

THE CORPORATION OF THE CITY OF COURTENAY

Permit No. 3090-20-2306/DVP00048

DEVELOPMENT VARIANCE PERMIT

June 12, 2024

To issue a Development Variance Permit

To: Name: THE GOVERNING COUNCIL OF THE SALVATION ARMY IN CANADA
Address: 2 OVERLEA BLVD, TORONTO, ON, M4H 1P4

Property to which permit refers:

Legal: LOT A, (DD P54316) SECTION 41, COMOX DISTRICT, PLAN 7449

Civic: 1580 Fitzgerald Avenue

Conditions of Permit:

Permit issued to the property legally described as LOT A, (DD P54316) SECTION 41, COMOX DISTRICT, PLAN 7449 to allow the construction of a church with the following variances to the City of Courtenay Zoning Bylaw No. 2500, 2007:

- *Section 8.26.2 – Minimum Lot Size – A lot shall have an area of not less than, from 2,500m² to 1,600m².*
- *Section 8.26.5(2) – Rear Yard Building Setback – from 10.0m to 6.8m.*
- *Section 8.26.5(3) – Side Yard Building Setback – for the north west side yard from a minimum of 9.0m to 1.2m.*
- *Section 8.26.10(1) – Landscape and Screening Requirements – where a lot adjoins a residential zone, a minimum landscaped area shall be provided along the inside of all affected property lines from 7.5m to 0.7m for the north west side property line and from 7.5m to 1.0m for the south east side property line.*
- *Section 8.26.10(2) – Landscape and Screening Requirements – where a lot adjoins a street, a landscaped area shall be provided along the entire frontage of the property facing the street, from 6.0m to 0.0m.*

Development Variance Permit No. 2306 is also subject to the following conditions:

1. Development must be in conformance with the site plan, elevations and associated project data, dated February 13, 2024, by Philippa Atwood Architecture in **Schedule No.1.**
2. Development must be in substantial conformance with the landscape plan by Arianne Huene Landscape Design dated November 14, 2023 in **Schedule No. 2.**

3. Submission of landscape security prior to building permit issuance in the amount of \$51,044.00 (\$40,835.00 X 125%). The amount is calculated based on the November 14, 2023 cost estimate by Huene Landscape Design, as attached in *Schedule No. 3*.
4. That no substantial changes to the site plan be permitted without an amendment to the Development Variance Permit and re-review of the Certificate of Compliance.

Time Schedule of Development and Lapse of Permit

That if the permit holder has not substantially commenced the construction authorized by this permit within (24) months after the date it was issued, the permit lapses.

Date

Director of Development Services



* Landscaping shown is for visualization purposes only. See Landscape Plan for detailed information.

1580 FITZGERALD

SALVATION ARMY - COMOX VALLEY COMMUNITY CHURCH

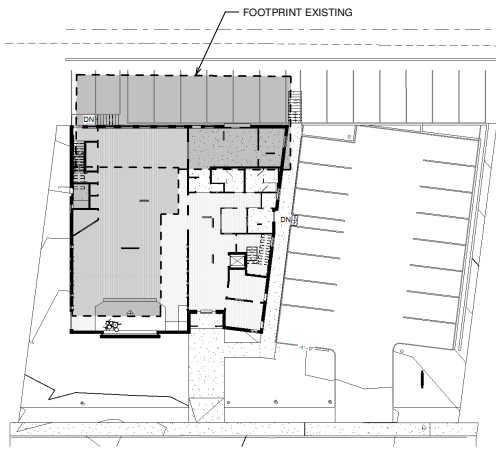
Scale
Date Issue Date 2023-11-20 11:03:43 AM

DP000
Project number Sheet

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Schedule No. 1

Phi Architecture Inc.
 Philipp Atwood Architect, AIBC, MRAIC, LEED AP
 5 Little Bear Way, Royston BC V0R 2V0
 philippa@atwoodarchitect.com
 250.705.0433 / 250.218.0724

