

11TH STREET

120 11TH ST. COURTENAY, BC

SHEET LIST

| | |
|--------------------------------------|--------------------------|
| L0.01 TREE MANAGEMENT & REMOVAL PLAN | L4.01 TREE PLANTING PLAN |
| L1.01 MATERIALS PLAN | L4.02 PLANTING PLAN |
| L2.01 LAYOUT PLAN | L4.11 SOIL DEPTH PLAN |
| L3.01 GRADING PLAN | L5.01 LIGHTING PLAN |

GENERAL LANDSCAPE NOTES

GENERAL:

- DO NOT PROCEED IN UNCERTAINTY.
- DO NOT SCALE DRAWINGS.
- DRAWINGS AND SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS/SPECIFICATIONS IN THIS PROJECT SET. ANY DISCREPANCIES AMONG DRAWINGS, SPECIFICATIONS AND INDUSTRY BEST PRACTICES TO BE REPORTED TO THE PROJECT / CONSTRUCTION MANAGER AND THE LANDSCAPE CONSULTANT FOR DIRECTION.
- ALL LANDSCAPE SPECIFICATION SECTIONS AND DRAWINGS ARE AFFECTED BY REQUIREMENTS OF DIVISION 01 SECTIONS (PROVIDED IN THE PROJECT MANUAL).
- CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS, INCLUDING THE LIMITS OF WORK AND EXISTING FEATURES TO BE PROTECTED, PRIOR TO SUBMITTING BIDS/QUOTES.
- CONTRACTOR TO CONFIRM LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES/FEATURES PRIOR TO COMMENCING WORK.
- CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT SITE FEATURES / CONDITIONS, WITHIN AND BEYOND THE LIMITS OF WORK EXISTING AT THE TIME OF CONSTRUCTION. ALL DISTURBED SURFACES, AREAS, STRUCTURES, VEGETATION, HABITAT ETC. ON PUBLIC / PRIVATE PROPERTY TO PROMPTLY BE RESTORED TO EQUAL OR BETTER CONDITION THAN EXISTING AND TO THE SATISFACTION OF THE MUNICIPALITY HAVING JURISDICTION / PROPERTY OWNER.
- CONTRACTOR TO MAINTAIN THE SITE IN A SAFE AND TIDY CONDITION AT ALL TIMES. DO NOT OBSTRUCT PEDESTRIAN OR VEHICULAR CIRCULATION. DO NOT LEAVE UNPROTECTED HOLES / PITS / OPENINGS OVERNIGHT. ALL EXCESS MATERIALS AND REFUSE TO BE REMOVED FROM THE SITE DAILY UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.

STANDARDS:

- ALL WORK ON MUNICIPAL PROPERTY TO CONFORM TO THE CITY OF COURTENAY DEVELOPMENT STANDARDS (AUTHORITY HAVING JURISDICTION) INCLUDING BUT NOT LIMITED TO:
 - CITY OF COURTENAY SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 2919
 - CITY OF COURTENAY 2919 SUPPLEMENTARY DESIGN GUIDELINES
 - CITY OF COURTENAY 2919 SUPPLEMENTARY STANDARD DETAIL DRAWING
 - CITY OF COURTENAY 2919 SUPPLEMENTARY CONSTRUCTION SPECIFICATIONS
 - CITY OF COURTENAY APPROVED PRODUCTS LIST
- ALL LANDSCAPE WORK ON THE DEVELOPMENT SITE TO CONFORM TO THE CURRENT EDITION AT TIME OF ISSUE OF THE Canadian Landscape Standard (CLS), UNLESS SPECIFICALLY STATED OTHERWISE IN WRITTEN SPECIFICATIONS AND ON DRAWINGS.
- ALL HARD SURFACE (INCLUDING BUT NOT LIMITED TO PAVING, CONCRETE RETAINING WALLS AND CONCRETE PLANTERS) TO CONFORM TO THE Master Municipal Construction Documents Association PLATINUM EDITION (MMCD) AND MMCD SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS, UNLESS SPECIFICALLY STATED OTHERWISE IN WRITTEN SPECIFICATIONS AND ON DRAWINGS.
- IN CASES OF CONFLICT BETWEEN THE CLS AND THE MMCD, THE MORE STRINGENT REQUIREMENT WILL TAKE PRECEDENCE.
- LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH MUNICIPAL DEVELOPMENT STANDARDS AND BE IN POSSESSION OF THE CLS AND MMCD MANUALS AND SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS.
- GROWING MEDIUM AND GROWING MEDIUM TESTING TO CLS Section 5.
- IRRIGATION DESIGN AND INSTALLATION TO IABC STANDARDS AND CLS Section 10.

