CAR PARKING:

#### REQUIRED:

OFF STREET PARKING REQUIREMENTS:  
1 STALL PER RESIDENTIAL UNIT REQ'D  
(2.75m x 5.5m) = 36 STALLS

#### PROPOSED:

REGULAR STALLS PROVIDED = 20 STALLS  
(2.87m x 5.5m W/ COLUMN ENCROACHMENTS)

#### SMALL CAR STALLS PROVIDED

(2.5m x 4.6m) = 7 STALLS

#### SHORT TERM VISITOR PARKING AVAILABLE ALONG STREET

#### FRONTAGES:

#### BICYCLE PARKING:

##### REQUIRED:

AS PER PART 3 BICYCLE PARKING REQUIREMENTS:  
7.3.1 MINIMUM REQUIRED NUMBER OF BICYCLE

##### PARKING SPACES:

MULTI RESIDENTIAL  
CLASS 2 BICYCLE PARKING SPACES PER DWELLING UNIT - 2  
2 PER 36 UNITS = 72 SPACES

##### CLASS 1 BICYCLE PARKING SPACES - CALCULATED

AS 10% OF THE MINIMUM NUMBER OF CLASS 2  
SPACES REQUIRED.  
78 SPACES x 10% = 8 SPACES

##### TOTAL REQ'D BICYCLE SPACES: 80 SPACES

##### PROPOSED:

CLASS 2 SPACES PROVIDED: = 46 SPACES  
VERTICAL = 16 SPACES  
HORIZONTAL = 4 SPACES  
OVERSIZE = 4 SPACES  
TOTAL CLASS 2: = 66 SPACES

\*ALL SPACES ARE LOCATED IN THE PARKADE & L1

##### CLASS 1 SPACES PROVIDED:

HORIZONTAL = 6 STALLS  
\*ALL SPACES ARE LOCATED UNDER THE  
COVERED ENTRY

TOTAL BICYCLE SPACES PROVIDED: = 72 STALLS

## BUILDING CODE SUMMARY:

PROJECT NAME	MONTERRA MIXED USE BUILDING
CIVIC ADDRESS / LEGAL DESCRIPTION	407 & 419 4th Street / Lot A & B, Section G1, Land District 15, Plan No VIP45735
MAJOR OCCUPANCY	RESIDENTIAL / COMMERCIAL / INDUSTRIAL
PART 3 OR PART 9	PART 3
BUILDING AREA (m2)	1160 m <sup>2</sup>
BUILDING GRADE (m)	
NUMBER OF STOREYS	4 STOREYS - 1 BELOW GRADE
NUMBER OF STREETS FACING	2 STREETS (CORNER SITE)
SPRINKLER SYSTEM	
PERMITTED CONSTRUCTION	COMBUSTIBLE AND NON-COMBUSTIBLE CONSTRUCTION
PARTY WALL ASSEMBLY (SEPARATING RESIDENTIAL SUITES)	1h FIRE SEPERATION
PARTY FLOOR ASSEMBLY (BETWEEN DWELLING UNITS)	1h FIRE SEPERATION
FLOOR ASSEMBLY (WITHIN DWELLING UNIT) (REAR BUILDING)	1h FIRE SEPERATION
FLOOR ASSEMBLY (WITHIN DWELLING UNIT) (FRONT BUILDING)	1h FIRE SEPERATION
ROOF ASSEMBLY OF DWELLING UNIT	1h FIRE SEPERATION
WALL ASSEMBLY OF LOADBERING EXTERIOR WALLS	1h FIRE SEPERATION
SPATIAL SEPERATION	45 MIN. FIRE SEPERATION
SMOKE ALARM	SMOKE ALARMS TO COMPLY WITH BC NBC

## DEVELOPMENT DATA SUMMARY

### TOTAL SITE AREA

13,212 SQ. FT. (1227.4 SQ. M.)

### FLOOR AREA AND DENSITY

#### PROPOSED:

BUILDING NET AREA: = 54319.85 SQ. FT. (5046.5 SQ. M.)  
FLOOR AREA RATIO: = 54319.85 SQ. FT. / 13212 SQ. FT. = 4.11 FAR

#### DWELLING UNIT DENSITY

PROPOSED: = 36 UNITS

#### GARBAGE & RECYCLING

PER GARBAGE & RECYCLING STORAGE AMENITY DESIGN SUPPLEMENT  
BASED ON MULTI-FAMILY

#### REQUIRED:

3 YARD BIN (2294 L): 1 FOR THE DEVELOPMENT (PICK UP IN LANE)

#### PROVIDED:

3 YARD BIN (2294 L): 1 FOR THE DEVELOPMENT (PICK UP IN LANE)

### COMMERCIAL AREA

CRU #1 = 1393 SQ. FT.  
CRU #2 = 1658.5 SQ. FT.  
CRU #3 = 1317.4 SQ. FT.  
CRU #4 = 998.4 SQ. FT.

### UNIT COUNT:

LEVEL 1: (6 UNITS)  
MICRO SUITE 'A' (4 UNITS) = 311 SQ. FT.  
MICRO SUITE 'B' (1 UNIT) = 288 SQ. FT.  
SUITE 'G' (1 UNIT) = 520 SQ. FT.

### LEVELS 2: (10 UNITS)

SUITE 'A' (1 UNIT) = 884 SQ. FT.  
SUITE 'B' (4 UNITS) = 988 SQ. FT.  
SUITE 'C' (1 UNIT) = 838 SQ. FT.  
SUITE 'D' (1 UNIT) = 1075 SQ. FT.  
SUITE 'E' (1 UNIT) = 991 SQ. FT.  
SUITE 'F' (1 UNIT) = 653 SQ. FT.  
SUITE 'H' (1 UNIT) = 1020 SQ. FT.

### LEVELS 3: (10 UNITS)

SUITE 'A' (1 UNIT) = 884 SQ. FT.  
SUITE 'B' (4 UNITS) = 988 SQ. FT.  
SUITE 'C' (1 UNIT) = 838 SQ. FT.  
SUITE 'D' (1 UNIT) = 1075 SQ. FT.  
SUITE 'E' (1 UNIT) = 991 SQ. FT.  
SUITE 'F' (1 UNIT) = 653 SQ. FT.  
SUITE 'H' (1 UNIT) = 1020 SQ. FT.

### LEVELS 4: (10 UNITS)

SUITE 'A' (1 UNIT) = 884 SQ. FT.  
SUITE 'B' (4 UNITS) = 988 SQ. FT.  
SUITE 'C' (1 UNIT) = 838 SQ. FT.  
SUITE 'D' (1 UNIT) = 1075 SQ. FT.  
SUITE 'E' (1 UNIT) = 991 SQ. FT.  
SUITE 'F' (1 UNIT) = 653 SQ. FT.  
SUITE 'H' (1 UNIT) = 1020 SQ. FT.

### TOTAL UNIT BREAKDOWN:

MICRO UNITS = 5 UNITS (288 SQ. FT. - 311 SQ. FT.)  
1 BEDROOM UNITS = 7 UNITS (520 SQ. FT. - 838 SQ. FT.)  
2 BEDROOM UNITS = 21 UNITS (884 SQ. FT. - 1020 SQ. FT.)  
3 BEDROOM UNITS = 3 UNITS (1075 SQ. FT.)

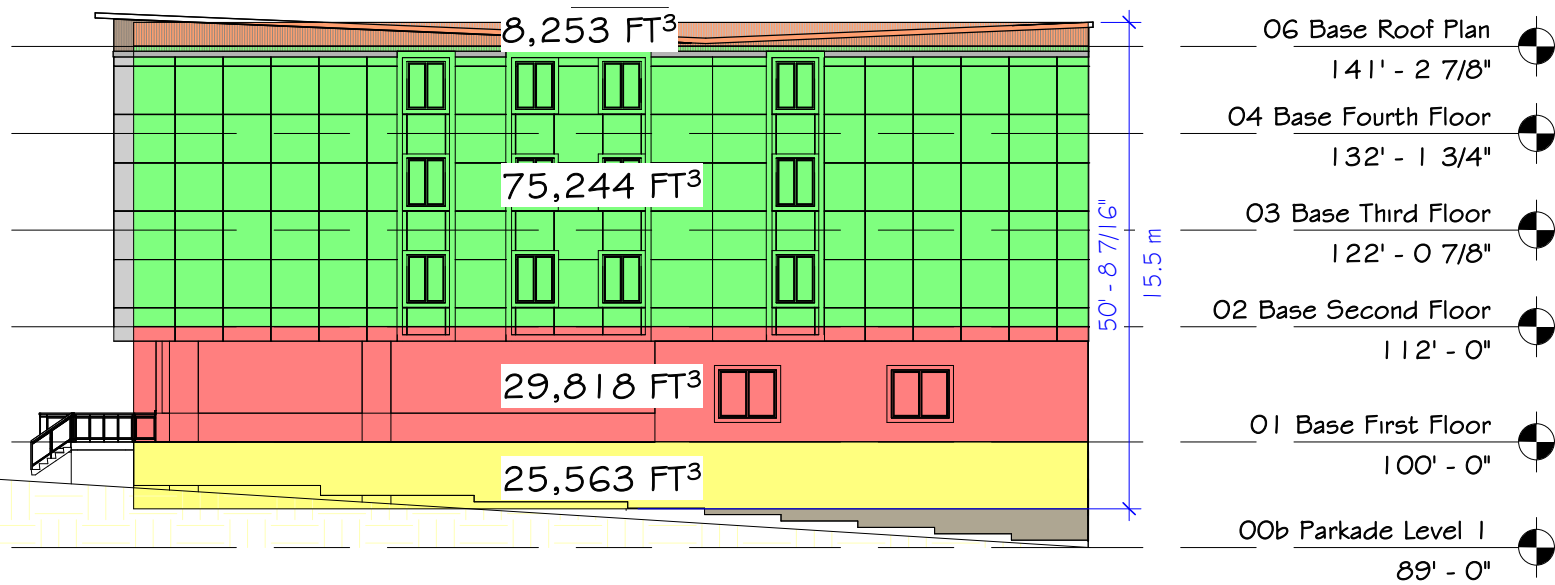
TOTAL NUMBER OF UNITS = 36 UNITS

### HEIGHT:

BUILDING HEIGHT:  
AS PER 8.1.8.7 BUILDING HEIGHT SHALL NOT EXCEED 13.5m

### PROPOSED BUILDING HEIGHT:

16.0m AT BUILDING MID POINT



1 East Elevation - Volume  
D1.1 1" = 20'-0"

## AREA CALCULATIONS

SITE AREA: 13,212 SQ. FT. (1227.4 SQ. M.)