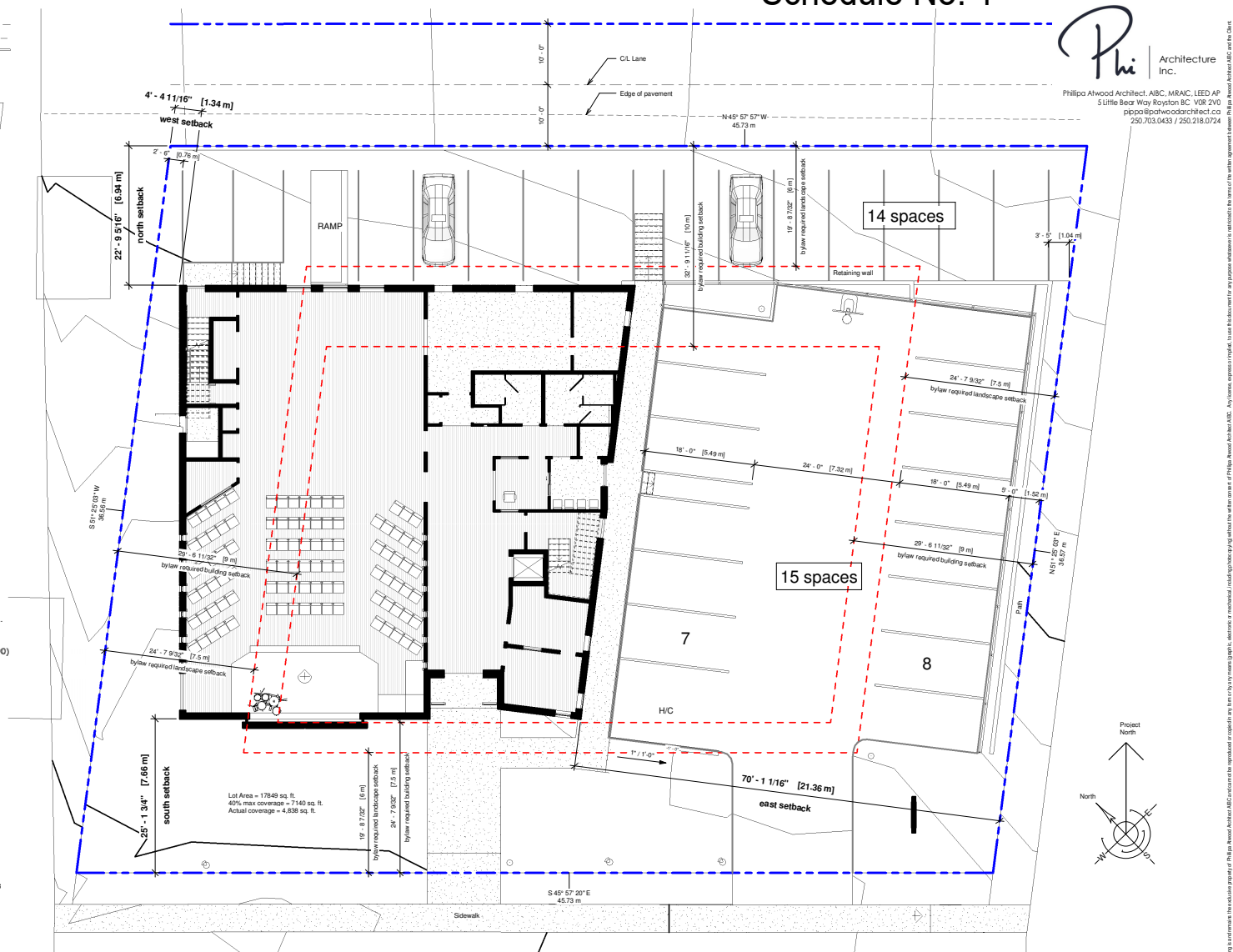


1 EXISTING SITE PLAN COMPARISON
 1" = 20'-0"

**SALVATION ARMY
 COMOX VALLEY COMMUNITY CHURCH**
 1580 Fitzgerald Avenue, Courtenay

Zoning Compliance

Description	New two storey church building with Sanctuary, Hall, kitchen, meeting rooms, offices and ancillary spaces with surface parking.																
AHJ	City of Courtenay																
Legal Address	Lot A, Section 41, Comox District, Plan 7449																
Civic Address	1580 Fitzgerald Ave., Courtenay (Includes 1570, 1580 and 1590)																
Zoning	Public Assembly (PA-1)																
Permitted Use	Church and Religious Centre																
DP Area	None (Adjacent to Downtown & Multi-Residential)																
Floor Area	Main Floor	432 m ² (4649 sq ft)															
	Upper Floor	318 m ² (3420 sq ft)															
	Total	750 m ² (8069 sq ft)															
Area of Lot	1,658 m ²																
Building Footprint	450 m ²																
Lot Coverage	Permitted	40 %															
	Proposed	27.1 %															
Building Height	Permitted	12 m															
	Proposed	10 m															
Building Setbacks	<table border="1"> <tr> <th></th> <th>Required</th> <th>Proposed</th> </tr> <tr> <td>Front</td> <td>7.5 m</td> <td>7.5 m</td> </tr> <tr> <td>*Rear</td> <td>10.0 m</td> <td>6.94 m (Existing 1.66m)</td> </tr> <tr> <td>*West Side</td> <td>9.0 m</td> <td>1.34 - 4 m (Existing 1.14m)</td> </tr> <tr> <td>East Side</td> <td>9.0 m</td> <td>21.4 m</td> </tr> </table>			Required	Proposed	Front	7.5 m	7.5 m	*Rear	10.0 m	6.94 m (Existing 1.66m)	*West Side	9.0 m	1.34 - 4 m (Existing 1.14m)	East Side	9.0 m	21.4 m
	Required	Proposed															
Front	7.5 m	7.5 m															
*Rear	10.0 m	6.94 m (Existing 1.66m)															
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Landscaping	<table border="1"> <tr> <th></th> <th>Required</th> <th>Proposed</th> </tr> <tr> <td>Front</td> <td>6.0 m</td> <td>6.0 m</td> </tr> <tr> <td>*Rear</td> <td>6.0 m</td> <td>0.0 m (Existing 1.66m)</td> </tr> <tr> <td>*West Side</td> <td>7.5 m</td> <td>0.76 - 4 m (Existing 1.14m)</td> </tr> <tr> <td>*East Side</td> <td>7.5 m</td> <td>1.04 m</td> </tr> </table>			Required	Proposed	Front	6.0 m	6.0 m	*Rear	6.0 m	0.0 m (Existing 1.66m)	*West Side	7.5 m	0.76 - 4 m (Existing 1.14m)	*East Side	7.5 m	1.04 m
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*East Side	7.5 m	1.04 m															
Parking	Church	1 space per 4 seats = 90 / 4 = 23 spaces															
	Proposed	29 parking spaces															
	Small spaces allowed = 10% if more than 20 spaces = 2																
	Accessible parking required = 1 space																
Loading	Required	None															
	Proposed	None															
	* Variances required																