COORDINATION:

- CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION AND ELECTRICAL SLEEVES WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL WORKS.

SUBMITTALS:

- CONTRACTOR TO PROVIDE SAMPLES, TEST RESULTS AND SHOP DRAWINGS TO LANDSCAPE CONSULTANT FOR REVIEW AND APPROVAL 45 DAYS PRIOR TO INSTALLATION.
- SEE ALSO SUBMITTALS TABLE BELOW FOR ADDITIONAL INFORMATION.

GROWING MEDIUM TESTING:

- GROWING MEDIUM TEST RESULTS ARE MANDATORY.
- TEST RESULTS TO INCLUDE ANALYSIS OF ALL GROWING MEDIUM NUTRIENTS NOTED IN CLS 5.2.7 AND ARE TO BE REPORTED IN THE SAME UNITS AS NOTED IN THAT SECTION.
- TEST RESULTS TO INCLUDE ANALYSIS OF SOIL TEXTURE, ORGANIC CONTENT AND ACIDITY AS PER CLS 5.3.5 AND BE REPORTED IN THE SAME UNITS AS NOTED IN THAT SECTION.
- TEST RESULTS TO INCLUDE RECOMMENDATIONS FOR AMENDMENTS TO MEET THE REQUIREMENTS FOR EACH GROWING MEDIUM TYPE.
- RECOMMENDED GROWING MEDIUM TESTING FACILITY: Pacific Soil Analysis Inc. 11720 Voyageur Way, Richmond, BC V6X 3G9 OR APPROVED EQUAL.

COMPACTION TESTING:

- COMPACTION TESTS FOR HARD SURFACE SUBGRADE, GRANULAR SUB-BASE, AND GRANULAR BASE ARE MANDATORY.

INSPECTIONS:

- CONTRACTOR TO ALERT THE LANDSCAPE CONSULTANT A MINIMUM OF 3 WORKING DAYS PRIOR TO REQUIRED LANDSCAPE INSPECTIONS.

SUBSTITUTIONS:

- REQUESTS FOR SUBSTITUTIONS TO CONFORM TO THE DIVISION 01 SECTION AND BE SUBMITTED TO THE LANDSCAPE CONSULTANT, THROUGH THE PROJECT ADMINISTRATOR, A MINIMUM OF 45 DAYS PRIOR TO SCHEDULED WORK.
- PLEASE NOTE THAT SOME SUBSTITUTIONS MAY REQUIRE MUNICIPAL APPROVAL.

WARRANTY:

- CONTRACTOR SHALL WARRANTY ALL WORKMANSHIP AND MATERIALS FOR 1 FULL YEAR FOLLOWING THE DATE OF TOTAL PERFORMANCE AS PER MMCD UNLESS SPECIFICALLY NOTED OTHERWISE. FAULTY MATERIALS AND WORKMANSHIP SHALL BE PROMPTLY REPAIRED / REPLACED TO THE SATISFACTION OF THE LANDSCAPE CONSULTANT.

ENVIRONMENTAL PROTECTION:

- CONTRACTOR TO INSTALL AND MAINTAIN SEDIMENTATION FILTRATION MEASURES AS REQUIRED FOR LANDSCAPE WORKS TO PREVENT MATERIALS FROM LEAVING THE SITE AND / OR ENTERING STORM DRAINS; STOCKPILED LANDSCAPE MATERIALS ARE TO BE KEPT TARPED.



LEGEND

- PROPERTY LINE
- - - BUILDING OVERHANG
- - - LATERAL SETBACKS
- - - NATURAL SETBACKS
- NATURAL BOUNDARY

TMP LEGEND

- + TREE TO RETAIN OR POTENTIALLY REMOVE + ROOT PROTECTION AREA
- + TREE TO REMOVE + ROOT PROTECTION AREA
- TREE TO REMOVE
- TREE TO RETAIN

Table 1. Trees assessed on or adjacent to 120/125 11th St Courtenay BC potentially impacted by proposed development plans.