PERMITTED DENSITY / AREA: 13,212 SF x 1.0 x 13.5 = 178,362 FT³

PROPOSED DENSITY / AREA: 12,296 SF x 0.945 x 2.2m = 25,563 FT³  
PARKADE: 10,319 SF x 0.781 x 3.7m = 29,818 FT³  
MAIN FLOOR: 10,568 SF x 0.80 x 8.9m = 75,244 FT³  
SECOND-FOURTH FLOOR: 11,723 SF x 0.88 x 0.8m = 8,253 FT³  
ROOF: 11,723 SF x 0.88 x 0.8m = 8,253 FT³  
TOTAL PROPOSED DENSITY: 138,878 FT³ (3932.5 M³)

GROSS FLOOR AREA (GFA): 54,319 SQ. FT. (5046 SQ. M.)

FLOOR SPACE RATIO (FSR): 4.11 FAR

### GROUND CONTROL

\*\*\*\*\* Cut Sheet & Quick Specifications

#### MATERIALS & FEATURES

- 2 bicycles secured - long term or short term parking solution
- ASTM A36 Steel for all structural plate (standard)
- 1/2" Solid Steel Rod
- Polymint protective sleeve

#### FINISH

Black Polyester Powder Coat

#### MOUNTING OPTIONS

- Wall Mount: Each Offset Vertical Bike Rack mounts to concrete masonry walls and wooden ledger boards
- Staging Systems: Staging systems available. See Slide Stage and Center Stage product pages for additional info.
- Wall Mount: May require 'internal' rails for wood milled wall mounting, call for details.

#### SPACE USE RECOMMENDATIONS

Distance from ground to lowest mounting edge: 42"

Ceiling height: Minimum 9'0" (no obstruction)

Side wall to rack center: Minimum 20", recommended 24"

Distance between racks center to center: Minimum 28", recommended 32"

\*Please contact us for additional information on Offset as a long-term parking solution.

### Offset® Vertical Bike Rack

\*\*\*\*\* Cut Sheet & Quick Specifications

#### MATERIALS & FEATURES

- 2 bicycles secured - long term or short term parking solution
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- 1/2" Solid Steel Rod
- Polymint protective sleeve

#### FINISH

Black Polyester Powder Coat

#### MOUNTING OPTIONS

- Direct surface mount to concrete walls
- Can be anchored directly into concrete masonry units
- Wood studs/ledgerboard
- Product can be mounted onto Slide Stage and Center Stage systems when no appropriate backing exists, or wall mounting is not desirable

#### SPACE USE RECOMMENDATIONS

Distance from ground to lowest mounting edge: 42"

Ceiling height: Minimum 9'0" (no obstruction)

Side wall to rack center: Minimum 20", recommended 24"

Distance between racks center to center: Minimum 28", recommended 32"

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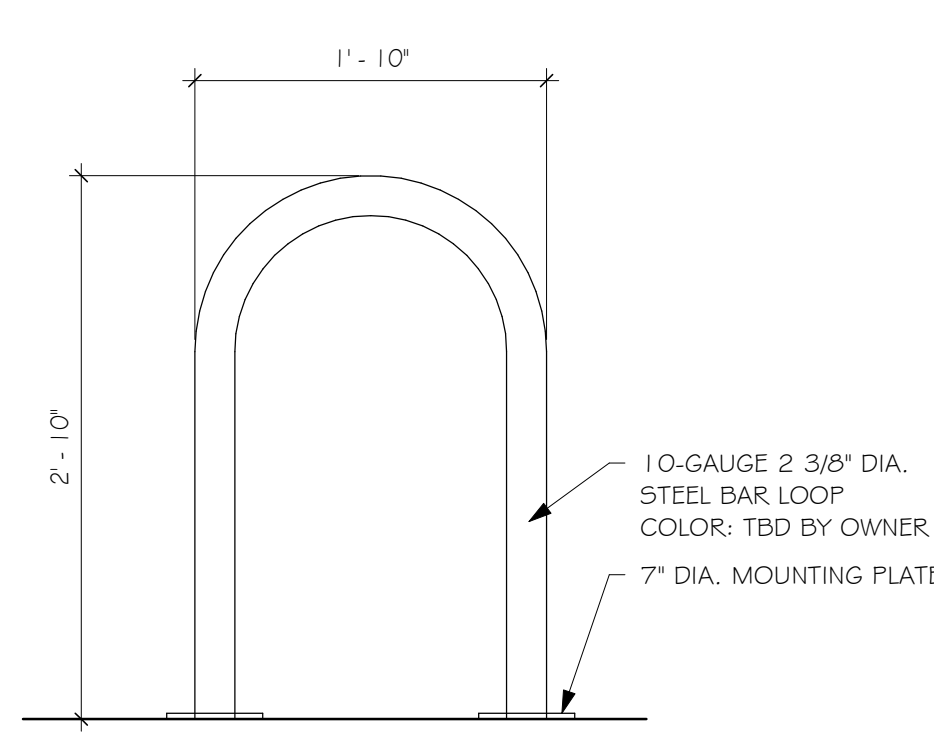
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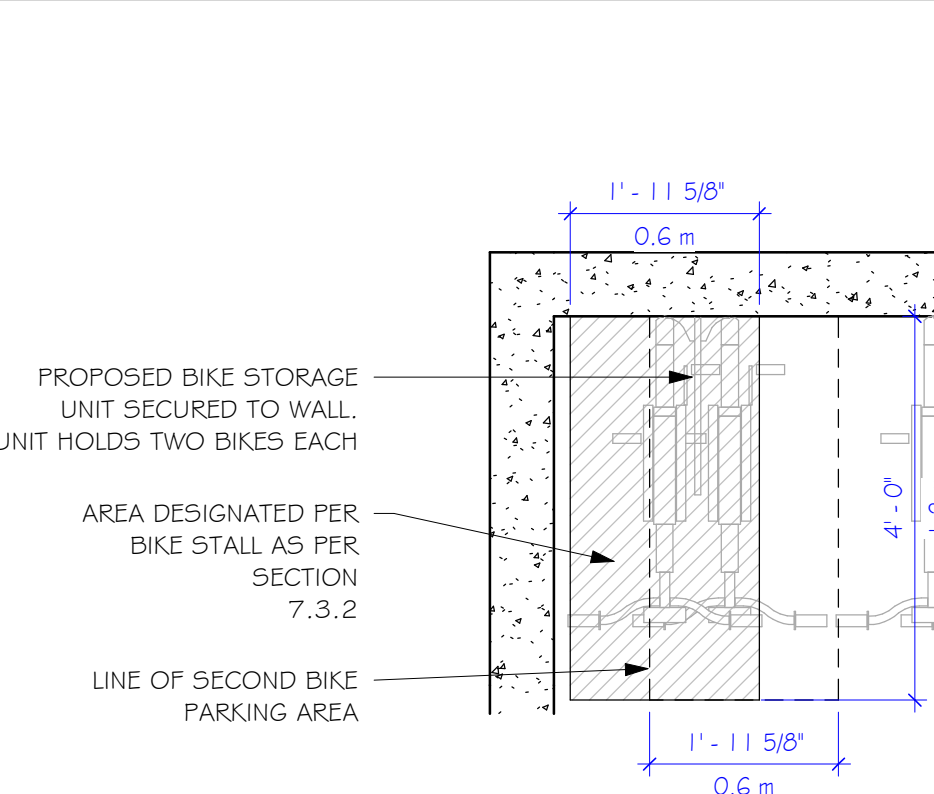
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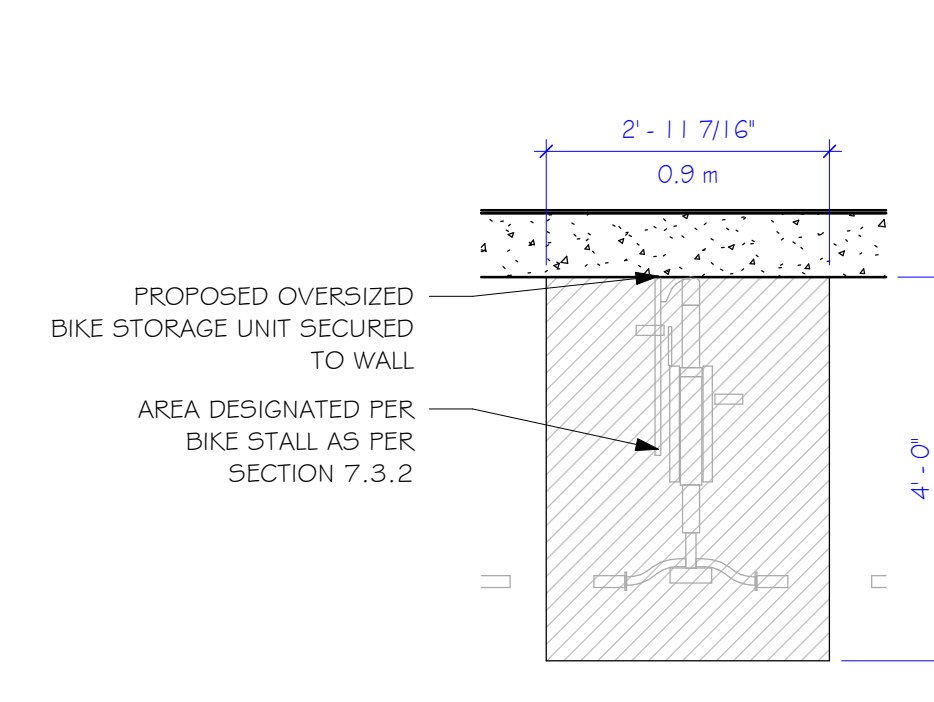
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4 Ext. - Class 1 Bike Stall - Floor Mounted  
D1.1 1" = 1'-0"