2 SITE PLAN DP
 1/8" = 1'-0"

FITZGERALD

SALVATION ARMY - CV COMMUNITY CHURCH

REVISED 13FEB2024
 LANDSCAPE SETBACKS

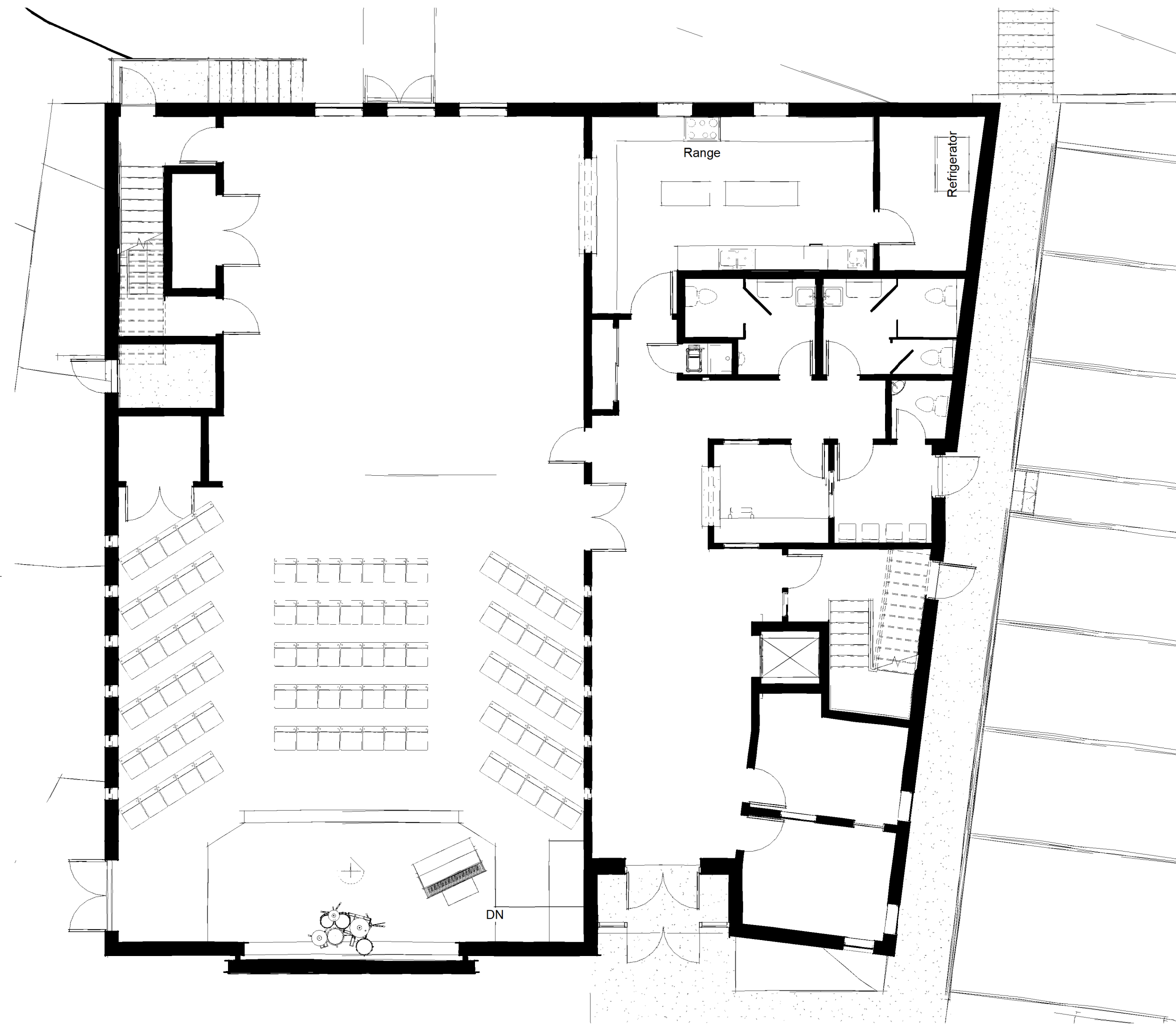
DP001

Scale	As indicated	Plot date:
Date	Issue Date	2024-02-13 12:57:28 PM

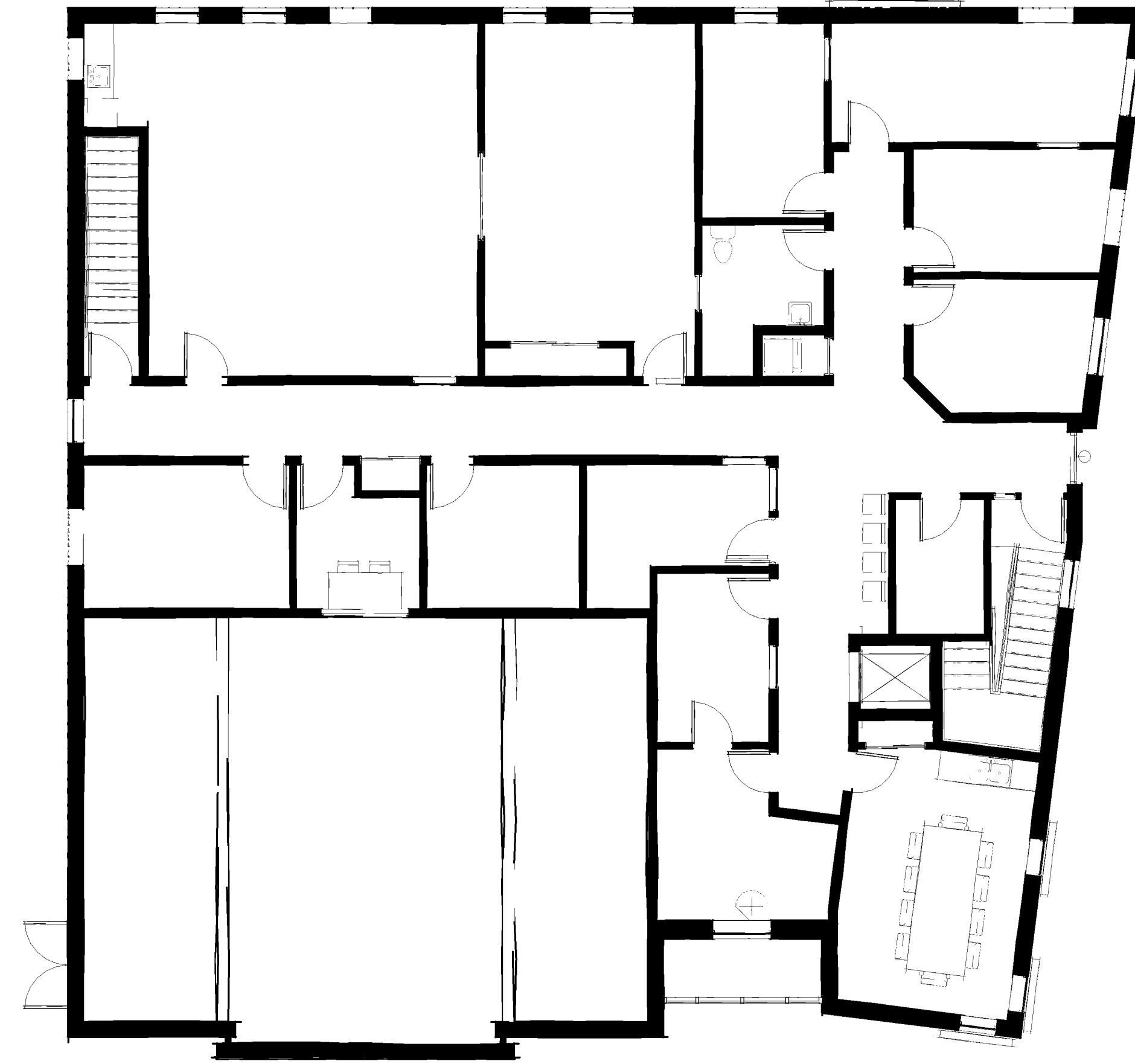
Project number	Sheet
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1 MAIN DP
1/8" = 1'-0"



2 SECOND DP
1/8" = 1'-0"

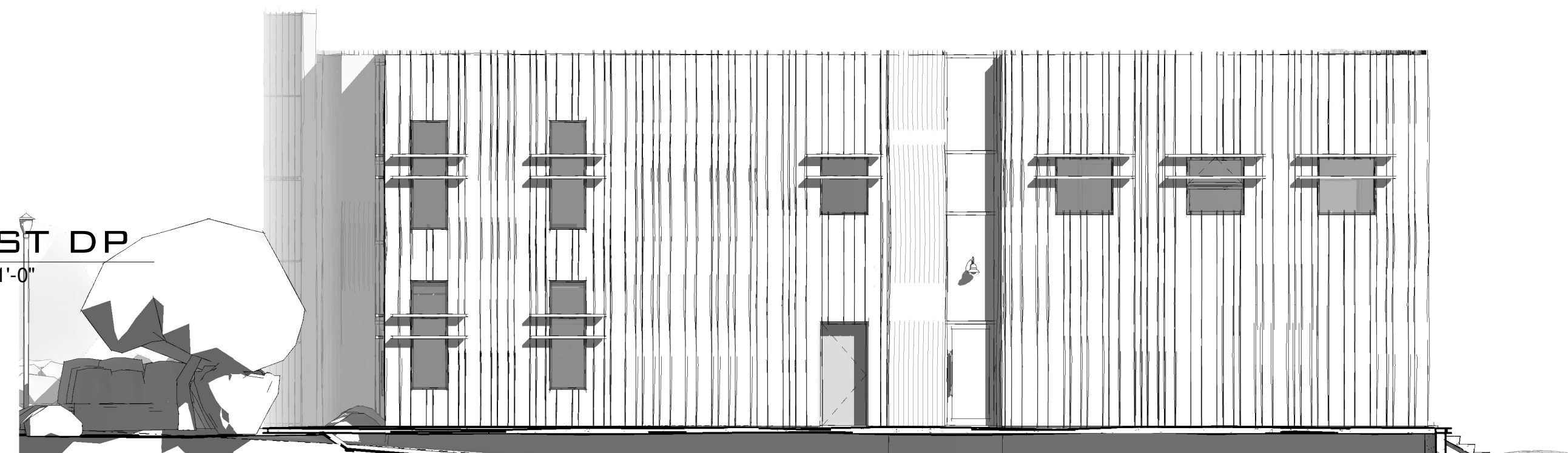


FLOOR AREAS:
Main 4631 sq. ft.
Second 3448 sq. ft.
TOTAL = 8079 sq. ft.