| ID | Species | DBH (cm) | Condition | Risk Rating | Defect | RPA (m) | Action | Notes |
|------|--------------------------|----------|-----------|-------------|---|---------|----------------------|---|
| A | Ornamental cherry | 35 | Good | Low | None | 2.1 | None | Crown extends 5m into property |
| B | Pacific dogwood | 30 | Fair | Low | Possible basal stem defect | 1.8 | None | Possible lower stem defect |
| C | Ornamental cherry | 40 | Good | Low | None | 2.4 | None | Branches extend 2m into property |
| D | English walnut | 50 | Good | Low | None | 3 | None | Canopy extends 5.4m into property |
| E | Ornamental apple | 20 | Fair | Low | None | 1.2 | None | Canopy extends 2m into property |
| F | Ornamental apple | 20 | Good | Low | None | 1.2 | None | Canopy extends 2m into property |
| G | Ornamental apple | 25 | Fair | Low | None | 1.5 | None | 3.5m into property |
| 1204 | Sitka spruce | 90 | Fair | Low | Previously topped | 5.4 | Retained and Monitor | |
| 1206 | Western redcedar | 50 | Good | Low | None | 3 | Retained and Monitor | |
| 1249 | Bigleaf maple | 35 | Good | Low | None | 2.1 | Remove | Growing at fence line. Good condition stems between fence and old shed. Poor candidates for retention with poor structure and incorporation with chain link |
| 10 | Wild cherry | 30 | Poor | Low | Poor structure | 1.8 | Remove | |
| 11 | Big leaf maple | 40 | Poor | Low | Significant crown decline with large deadwood | 2.4 | Remove | |
| 1205 | Douglas fir | 125 | Fair | Low | Previously topped | 7.5 | Remove | |
| 1207 | Grand fir | 46 | Poor | Low | Poor structure | 2.76 | Remove | |
| 1208 | Ornamental weeping beech | 44 | Good | Low | None | 2.64 | Remove | |
| 1209 | Cypress | 45 | Fair | Low | Previously topped. Multiple tops with poor structure. | 2.7 | Remove | |
| 1210 | Cypress | 40 | Fair | Low | Previously topped. Multiple tops with poor structure. | 2.4 | Remove | |
| 1211 | Cypress | 35 | Dead | Low | Previously topped. Multiple tops with poor structure. | 2.1 | Remove | Crown in decline |
| 1212 | Cypress | 55 | Fair | Low | Previously topped. Multiple tops with poor structure. | 3.3 | Remove | |
| 1213 | Cypress | 35 | Dead | Low | Previously topped. Multiple tops with poor structure. | 2.1 | Remove | |
| 1214 | Cypress | 30 | Fair | Low | Previously topped. Multiple tops with poor structure. | 1.8 | Remove | |
| 1215 | Cypress | 48 | Good | Low | Previously topped. Multiple tops with poor structure. | 2.88 | Remove | |
| 1216 | Cypress | 28 | Fair | Low | Previously topped. Multiple tops with poor structure. | 1.68 | Remove | |
| 1217 | Cypress | 40 | Good | Low | None | 2.4 | Remove | |
| 1218 | Cypress | 50 | Fair | Low | Previously topped. Multiple tops with poor structure. | 3 | Remove | |
| 1219 | Cypress | 50 | Fair | Low | Previously topped. Multiple tops with poor structure. | 3 | Remove | |
| 1220 | Cypress | 68 | Good | Low | None | 4.08 | Remove | |
| 1221 | Cypress | 28 | Fair | Low | Previously topped. Multiple tops with poor structure. | 1.56 | Remove | |
| 1222 | Cypress | 33 | Fair | Low | Previously topped. Possible weak attachments of upper leaders due to stem decay. | 1.98 | Remove | |
| 1223 | Cypress | 36 | Poor | Low | Previously topped. Multiple tops with poor structure. | 2.16 | Remove | Previously failed top |
| 1224 | Cypress | 31 | Fair | Low | Previously topped. Multiple tops with poor structure. | 1.86 | Remove | |
| 1225 | Cypress | 38 | Fair | Low | Previously topped. Multiple tops with poor structure. | 2.28 | Remove | |
| 1 | Red alder | 30 | Fair | Low | Small cavity in upper crown | 1.8 | Retain and Monitor | |
| 2 | Red alder | 50 | Fair | Low | Upper crown decline with decay | 3 | Retain and Monitor | |
| 3 | Red alder | 25 | Poor | Low | Upper crown decline with decay | 1.5 | Retain and Monitor | small remaining canopy originating at 2m leaning towards river |
| 4 | Red alder | 25 | Poor | Low | Upper crown decline with decay | 1.5 | Retain and Monitor | |
| 5 | Red alder | 35 | Fair | Low | Upper crown decline with decay | 2.1 | Retain and Monitor | |
| 6 | Red alder | 25 | Poor | Low | Stem defect at 3m with crown leaning towards property | 1.5 | Retain and Monitor | |
| 7 | Red alder | 40 | Fair | Low | Some crown decline | 2.4 | Retain and Monitor | |
| 8 | Red alder | 30 | Good | Low | None | 1.8 | Retain and Monitor | river |
| 9 | Red alder | 50 | Good | Low | None | 3 | Retain and Monitor | |
| 1201 | Black cottonwood | 110 | Fair | Low | Basal defect from previous failure of secondary stem in recent history, no current decay present. Continue to monitor | 6.6 | Retain and Monitor | |
| 1202 | Red alder | 37 | Good | Low | Cavity at ground level. Crown leans toward river | 2.22 | Retain and Monitor | |
| 1203 | Red alder | 80 | Fair | Low | Small crown defects. Multi-stemmed tree | 4.8 | Retain and Monitor | |