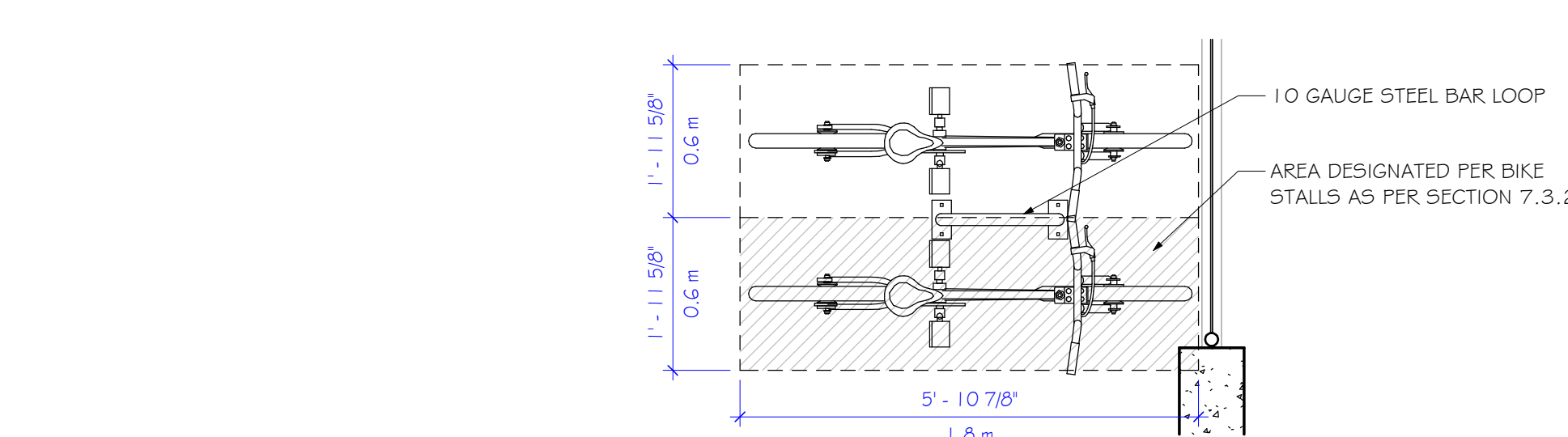


5 Int. - Typical Class 2 Bike Stall - Wall Mounted  
D1.1 1/2" = 1'-0"

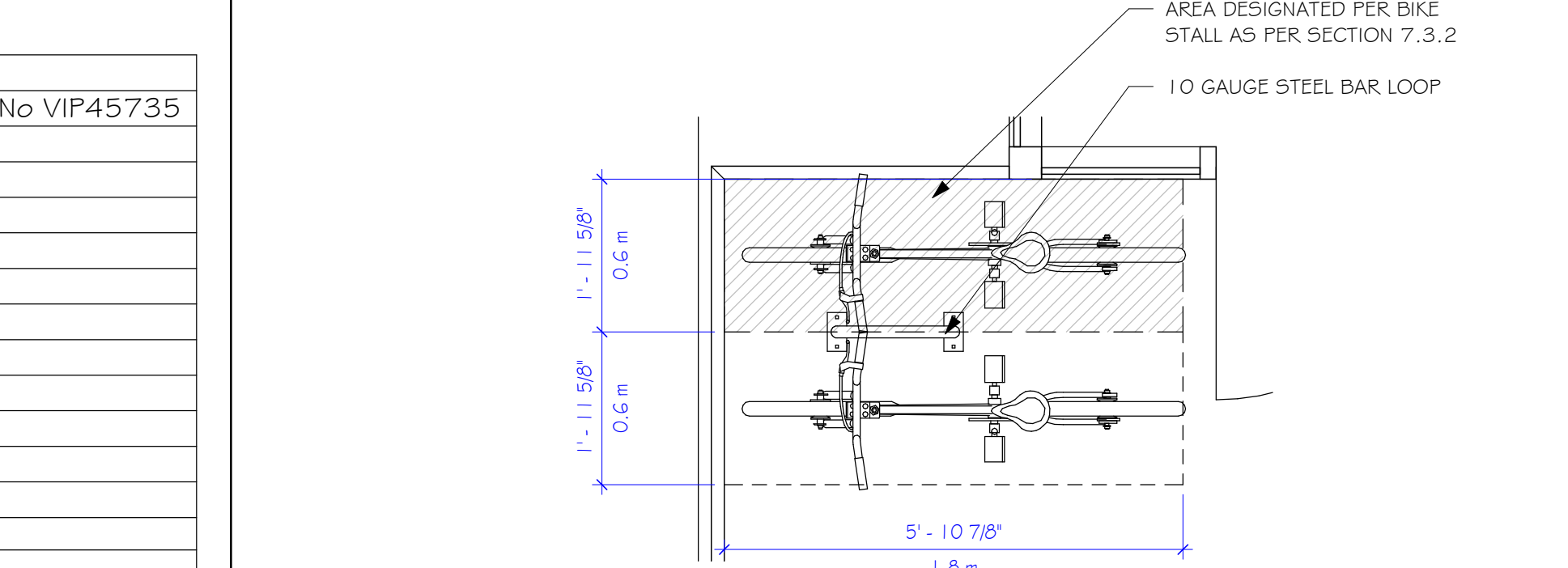


6 Int. - Typical Class 2 Oversized Bike Stall - Wall Mounted  
D1.1 1/2" = 1'-0"

3 Int. - Class Two Bike Stall  
D1.1 1/2" = 1'-0"



7 Int. - Class 2 Horizontal Bike Stall  
D1.1 1/2" = 1'-0"



8 Ext. - Class 1 Bike Stall  
D1.1 1/2" = 1'-0"

## KEYPLAN:

## CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
#	By	Description	Date

## Revision Schedule

## CONSULTANT LOGO:

3	CAR	ISSUED FOR REVISED DEVELOPMENT PERMIT	2024 11 07
2	CAR	ISSUED FOR REVISED DEVELOPMENT PERMIT	2024 11 01
1	CAR	ISSUED FOR DEVELOPMENT PERMIT	2024 04 10

NO.	BY	DESCRIPTION	DATE
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Alvin Reinhard Fritz Architect Inc. logo and contact information.

Professional Seal of Alvin Reinhard Fritz, Registered Architect, British Columbia, 2024-11-07.

Project information: 4th and England Multi Use Building, Courtenay, BC. Drawing title: Site Information. Drawn by: JMV, Checked by: AF / CAR. Scale: As indicated. Project: 22202CMMUB / 3021. Issue for: Issued for Revised Development Permit. Issue date: 2024 11 07. Rev. No. D1.1, Sheet No. D1.1.



TOPOGRAPHIC SURVEY PLAN OF LOTS A AND B;  
BOTH OF SECTION 61, COMOX DISTRICT, PLAN 45735.

407 - 4th STREET, COURTENAY  
SCALE 1 : 100 (METRIC)

THE INTENDED PLOT SIZE OF THIS PLAN IS 500mm  
IN HEIGHT BY 354mm IN WIDTH (D SIZE) WHEN  
PLOTTED AT A SCALE OF 1:150.

LEGEND:

- +15.20 SPOT ELEVATION
- OLD IRON POST (OIP) FOUND
- ▲ SURVEY CONTROL POINT
- CB CATCH BASIN

ELEVATIONS ARE BASED ON THE GEODETIC DATUM DERIVED  
FROM MONUMENT 827-J LOCATED AT THE OLD POST OFFICE.  
ELEVATION = 15.188m

PLAN DIMENSIONS DERIVED FROM FIELD MEASUREMENTS AND PLAN 45735.

ERIC HOERBURGER, B.C.L.S.  
FEBRUARY 8, 2022

HOERBURGER LAND SURVEYORS  
COMOX, B.C.  
(250) 590 - 0100  
P.L.S. 23721DPO P.L. 80/81

D R A F T



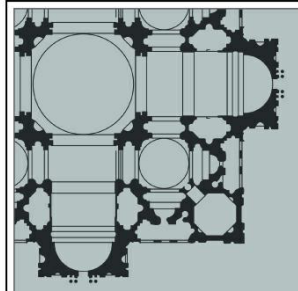
KEYPLAN:

CLIENT INFORMATION:

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#	By	Description	Date
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ALVIN REINHARD FRITZ  
ARCHITECT  
INC.

PROFESSIONAL SEAL:



PROJECT :  
4th and England Multi Use Building  
LOCATION :  
Courtenay, BC

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DRAWING TITLE:  
Survey Plan

DRAWN BY: Author	CHECKED BY: Checker
SCALE: PROJECT: 22202CMMUB / 3021	
ISSUE FOR: Issued for Revised Development Permit	
ISSUE DATE: 2024 11 07	
REV. NO.	SHEET NO. D1.2

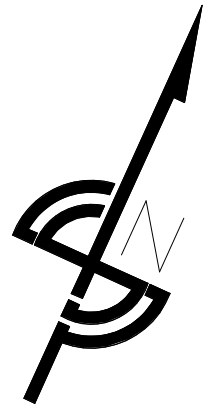




AERIAL PHOTO OF DOWNTOWN COURTENAY



1 Site Plan  
D1.3 3/64" = 1'-0"



CORNER OF 4TH ST. AND ENGLAND AVENUE



ENGLAND AVENUE & REAR LANEWAY



4 STREET LOOKING EAST



4 STREET FACING SUBJECT PROPERTY

KEYPLAN:

CLIENT INFORMATION:

1	CAR	AMJ REVISIONS	2024 11 07
#	By	Description	Date
Revision Schedule			

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PROFESSIONAL SEAL:



PROJECT :  
4th and England Multi Use Building

LOCATION :  
Courtenay, BC

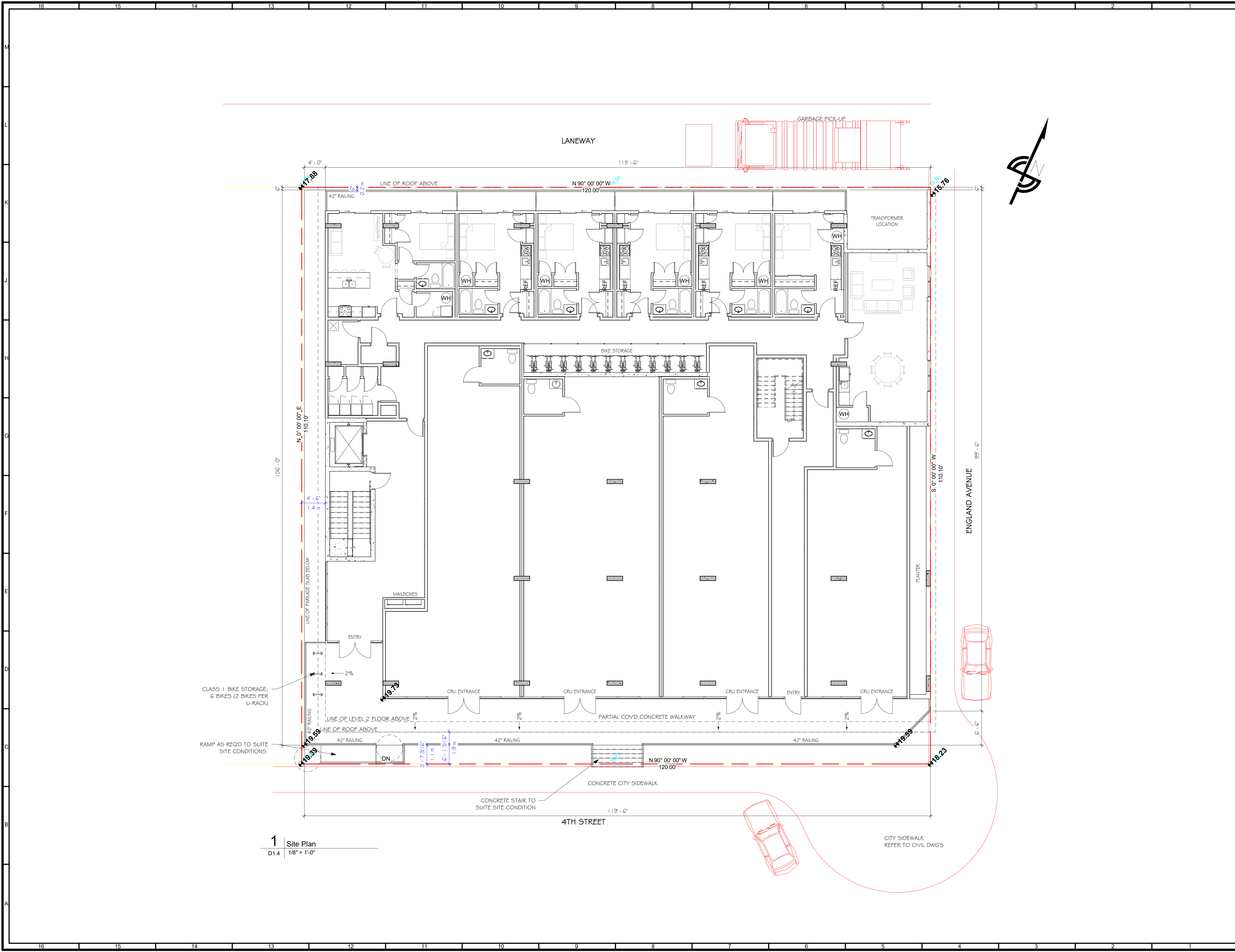
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DRAWING TITLE:  
**Context Plan**