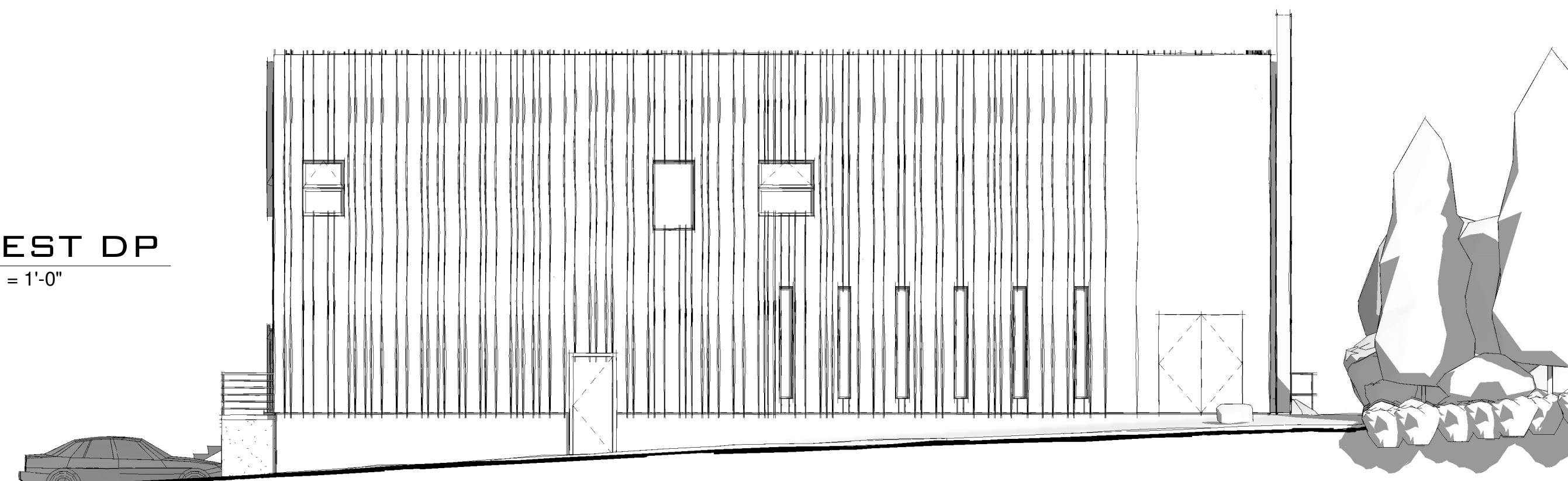
3 SOUTH DP
1/8" = 1'-0"



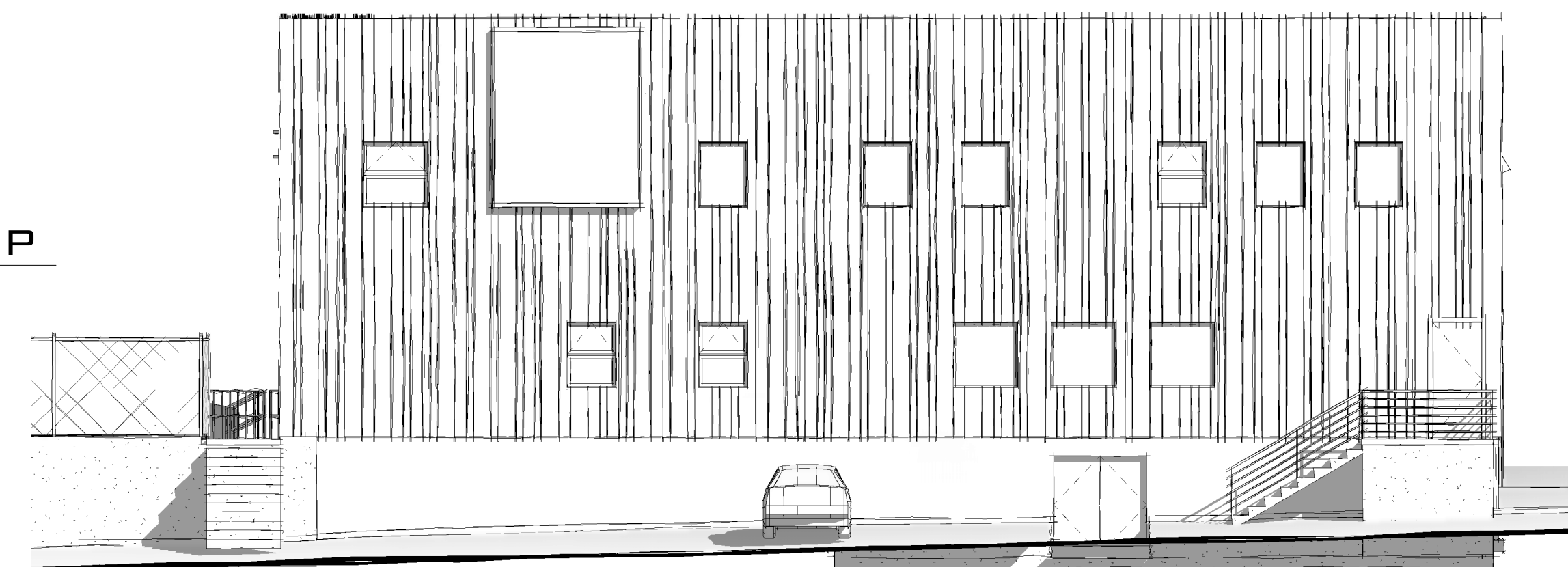
4 EAST DP
1/8" = 1'-0"



6 WEST DP
1/8" = 1'-0"



5 NORTH DP
1/8" = 1'-0"

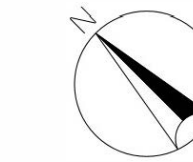




PROPERTY AREA
= 1657.95 SQ M (17,846 SQ FT)

LANDSCAPED AREA OF PROPERTY
= 368.36 SQ M (3,965 SQ FT)

Schedule No. 2



WALL AS PER BUILDING PLANS

BENDER BOARD EDGING ALONG
NORTH PROPERTY LINE
- 25CM X 10CM X 6M BOARDS
(1" X 4" X 20' BOARDS)

RIVER ROCK OVER GEOTEXTILE FABRIC
- RIVER ROCK DIAMETER
= 5CM / 2" TO 30CM / 12"

DECORATIVE ANGULAR
CUMBERI AND SANDSTONE BOULDERS
- PLACED POINTED VERTICALLY
- 45CM / 18" DIAMETER TO 12M / 48" DIAMETER

SPECIMEN TREES
2 COLUMNAR EASTERN WHITE PINE
AND TEMPELHOF JAPANESE PINE
- ANCHORS BUILDING WITHIN LANDSCAPE
- UNDERPLANTED WITH KINKIKNIK GROUND
COVER AND GULF STREAM NANDINA

15M / 5' BORDER OF RIVER ROCK
IN MUNICIPAL SETBACK
- SIDEWALK SNOW REMOVAL

*** OPTIONAL LANDSCAPE FEATURE ***
SQUARE CORTEN PLANTERS, 2.4M X 2.4M X 0.6M
(8' W X 8' L X 2' H)
- CREATES FOCAL FEATURES AND FRAMES BUILDING
- DROUGHT TOLERANT HARDY YUCCA & HAMELN BUNNY TAILS GRASS
- PEA GRAVEL MULCH

NOTES

This drawing is the property of Arianne Huene Landscape Design. It may be used by Arianne Huene Landscape Design for promotional purposes, with personal Client information removed.