1 TREE INVENTORY TABLE, SEE ARBORIST REPORT
L0.01 NTS

Tree Protection Zone (TPZ)

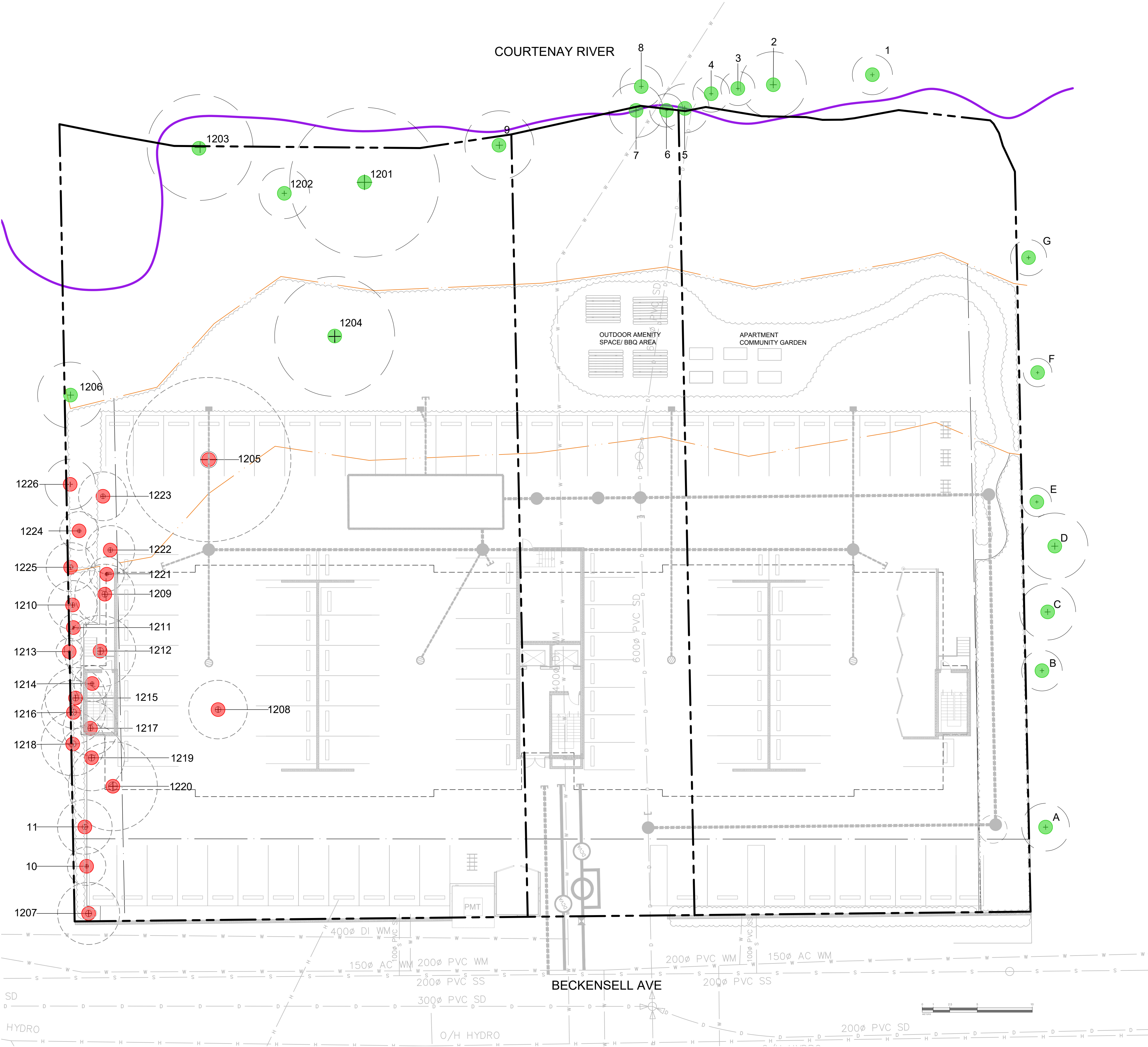
No grade changes, trenching, storage of materials or equipment, liquid disposal, hard surfacing or vehicular traffic are permitted within this area.