DRAWN BY: Author	CHECKED BY: Checker
SCALE: As indicated	
PROJECT: 22202CMMUB / 3021	
ISSUE FOR: Issued for Revised Development Permit	
ISSUE DATE: 2024 11 07	
REV. NO.	SHEET NO.
	<b>D1.3</b>





1 Site Plan  
D1.4 1/8" = 1'-0"

KEYPLAN:

CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
#	By	Description	Date
Revision Schedule			

CONSULTANT LOGO:

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PROJECT :  
4th and England Multi Use Building  
LOCATION :  
Courtenay, BC

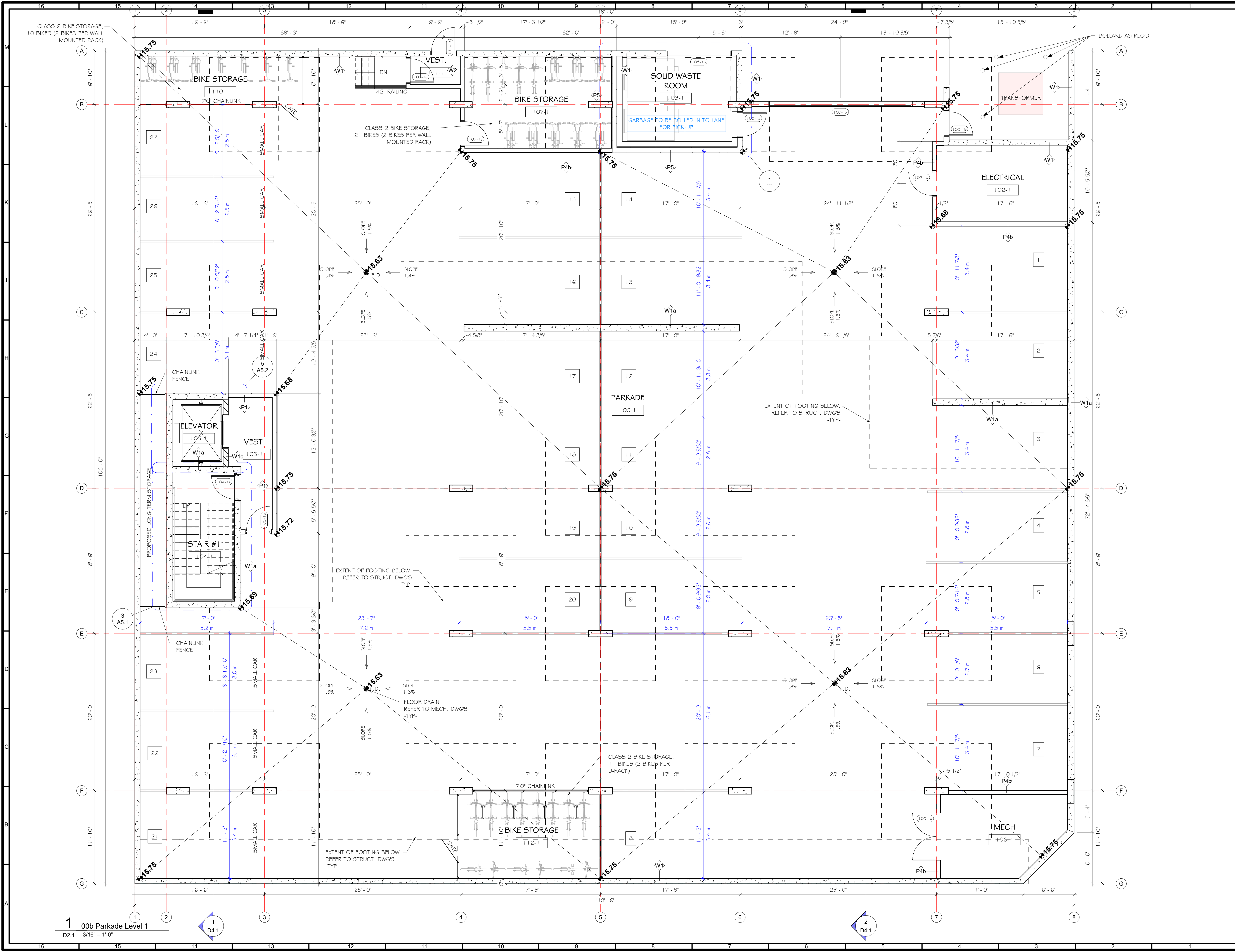
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DRAWING TITLE:  
Site Plan

DRAWN BY: Author	CHECKED BY: Checker
SCALE : 1/8" = 1'-0"	
PROJECT : 22202CMMUB / 3021	
ISSUE FOR: Issued for Revised Development Permit	
ISSUE DATE: 2024 11 07	
REV. NO.	SHEET NO. D1.4





KEYPLAN:

CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
#	By	Description	Date
Revision Schedule			

CONSULTANT LOGO:

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1	CAR	ISSUED FOR DEVELOPMENT PERMIT	2024 04 10

NO.	BY	DESCRIPTION	DATE
3	A5.1		
2	A5.2		
1	A5.1		

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PROFESSIONAL SEAL:

2024-11-07

PROJECT: 4th and England Multi Use Building  
LOCATION: Courtenay, BC

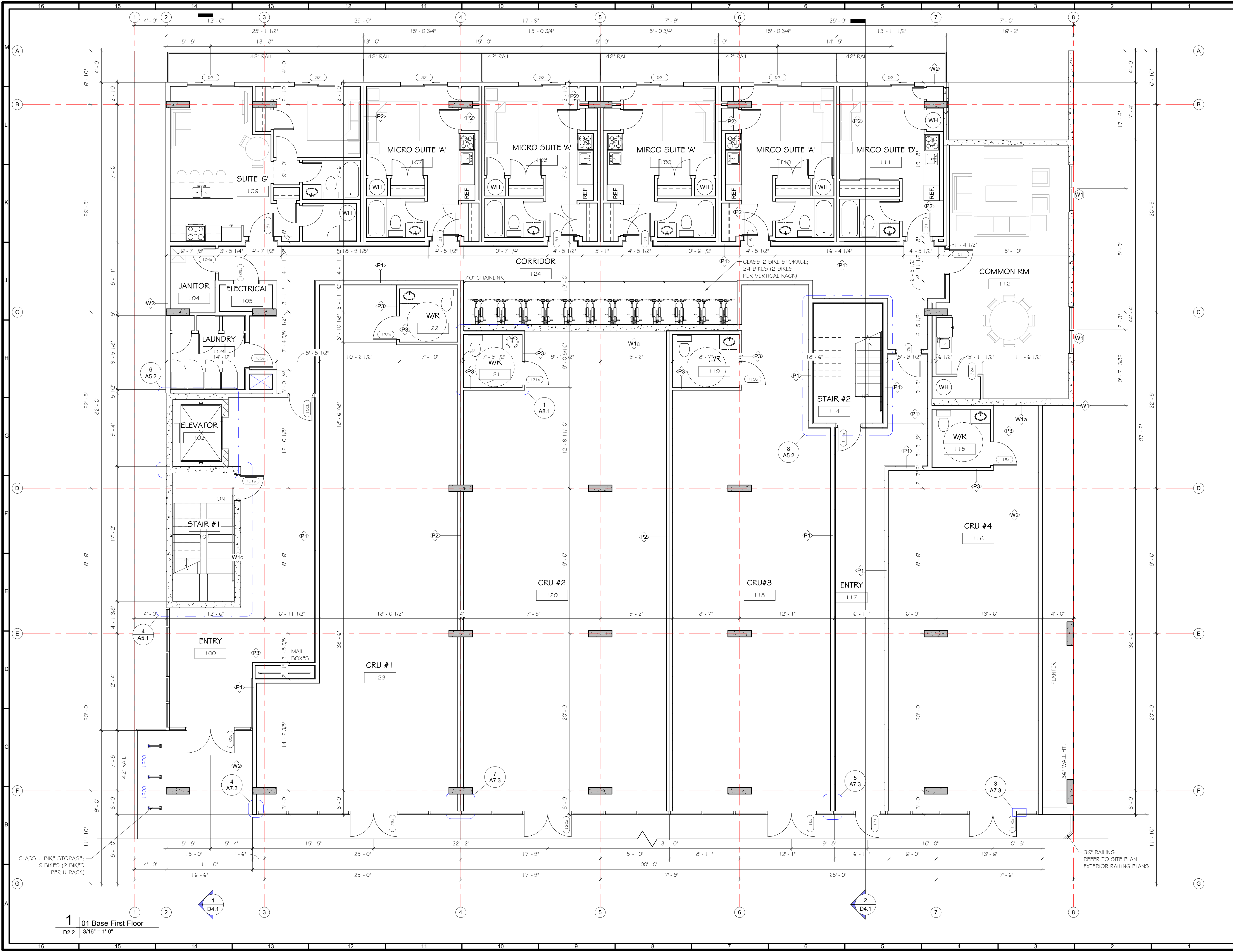
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DRAWING TITLE:  
**Parkade Plan**

DRAWN BY: JMV	CHECKED BY: AF / CAR
SCALE: 3/16" = 1'-0"	PROJECT: 22202CMMUB / 3021
ISSUE FOR: Issued for Revised Development Permit	ISSUE DATE: 2024 11 07
REV. NO.	SHEET NO. <b>D2.1</b>