It may be shared with Contractors, Engineers and permitting bodies for landscape construction purposes.

Landscape Contractors are employed by the Client, independently from Arianne Huene Landscape Design.

Arianne Huene Landscape Design is not liable for design installation errors or omissions committed by the Client, or committed by Landscape Contractors employed by the Client.

Landscape Contractors or Clients should consult with the designer regarding any discrepancies or plant substitutions.

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Landscape Contractors and Clients are responsible for obtaining written confirmation of utility locations prior to commencing digging.

BC ONE CALL - Call Before You Dig
1.800.474.2886 - www.onecall.ca

PROPERTY NOTES

Lot Survey provided by Client.
Lot is in City of Courtenay.
Utility lines indicated are approximate in location and must be confirmed prior to excavation.

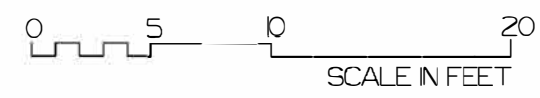
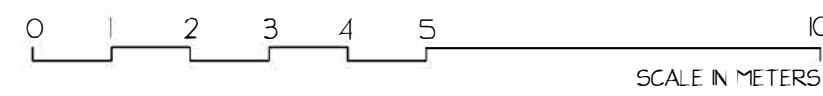
No.	Date	Description



ARIANNE HUENE LANDSCAPE DESIGN
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arianne@ariannehuenelandscapedesign.ca

SALVATION ARMY
COMOX VALLEY
COMMUNITY CHURCH
1570 Fitzgerald Ave
Courtenay, BC V9N 2S2

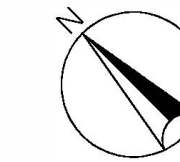
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DRAWN BY: A. Huene	SHEET NO: 1 / 4
CHECKED BY:	
DATE: Nov 6, 2023	
DATE OF PRINT: Nov 14, 2023	



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1.8M / 6FT
RIVER ROCK
BUFFER FROM
BUILDING

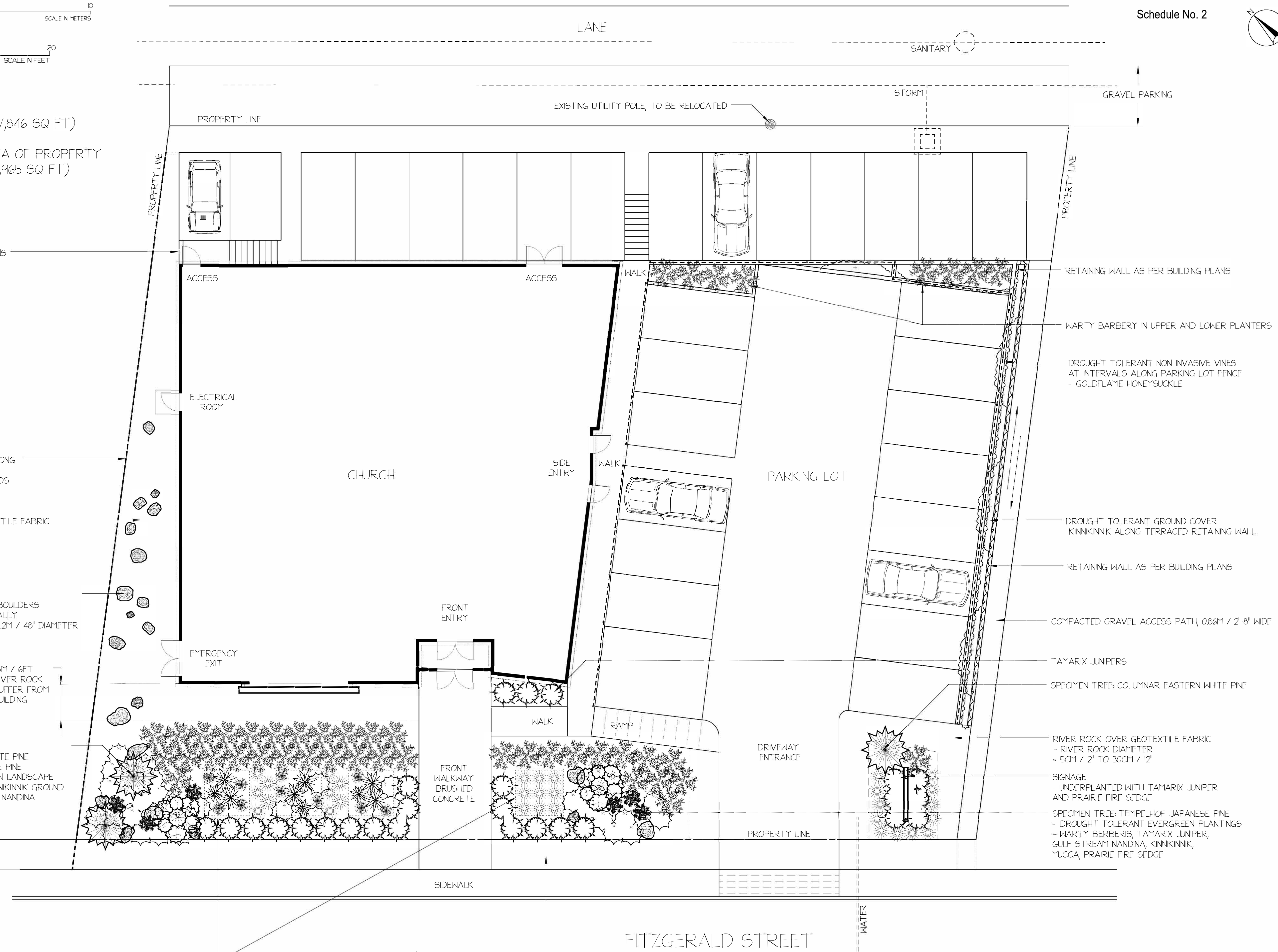
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MUNICIPAL
SETBACK

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IN MUNICIPAL SETBACK
- SIDEWALK SNOW REMOVAL



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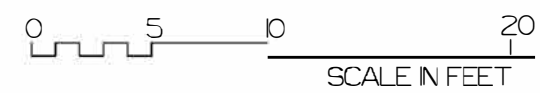
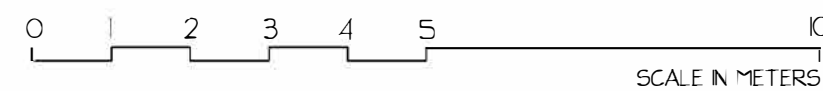


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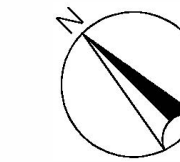
SCALE 1" = 8'
DRAWN BY A. Huene
CHECKED BY
DATE Nov 6, 2023
DATE OF PRINT Nov 14, 2023

PROJECT NO.
LANDSCAPE PLAN
SHEET NO.
1 / 4



ALL MEASUREMENTS INDICATED
IN METERS (METRIC)