The tree protection barrier and sign must not be removed, without authorization of City of Courtenay, Development Services Department. Failure to comply may result in fines.

If you see this sign or protection barriers being tampered with, please report to the number listed below.

For more information call the Development Services Department at 250 334 4441

1 TREE PROTECTION SIGNAGE
L0.01 NTS



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilialcollective.ca 250 590 1156

OWNER/CLIENT:
THE LANDING ON 11TH LIMITED PARTNERSHIP

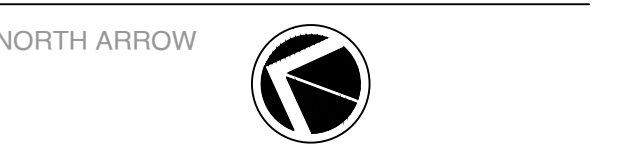
PROJECT NAME:
11TH ST

PROJECT ADDRESS:
**120 11TH ST,
COURTENAY, BC**

DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **LUCIA BLANCO**

| | | |
|-----|-----------------------------|----------|
| 5 | ISSUED FOR DP RE-SUBMISSION | 24/08/01 |
| 4 | ISSUED FOR DP RE-SUBMISSION | 24/07/10 |
| 3 | ISSUED FOR DP REVIEW | 24/06/27 |
| 2 | ISSUED FOR DP | 24/03/26 |
| 1 | ISSUED FOR RZ | 23/8/29 |
| NO. | ISSUE | YYMMDD |

SEAL



DRAWING TITLE:
TREE MANAGEMENT PLAN

DWG NO:
L0.01

SCALE: 1:200

LEGEND

- PROPERTY LINE
- BUILDING OVERHANG
- LATERAL SETBACKS
- NATURAL SETBACKS
- NATURAL BOUNDARY
- PROPOSED TREES
- EXISTING TREES TO BE RETAINED
- PICNIC TABLE
- (4) BIKE RACKS
- PRODUCT: DOBRA DESIGN - THE P1 - P110
FINISH: SEMI-GLOSS BLACK
- RAISED GARDEN BED