KEYPLAN:

CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
#	By	Description	Date
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CONSULTANT LOGO:

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1	CAR	ISSUED FOR DEVELOPMENT PERMIT	2024 04 10

NO.	BY	DESCRIPTION	DATE
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PROFESSIONAL SEAL:

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ALVIN REINHARD FRITZ  
2024-11-07  
BRITISH COLUMBIA

PROJECT: 4th and England Multi Use Building  
LOCATION: Courtenay, BC

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DRAWING TITLE:  
Main Floor Plan

DRAWN BY:	CHECKED BY:
Author	Checker

SCALE: 3/16" = 1'-0"

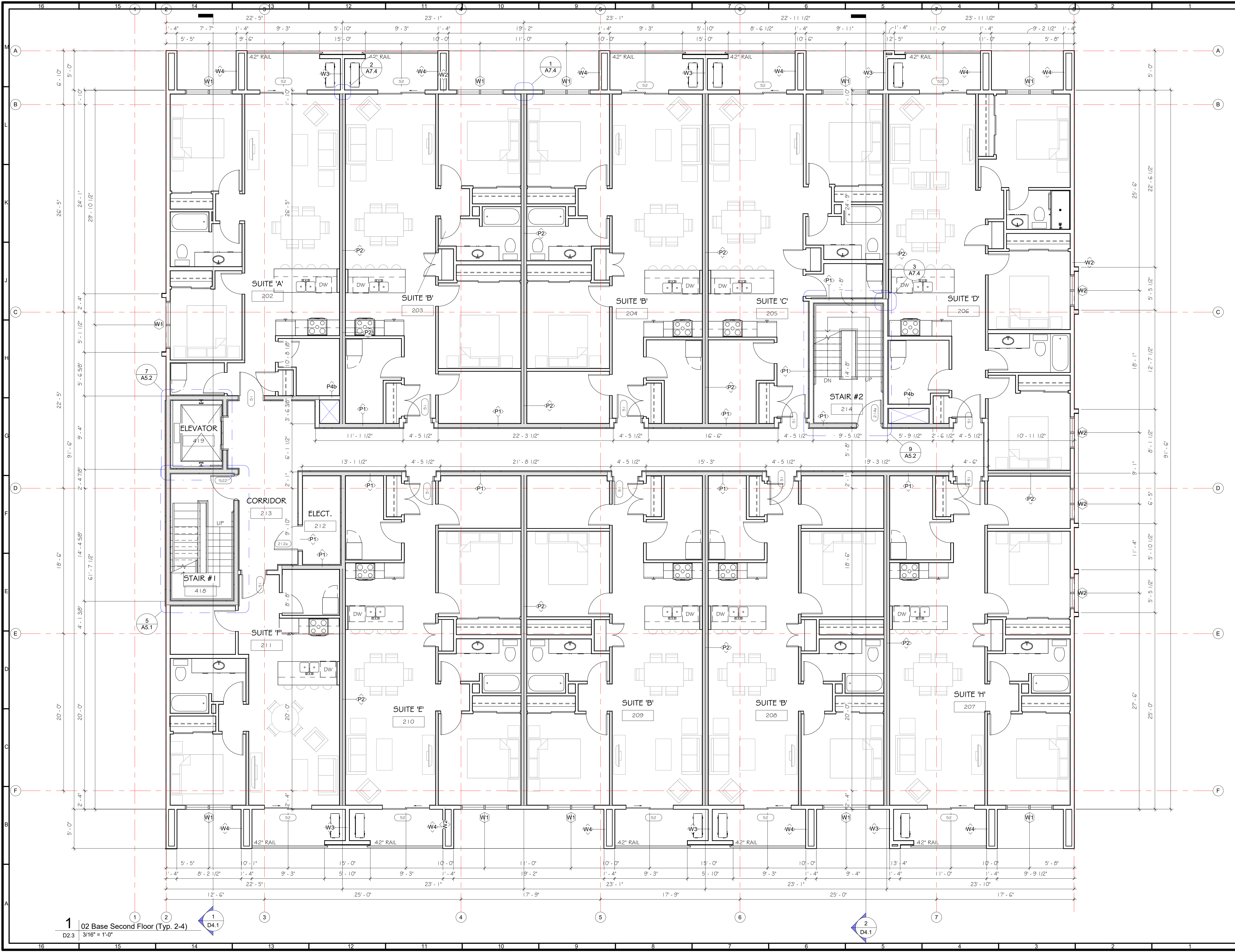
PROJECT: 22202CMMUB / 3021

ISSUE FOR: Issue for Revised Development Permit

ISSUE DATE: 2024 11 07

REV. NO. SHEET NO.  
D2.2





KEYPLAN:

CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
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Revision Schedule			

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PROFESSIONAL SEAL:

PROJECT:

4th and England Multi Use Building

Courtenay, BC

LOCATION:

Courtenay, BC

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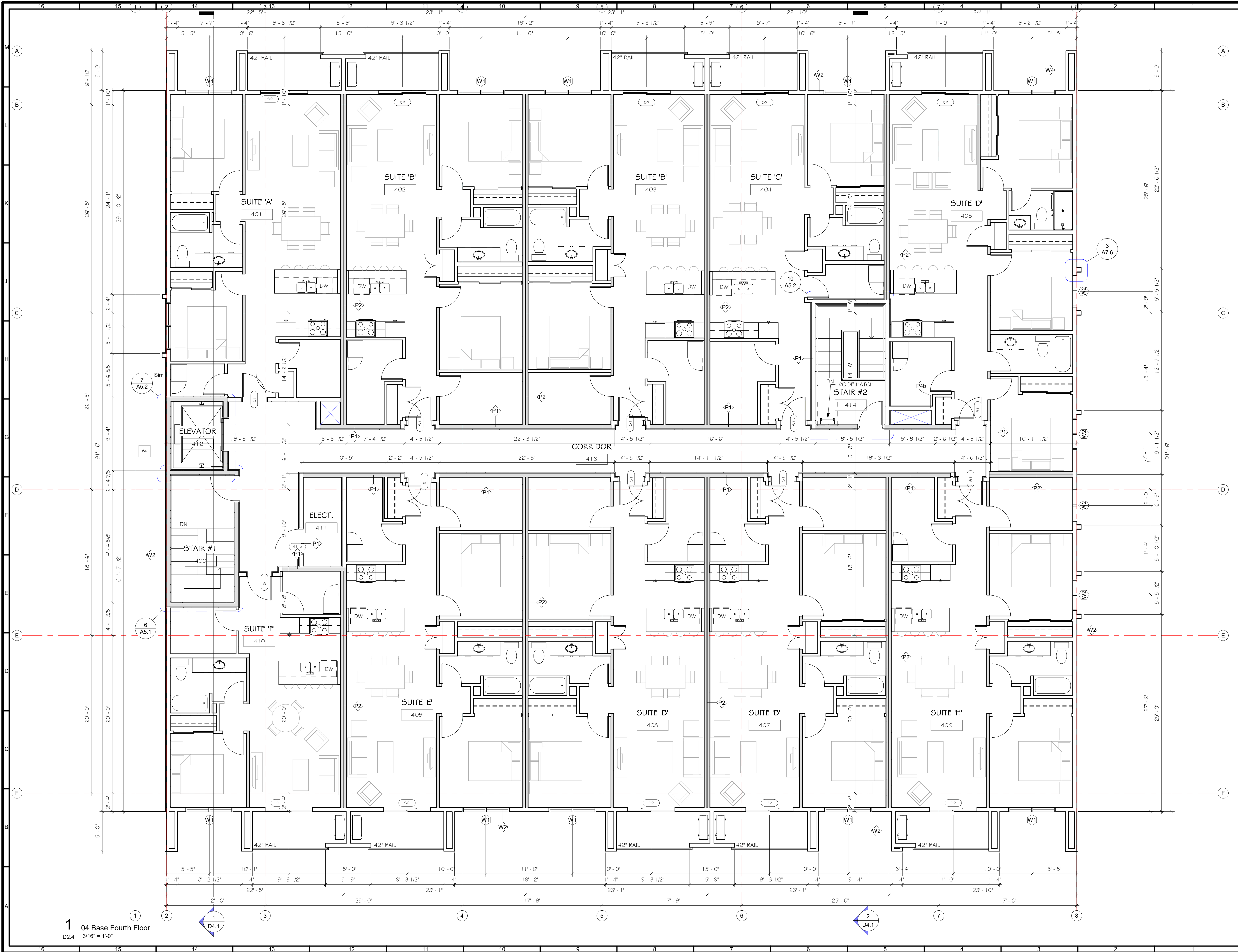
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DRAWING TITLE:

Second Floor Plan (Typ. 2-3)

DRAWN BY:	CHECKED BY:
Author	Checker
SCALE:	3/16" = 1'-0"
PROJECT:	22202CMMUB / 3021
ISSUE FOR:	Issued for Revised Development Permit
ISSUE DATE:	2024 11 07
REV. NO.	SHEET NO.
	D2.3





KEYPLAN:

CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
#	By	Description	Date
Revision Schedule			

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PROFESSIONAL SEAL:

PROJECT: 4th and England Multi Use Building  
LOCATION: Courtenay, BC

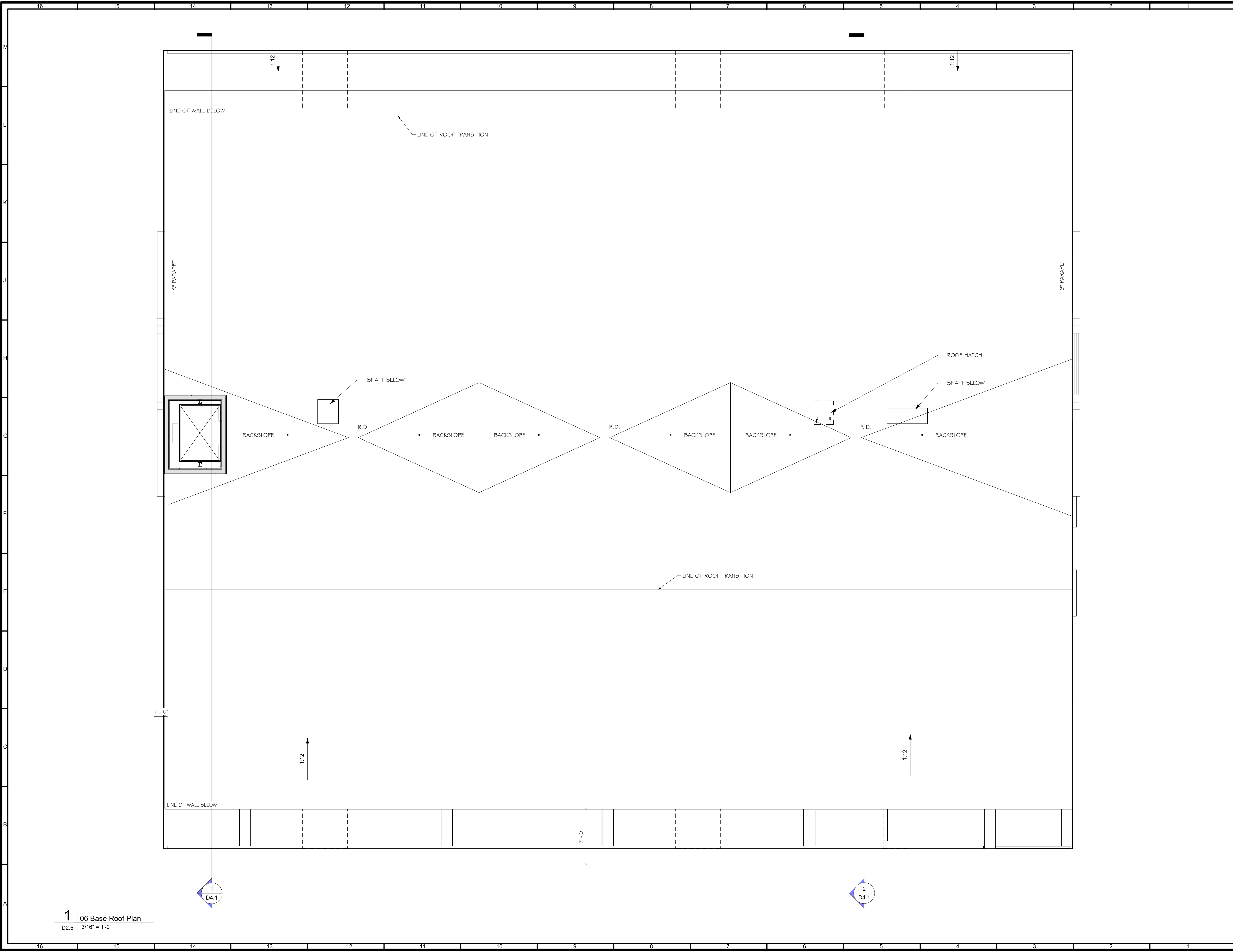
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DRAWING TITLE:  
**Fourth Floor Plan**

DRAWN BY:	CHECKED BY:
Author	Checker
SCALE: 3/16" = 1'-0"	
PROJECT: 22202CMMUB / 3021	
ISSUE FOR:	
Issue for Revised Development Permit	
ISSUE DATE:	
2024 11 07	
REV. NO.	SHEET NO.
	<b>D2.4</b>





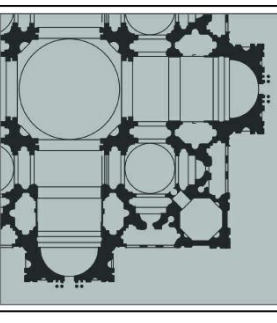
KEYPLAN:

CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
#	By	Description	Date
Revision Schedule			

CONSULTANT LOGO:

3	CAR	ISSUED FOR REVISED DEVELOPMENT PERMIT	2024 11 07
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NO.	BY	DESCRIPTION	DATE



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PROFESSIONAL SEAL:

PROJECT :  
4th and England Multi Use Building

LOCATION :  
Courtenay, BC

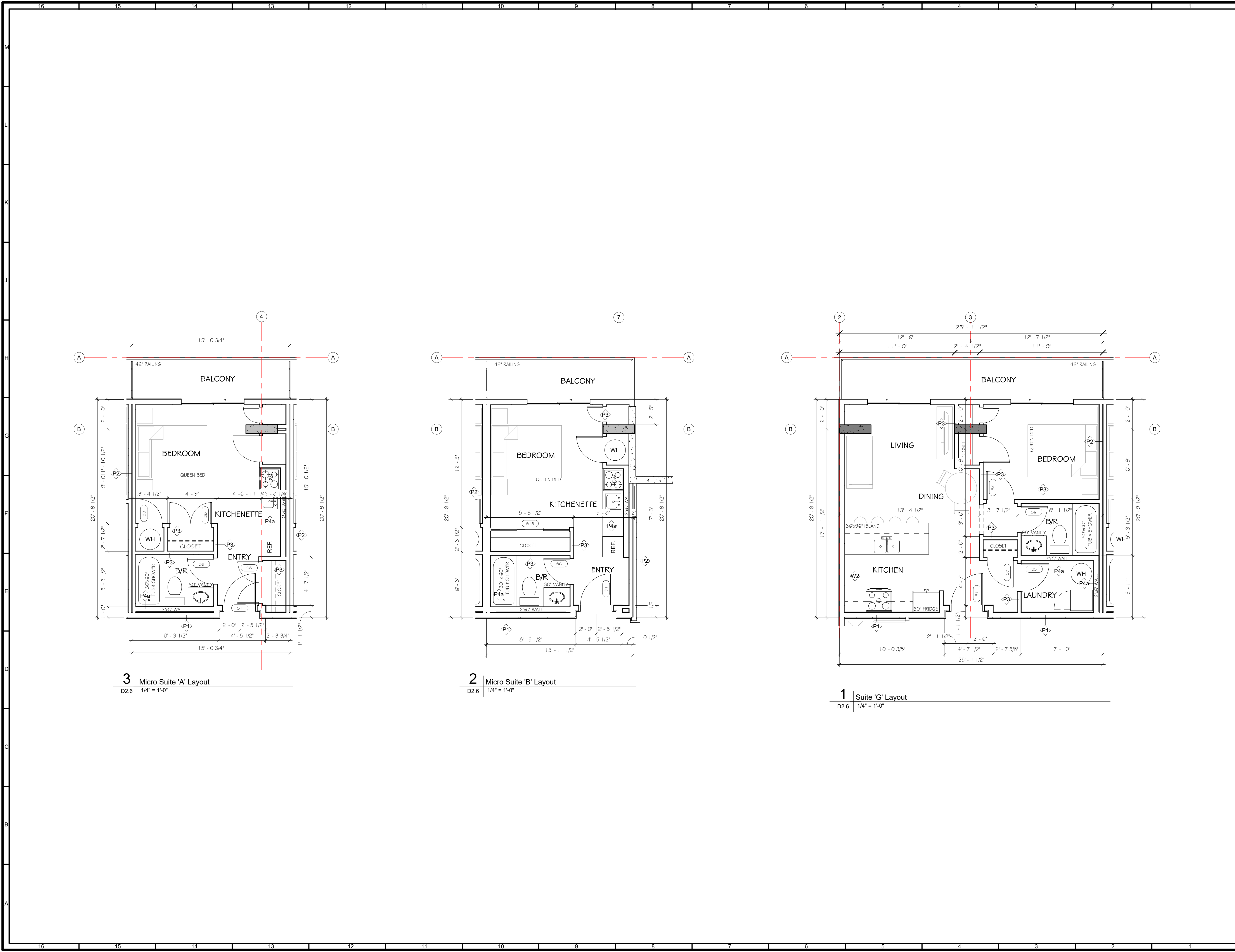
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DRAWING TITLE:  
**Roof Plan**

DRAWN BY : Author	CHECKED BY : Checker
SCALE : 3/16" = 1'-0"	
PROJECT : 22202CMMUB / 3021	
ISSUE FOR: Issued for Revised Development Permit	
ISSUE DATE: 2024 11 07	
REV. NO.	SHEET NO. <b>D2.5</b>





KEYPLAN:

CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
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Revision Schedule			

CONSULTANT LOGO:

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NO.	BY	DESCRIPTION	DATE

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PROFESSIONAL SEAL:

PROJECT :  
4th and England Multi Use Building

LOCATION :  
Courtenay, BC

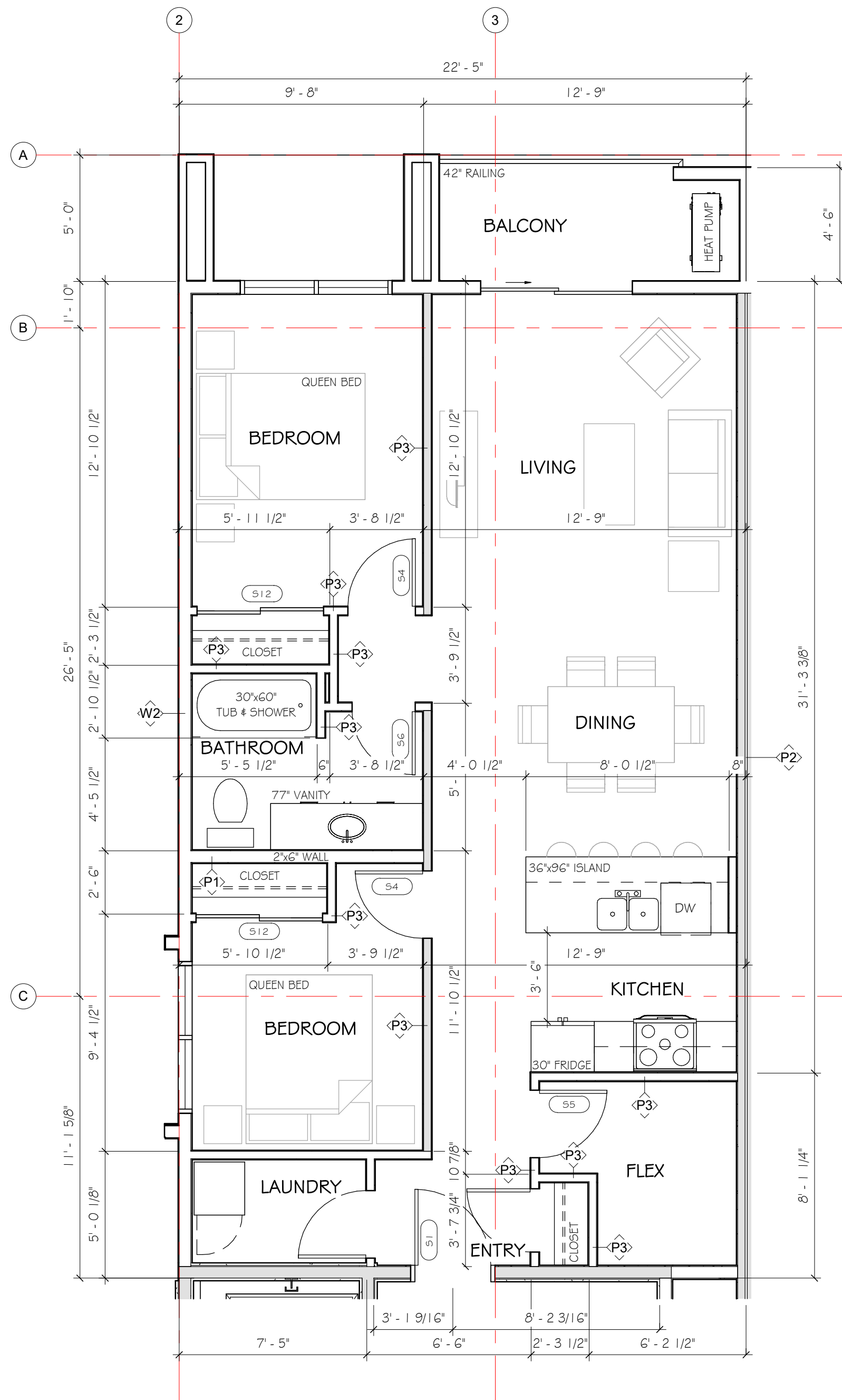
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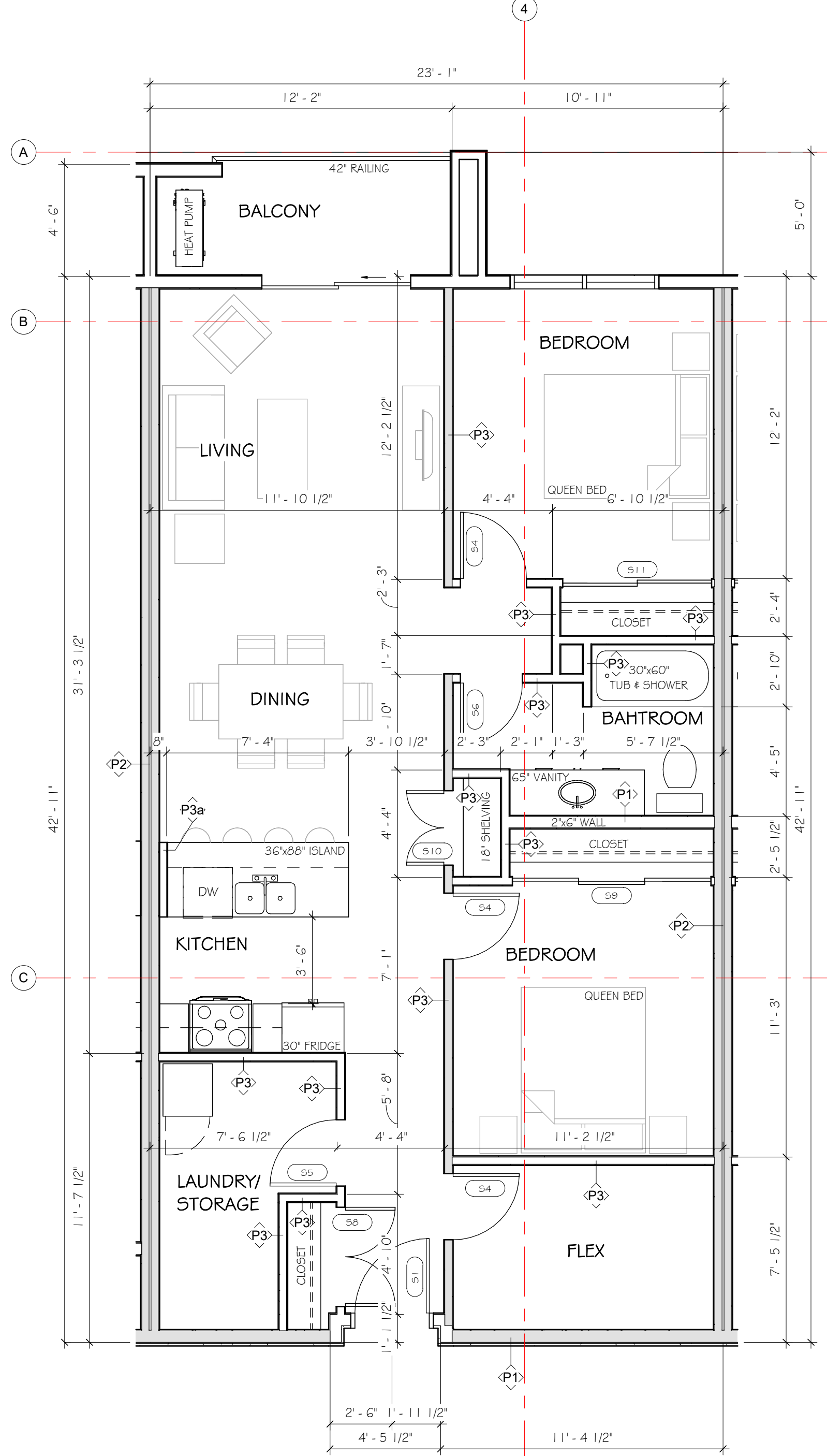
DRAWING TITLE:  
**Suite Plans**

DRAWN BY:	CHECKED BY:
Author	Checker
SCALE: 1/4" = 1'-0"	
PROJECT: 22202CMMUB / 3021	
ISSUE FOR:	
Issued for Revised Development Permit	
ISSUE DATE:	
2024 11 07	
REV. NO.	SHEET NO.
	<b>D2.6</b>

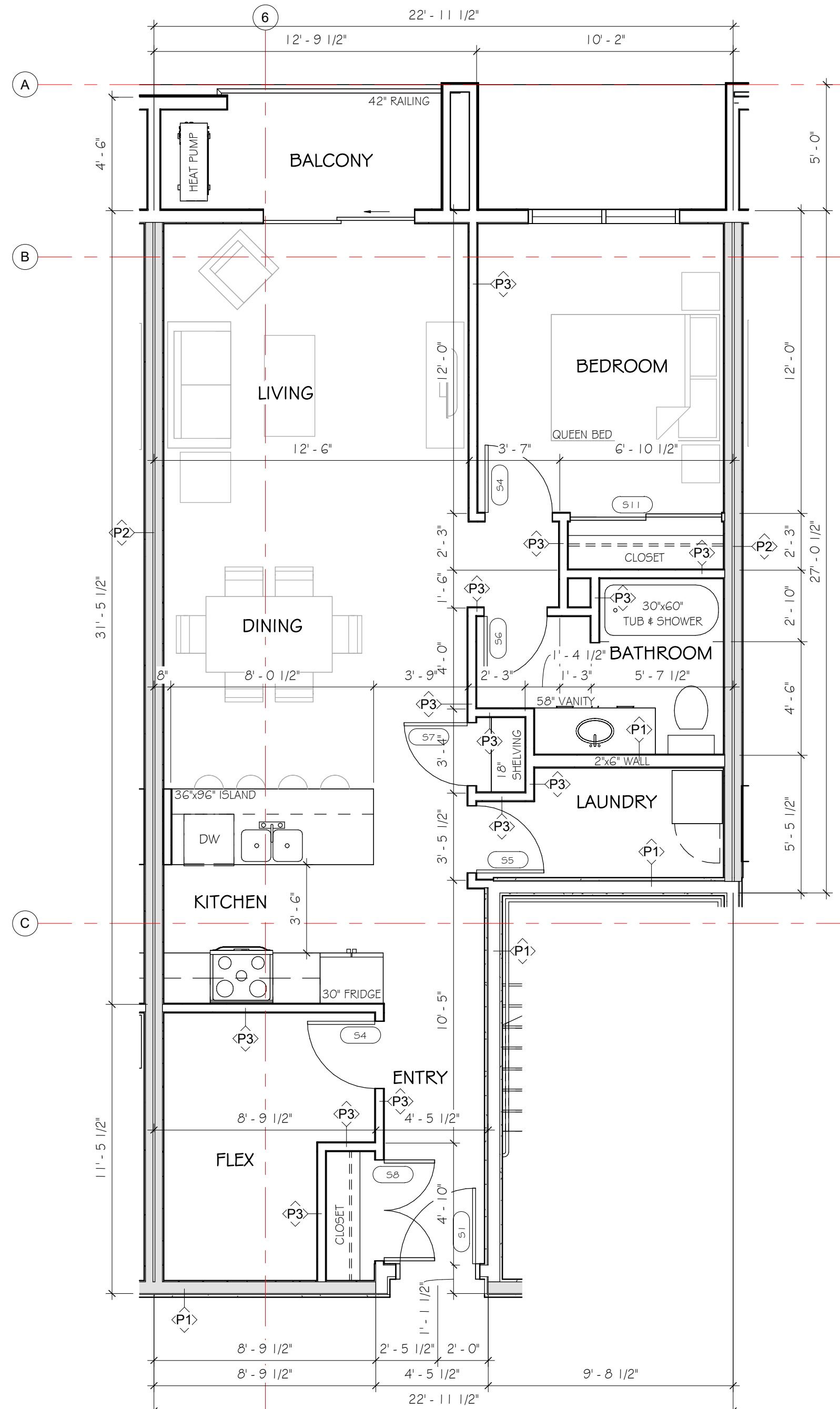




1 Suite 'A' Layout  
D2.7 1/4" = 1'-0"



2 Suite 'B' Layout  
D2.7 1/4" = 1'-0"



3 Suite 'C' Layout  
D2.7 1/4" = 1'-0"

KEYPLAN:

CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
#	By	Description	Date
Revision Schedule			

CONSULTANT LOGO:

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NO.	BY	DESCRIPTION	DATE



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ARCHITECT  
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PROFESSIONAL SEAL:



PROJECT :  
4th and England Multi Use Building  
LOCATION :  
Courtenay, BC

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DRAWING TITLE:  
Suite Plans

DRAWN BY:	CHECKED BY:
Author	Checker
SCALE:	1/4" = 1'-0"
PROJECT:	22202CMMUB / 3021
ISSUE FOR:	Issued for Revised Development Permit
ISSUE DATE:	2024 11 07
REV. NO.	SHEET NO.
	D2.7





1 Suite 'D' Layout  
D2.8 1/4" = 1'-0"

2 Suite 'E' Layout  
D2.8 1/4" = 1'-0"

3 Suite 'F' Layout  
D2.8 1/4" = 1'-0"

KEYPLAN:

CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
#	By	Description	Date
Revision Schedule			

CONSULTANT LOGO:

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ARCHITECT  
INC.