Schedule No. 2



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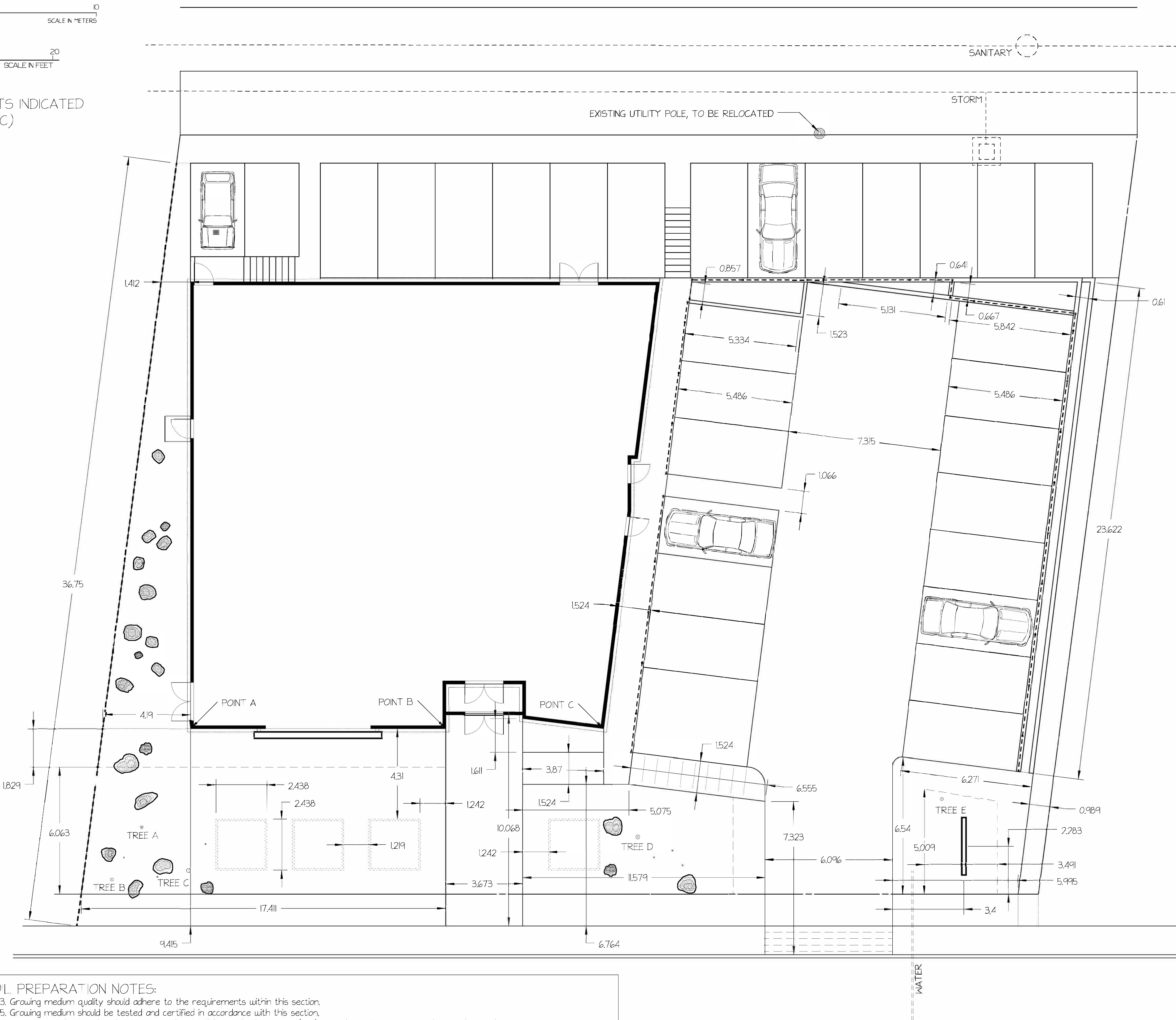
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CANADIAN LANDSCAPE STANDARDS

SECTIONS OF NOTE:

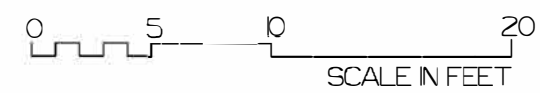
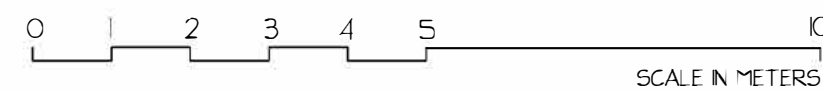
SOL PREPARATION NOTES:
5.1.3. Growing medium quality should adhere to the requirements within this section.
5.1.5. Growing medium should be tested and certified in accordance with this section.
5.3.3.2. Compacted subgrades shall be scarified to a minimum depth of 15cm (6in.) immediately before placing the growing medium.
5.3.3.4. Growing media shall be placed and spread with suitable equipment and in a manner that does not adversely affect its structure.
5.3.3.5. Placed growing media shall be allowed to settle or shall be compacted by light rolling such that it is firm against deep footprints prior to planting. Compaction shall not be more than is necessary to meet this requirement.

TABLE T- 5.3.5.5. Minimum depths of growing media
- For small shrubs, and for all trees, 45 cm (18 in.) of growing media is required.
(30 cm / 12" of additional soil on top of 15cm / 6" existing subsoil)

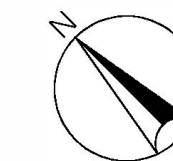
TREE TRIANGULATION

TREE A = POINT A = 5.231 M, POINT B = 15.249 M
TREE B = POINT A = 8.114 M, POINT B = 17.483 M
TREE C = POINT A = 6.769 M, POINT B = 14.018 M
TREE D = POINT B = 10.524 M, POINT C = 5.411 M
TREE E = POINT B = 23.945 M, POINT C = 16.510 M