MATERIALS SCHEDULE

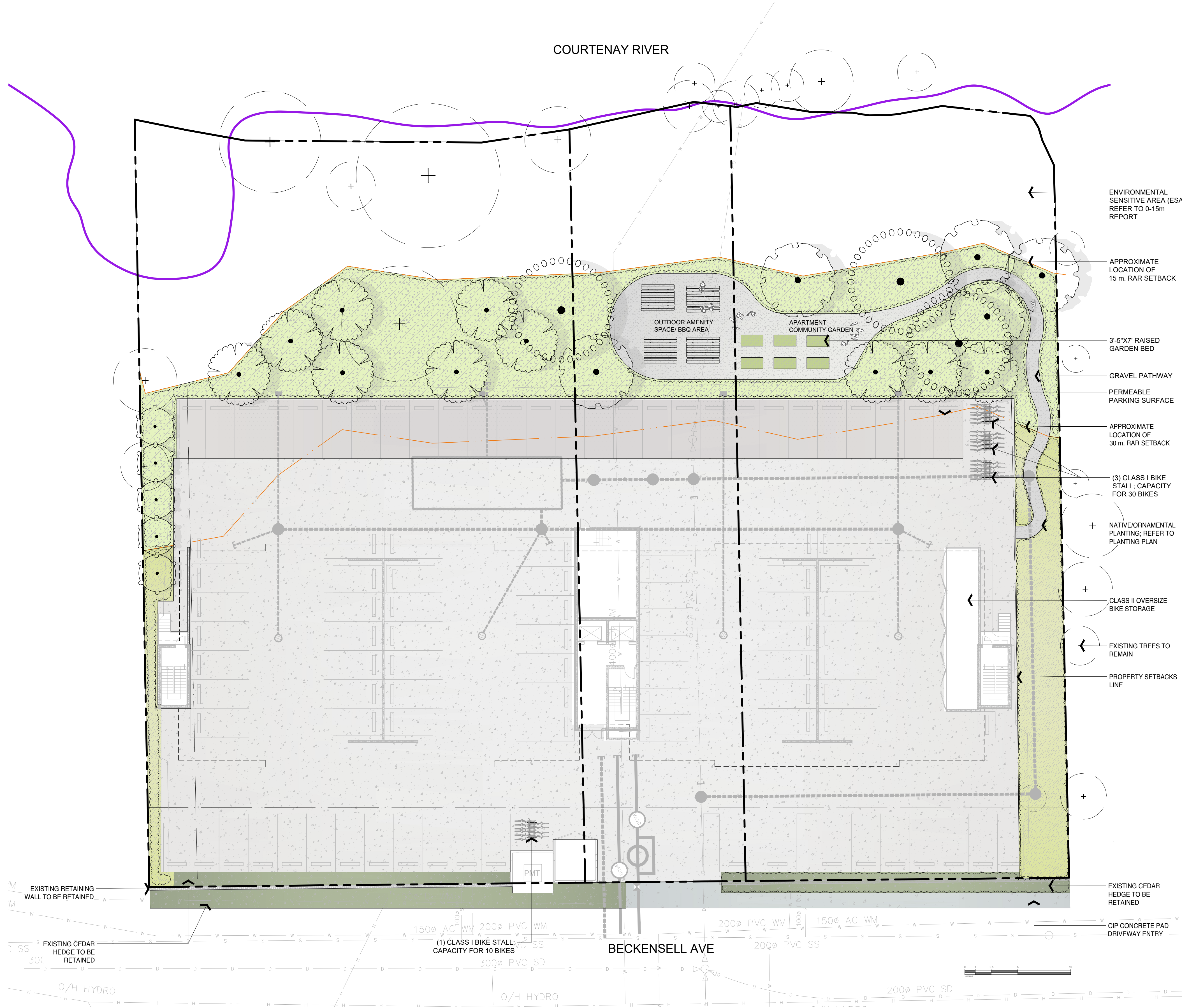
| SYMBOL | DESCRIPTION | QTY |
|--------|---|----------------------|
| | PAVING TYPE 1: CIP CONCRETE -LIGHT BROOM FINISH -NATURAL COLOR | 2,948 m ² |
| | PAVING TYPE 2: CRUSHED GRAVEL | 225.8 m ² |
| | PAVING TYPE 4: PERMEABLE PARKING SURFACE - CORE Gravel | 408.3 m ² |
| | PAVING TYPE 5: OFF-SITE CIP CONCRETE -LIGHT BROOM FINISH -NATURAL COLOR | 89.1 m ² |
| | NATIVE AND ORNAMENTAL PLANTING -SEE PLANTING PLAN | 225.9 m ² |
| | 15-30m SETBACK NATIVE RIPARIAN PLANTING -SEE PLANTING PLAN | 765.9 m ² |
| | EXISTING CEDAR HEDGE | 187.2 m ² |
| | RAISED GARDEN BED - SEE SOIL PLAN | 15.2 m ² |

LANDSCAPE NOTES - GENERAL

- LANDSCAPE INSTALLATION NOTES:**
 - ALL SOFT LANDSCAPE MATERIALS AND INSTALLATION TO CONFORM TO THE CURRENT EDITION OF THE BCSLA/BCNA B.C. LANDSCAPE STANDARD UNLESS SPECIFICALLY STATED OTHERWISE ON THESE DRAWINGS OR CITY OF COURTENAY SPECIFICATION DOCUMENTS.
 - ALL HARD SURFACE LANDSCAPE MATERIALS AND INSTALLATION TO CONFORM TO THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) UNLESS SPECIFICALLY STATED OTHERWISE ON THE DRAWINGS OR CITY OF COURTENAY SPECIFICATION DOCUMENTS.
- IRRIGATION TO NOTES:**
 - AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE DESIGNED BY AN IABC CERTIFIED IRRIGATION DESIGNER AND INSTALLED TO IABC STANDARDS
 - WATER WISE MP ROTATOR SPRAY HEADS
 - BACKFLOW PREVENTION DEVICE AND WINTERIZATION BLOW OUT
 - WIFI TIMER