PROFESSIONAL SEAL:

REGISTERED ARCHITECT  
ALVIN REINHARD FRITZ  
BRITISH COLUMBIA  
2024-11-07

PROJECT :  
4th and England Multi Use Building  
LOCATION :  
Courtenay, BC

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DRAWING TITLE:  
Suite Plans

DRAWN BY:	CHECKED BY:
Author	Checker
SCALE:	1/4" = 1'-0"
PROJECT:	22202CMMUB / 3021
ISSUE FOR:	Issue for Revised Development Permit
ISSUE DATE:	2024 11 07
REV. NO.	SHEET NO.
	D2.8





KEYPLAN:

CLIENT INFORMATION:

#	CAR	By	AHJ REVISIONS	Date
1	CAR		2024 11 07	
2	CAR		2024 11 01	
3	CAR		2024 04 10	

Revision Schedule

CONSULTANT LOGO:

NO.	BY	DESCRIPTION	DATE
1	CAR	ISSUED FOR DEVELOPMENT PERMIT	2024 04 10
2	CAR	ISSUED FOR REVISED DEVELOPMENT PERMIT	2024 11 01
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PROFESSIONAL SEAL:

REGISTERED ARCHITECT  
BRITISH COLUMBIA  
2024-11-07

PROJECT: 4th and England Multi Use Building  
LOCATION: Courtenay, BC

DRAWING TITLE:  
Elevations

DRAWN BY: Author  
CHECKED BY: Checker

SCALE: As Indicated

PROJECT: 22202CMMUB / 3021

ISSUE FOR: Issued for Revised Development Permit

ISSUE DATE: 2024 11 07

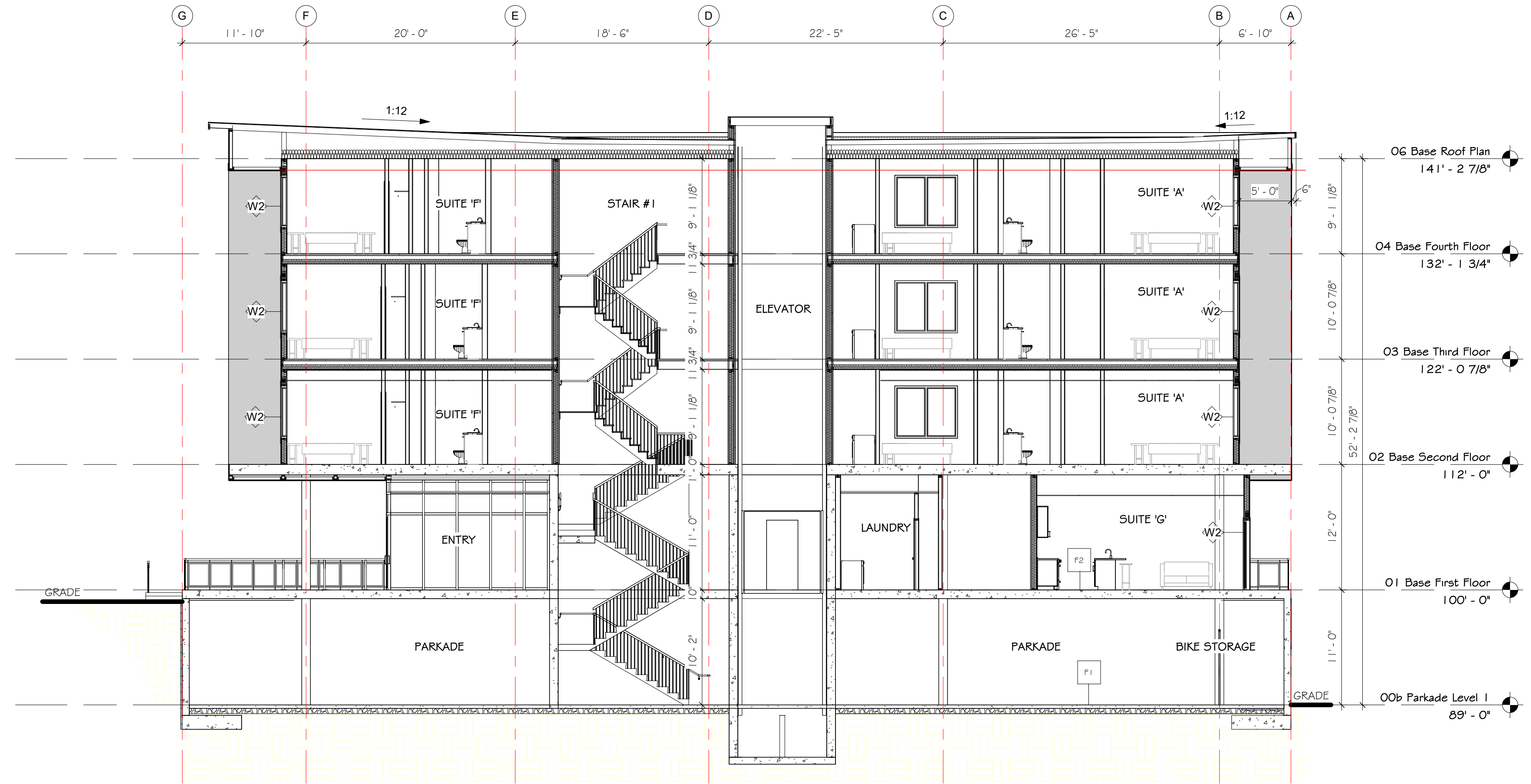
REV. NO. SHEET NO.  
D3.1

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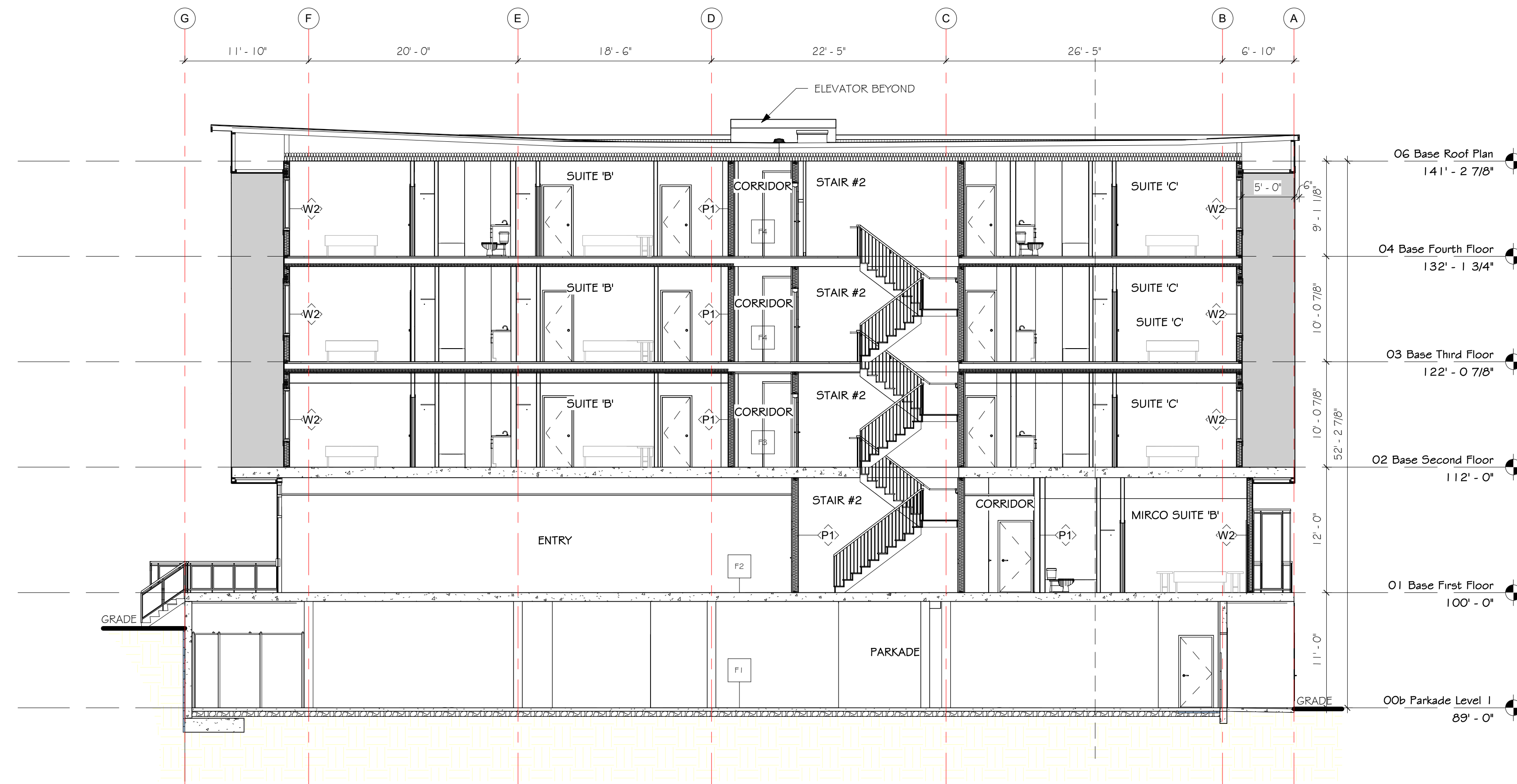
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Z:\ACAD STORAGE\ISTOR2021\3021 Monterra - Heritage Lane\Revit\3021 4-11-07 11:05:40 AM Building\_wd11\_IssueforDP.rvt





1 Building Section (North South)  
D4.1 1/8" = 1'-0"



2 Building Section 2 (North South)  
D4.1 1/8" = 1'-0"

KEYPLAN:

CLIENT INFORMATION:

1	CAR	AHJ REVISIONS	2024 11 07
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PROFESSIONAL SEAL:



PROJECT :  
4th and England Multi Use Building  
LOCATION :  
Courtenay, BC

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Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction and all errors or omissions shall be reported to the architect immediately.

DRAWING TITLE:  
**Building Section**

DRAWN BY : Author	CHECKED BY : Checker
SCALE : 1/8" = 1'-0"	
PROJECT : 22202CMMUB / 3021	
ISSUE FOR: Issued for Revised Development Permit	
ISSUE DATE: 2024 11 07	
REV. NO.	SHEET NO. <b>D4.1</b>





Front View



Front View



Front Elevation



Side Elevation

KEYPLAN:

CLIENT INFORMATION:

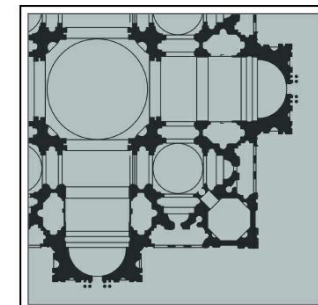
1	CAR	AHJ REVISIONS	2024 11 07
#	By	Description	Date

Revision Schedule

CONSULTANT LOGO:

3	CAR	ISSUED FOR REVISED DEVELOPMENT PERMIT	2024 11 07
2	CAR	ISSUED FOR REVISED DEVELOPMENT PERMIT	2024 11 01
1	CAR	ISSUED FOR DEVELOPMENT PERMIT	2024 04 10

NO.	BY	DESCRIPTION	DATE
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DRAWING TITLE:  
Building View

DRAWN BY :  
Author

CHECKED BY :  
Checker

SCALE :  
PROJECT : 22202CMMUB / 3021

ISSUE FOR:  
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D5.1