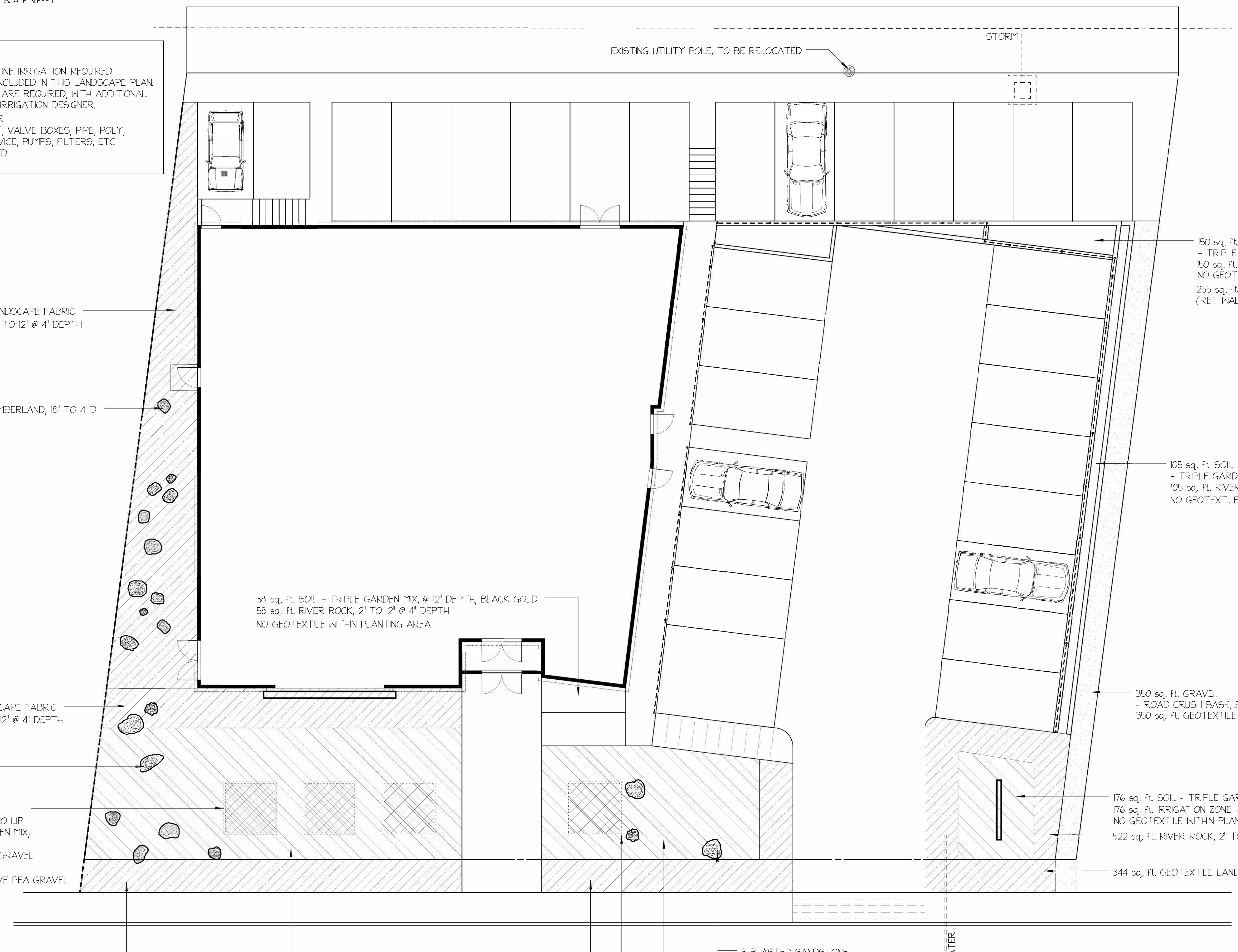
SCALE	1" = 8'	PROJECT NO.	HARDSCAPE DIMENSIONS
DRAWN BY	A. Huene	SHEET NO.	2 / 4
CHECKED BY		DATE	Nov 6, 2023
DATE OF PRINT	Nov 14, 2023		



Schedule No. 2



IRRIGATION NOTES
 - 4 ZONES OF DRIP EMITTER LINE IRRIGATION REQUIRED
 - IRRIGATION DESIGN IS NOT INCLUDED IN THIS LANDSCAPE PLAN
 - THE FOLLOWING MATERIALS ARE REQUIRED, WITH ADDITIONAL MATERIALS AS SPECIFIED BY IRRIGATION DESIGNER.
 1 IRRIGATION CONTROLLER
 1 ALL IRRIGATION CONDUIT, VALVE BOXES, PIPE, POLY, FITTINGS, BACK FLOW DEVICE, PUMPS, FILTERS, ETC AND ELECTRICAL REQUIRED



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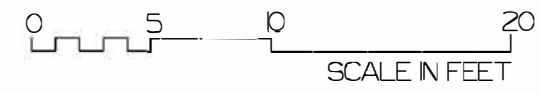
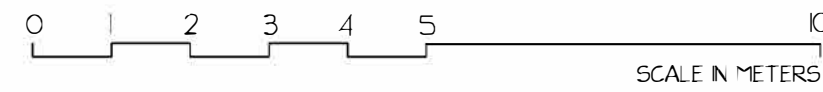
No.	Date	Description



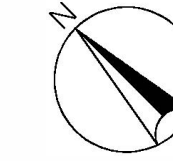
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 Courtenay, BC V9N 2S2

SCALE: 1" = 8'	PROJECT NO: HARDSCAPE TAKEOFFS
DRAWN BY: A. Huene	SHEET NO: 3 / 4
CHECKED BY:	
DATE: Nov 6, 2023	
DATE OF PRINT: Nov 14, 2023	



Schedule No. 2



SEE ATTACHED MASTER PLANT LIST FOR DETAILS

Qty	Botanical Name	Common Name
Trees		
2	<i>Pinus parviflora</i> 'Tempelhof'	Tempelhof Japanese White Pine
3	<i>Pinus strobus</i> 'Fastigiata'	Columar Eastern White Pine
Conifers		
26	<i>Juniperus sabina</i> 'Tamariscifolia'	Tamarix Juniper
Shrubs		
44	<i>Berberis verruculosa</i>	Warty Barberrry
6	<i>Nandina domestica</i> 'Gulf Stream'	Gulf Stream Dwarf Heavenly Bamboo
9	<i>Yucca filamentosa</i>	Soapweed
Ornamental Grasses		
31	<i>Carex testacea</i> 'Prairie Fire'	Prairie Fire New Zealand Sedge
10	<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass
Groundcovers		
61	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick
Vines		
6	<i>Lonicera heckrottii</i> 'Goldflame'	Goldflame Honeysuckle

DRAWING NOTES:

Landscape Contractor must have access to Master Plant List.

DROUGHT TOLERANCE:

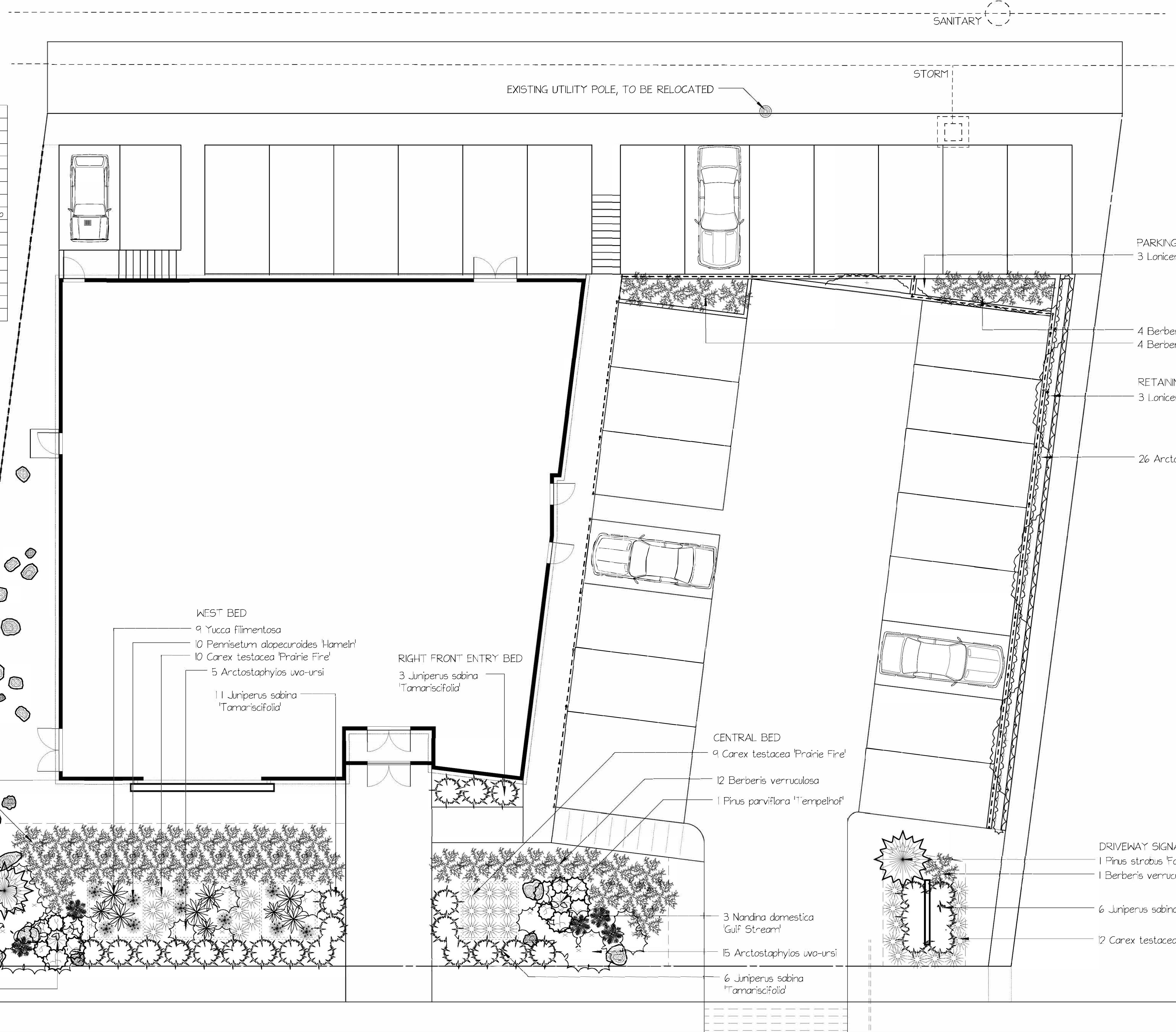
All plants, even those considered drought tolerant, require 2 years of watering to become established.

DEER:

Plants indicated outside fencing are considered deer resistant but are not guaranteed deer proof.

PLANT TOXICITY:

Many plants are poisonous to pets and children. Care should be taken in the landscape with all plants.



NOTES

This drawing is the property of Arianne Huene Landscape Design. It may be used by Arianne Huene Landscape Design for promotional purposes, with personal Client information removed.

It may be shared with Contractors, Engineers and permitting bodies for landscape construction purposes.

Landscape Contractors are employed by the Client independently from Arianne Huene Landscape Design.

Arianne Huene Landscape Design is not liable for design installation errors or omissions committed by the Client, or committed by Landscape Contractors employed by the Client.

Landscape Contractors or Clients should consult with the designer regarding any discrepancies or plant substitutions.

Arianne Huene Landscape Design is not a Landscape Architecture or Engineering Firm. All dimensions and construction details are guidelines for Client / Contractor use and must be verified by the Landscape Contractor or Certified Professional.

Landscape Contractors and Clients are responsible for obtaining written confirmation of utility locations prior to commencing digging.

BC ONE CALL - Call Before You Dig
1.800.474.6886 - www.bcone.ca

PROPERTY NOTES:

Lot Survey provided by Client.
Lot is in City of Courtenay.
Utility lines indicated are approximate in location and must be confirmed prior to excavation.

No.	Date	Description



ARIANNE HUENE LANDSCAPE DESIGN
www.ariannehuelandscape.ca
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SALVATION ARMY
COMOX VALLEY
COMMUNITY CHURCH
1570 Fitzgerald Ave
Courtenay, BC V9N 2S2

CANADIAN LANDSCAPE STANDARDS

SECTIONS OF NOTE:

6.1. Plants shall be selected, transported, and handled in accordance with this section.
6.1.12.1. SUBSTITUTIONS
All plants shall be supplied as specified on the plant list. There shall be no substitutions of plants without prior written approval from the landscape designer.
6.2.9.1. PLANTING ACCESSORIES
Tree ties used to secure guy wires and stakes shall be installed in accordance with this section.

6.3.4.1.D. Woody plants shall be planted with the root flare 2.5 - 5cm above finished grade.
6.3.4.2.D. Place plants to depth equal to original growing depth.
6.3.4.3.B. Trees - The trunk flare shall be 2.5-5cm above the finished grade and visible after the tree has been planted.
6.3.4.3.D. Growing medium shall be watered in when growing medium has been placed to two-thirds of the depth of the rootball and allowed to settle around the roots. After the water has been absorbed, the backfilling shall be completed and tamped lightly. Any settling shall be corrected by raising the tree.
6.3.4.3.H. All string, rope, burlap and other restricting elements shall be cut and removed out to the perimeter of the rootball; all wire basket handles shall be cut off flush with the top ring or folded back down into the planting hole.
6.3.7. WATERING
1. Plants shall be watered immediately after planting to the depth of their root systems.
2. Watering shall be carried out when required and in volumes relative to specific plant needs and growing medium type to maintain available moisture through the root zone.

		Arianne Huene Landscape Design 250.871.2454		Salvation Army Comox Valley Community Church 1570 Fitzgerald Ave, Courtenay, V9N2S2	
		Quantity	Description	NOTES	UNIT COST
23	BLASTED SANDSTONE - CUMBERLAND, 18" TO 4' D	APPROX 8 YARDS	\$60 / YD	\$480	
4	CORTEN STEEL PLANTER, 8' L X 8' W X 2' H, NO BASE NO LIP		\$1,000	\$4,000	
2279 sq. ft	GEOTEXTILE LANDSCAPE FABRIC	4' X 100' ROLLS = 6 ROLLS	\$100	\$600	
256 sq. ft	GRAVEL - 3/8" PEA GRAVEL @ 2" DEPTH	APPROX 2 YARDS	\$65 / YD	\$130	
350 sq. ft	GRAVEL - ROAD CRUSH BASE, 3/4" MINUS @ 3" DEPTH, COMPACTED	APPROX 4 YARDS	\$50 / YD	\$200	
4080 sq. ft	RIVER ROCK, 2" TO 12" @ 4" DEPTH	APPROX 55 YARDS	\$60 / YD	\$3,300	
2149 sq. ft	SOIL - TRIPLE GARDEN MIX, @ 12" DEPTH, BLACK GOLD	APPROX 80 YARDS	\$70 / YD	\$5,600	
256 sq. ft	SOIL - TRIPLE GARDEN MIX, @ 18" DEPTH, BLACK GOLD	APPROX 15 YARDS	\$70 / YD	\$1,050	
	DELIVERY FEES FOR LOOSE MATERIAL	APPROX 7 @ \$200 PER DELIVERY	\$1,400	\$1,400	
	LABOUR COSTS	3 WEEKS X 3 PERSONS X 40HR WEEK @ \$25 / HR	\$10,000	\$10,000	
	EXCAVATION, GRADING AND COMPACTING		\$6,000	\$6,000	
	PLANTS	SEE MASTER PLANT LIST FOR DETAILS	\$3,638.88	\$3,700.00	
			SUBTOTAL	\$36,460.00	
			GST @ 5%	\$1,823.00	
			PST @ 7%	\$2,552.20	
			TOTAL	\$40,835.20	
PLEASE NOTE:					
QUANTITIES AND UNIT COSTS ARE ESTIMATES ONLY.					
QUANTITIES ARE PROVIDED FOR LANDSCAPE PLAN COST ESTIMATE DEVELOPMENT PERMIT SUBMISSION.					
CONTRACTORS AND CLIENTS ARE RESPONSIBLE FOR ENSURING ACCURATE QUANTITIES AND COSTS.					
ADDITIONAL MATERIALS MAY BE REQUIRED.					