LANDSCAPE NOTES - BYLAW NO. 2820

- TREE CUTTING PERMIT:**
 - A TREE CUTTING PERMIT IS REQUIRED TO BE OBTAINED PRIOR TO THE REMOVAL OF ANY TREE OVER 20 cm DIAMETER AT BREAST HEIGHT OR A PROTECTED TREE:
 - ON ANY GREENFIELD PROPERTY;
 - ON ANY INFILL PROPERTY WHERE THE REMOVAL OF SAID TREES WILL RESULT IN THE NUMBER OF TREES RETAINED ON THE PROPERTY FALLING BELOW THE REQUIRED TREE DENSITY TARGET FOR THAT PROPERTY.
- TREE PROTECTION BARRIER AND SIGNAGE:**
 - TO SCHEDULE B - BYLAW 2820.
 - TO BE INSTALLED PRIOR TO ANY DISTURBANCE ON SITE AND MAINTAINED UNTIL CONSTRUCTION COMPLETION.
 - PROOF (PHOTOGRAPH) OF TREE PROTECTION BARRIER INSTALLATION TO BE PROVIDED TO THE CITY.
- REPLACEMENT TREES:**
 - REPLACEMENT TREES MUST MEET THE PLANT CONDITION AND STRUCTURE REQUIREMENTS SET OUT IN THE LATEST EDITION OF THE BCSLA/BCNA B.C. LANDSCAPE STANDARD AND THE CNTA CANADIAN STANDARD FOR NURSERY STOCK.
 - REPLACEMENT TREES SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE LATEST EDITION OF THE BCSLA/BCNA B.C. LANDSCAPE STANDARD.
 - TREE CAGING WILL BE REQUIRED IN AREAS PRONE TO DEER BROWSING UNTIL THE TREE IS 6 FEET IN HEIGHT.
 - REPLACEMENT TREES SHALL BE PLANTED DURING THE SUITABLE LOCAL PLANTING SEASONS GENERALLY DEFINED AS FALL (SEPTEMBER - NOVEMBER) AND SPRING (FEBRUARY - APRIL), WHERE PLANTING MUST OCCUR OUTSIDE OF THESE TIME PERIODS, THEN A STRATEGY FOR ENSURING THE TREES ARE WATERED (IN THE SUMMER) OR PROTECTED FROM COLD WEATHER (IN THE WINTER) MUST BE INCLUDED AS PART OF THE TREE CUTTING PERMIT APPLICATION.
- GROWING MEDIUM NOTES:**
 - ORGANIC MATTER CONTENT OF 15% DRY WEIGHT IN PLANTING BEDS.
 - DEPTH OF 450 mm FOR SHRUB/ TREE BEDS.
 - pH BETWEEN 6.0 TO 8.0.
 - SUBSOIL SCARIFIED TO A DEPTH OF MINIMUM 100 mm WITH SOME TOPSOIL TO BE INCORPORATED INTO THE SUBSOIL.
 - PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 50 mm OF ORGANIC MATERIALS.



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PROJECT ADDRESS:
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COURTENAY, BC**

DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **LUCIA BLANCO**

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| | NO. ISSUE | YYMMDD |

SEAL

2024-08-01

NORTH ARROW

DRAWING TITLE:
MATERIALS PLAN

DWG NO:
L1.01

SCALE: 1:200

PRECEDENTS



Natural Pathway

Forested Amenity Area

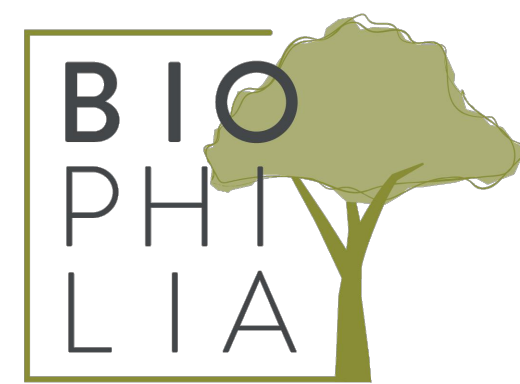
Apartment Community Garden

LEGEND

- PROPERTY LINE
- - - - - BUILDING OVERHANG
- - - - - LATERAL SETBACKS
- - - - - NATURAL SETBACKS
- NATURAL BOUNDARY

LAYOUT PLAN NOTES

- ALL DIMENSIONS ARE NOMINAL.
- REFER TO GRADING PLAN FOR ELEVATIONS.
- ALL SITE FURNISHED TO BE CONFIRMED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



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SEAL



NORTH ARROW



DRAWING TITLE:
LAYOUT PLAN

DWG NO:

SCALE: 1:200

L2.01

LEGEND

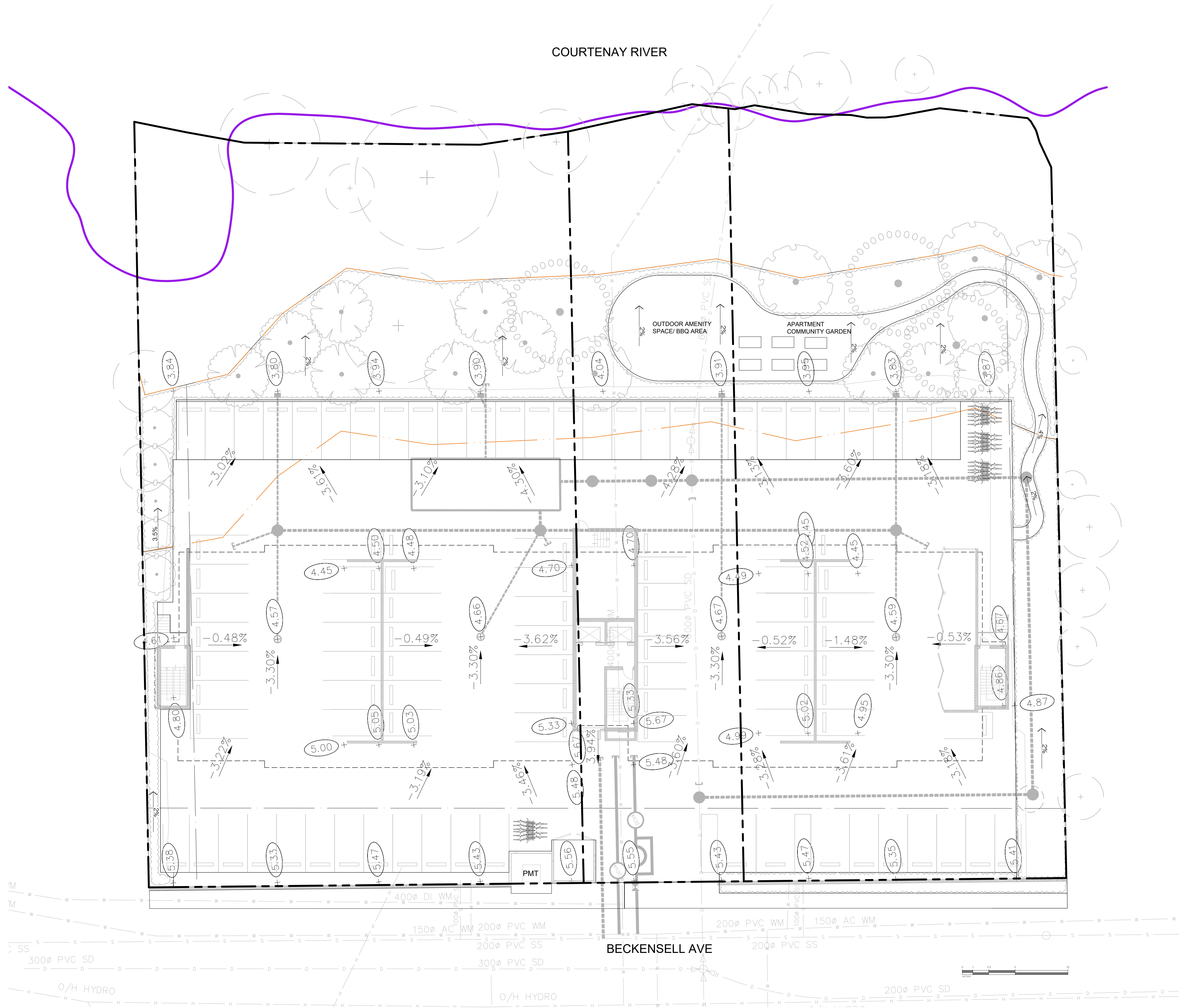
- PROPERTY LINE
- - - BUILDING OVERHANG
- LATERAL SETBACKS
- NATURAL SETBACKS
- NATURAL BOUNDARY

GRADING LEGEND

- 3.5 EXISTING CONTOURS/ELEVATIONS
- 2% LANDSCAPE PROPOSED SLOPE
- 3.30% CIVIL PROPOSED SLOPE
- +4.57 CIVIL PROPOSED ELEVATION
- +13.200 TOP OF STAIRS
- +0.200 BOTTOM OF STAIRS

GRADING PLAN NOTES

- ALL ELEVATIONS ARE NOMINAL. CONTRACTOR TO VERIFY SPOT ELEVATION PRIOR THE START OF CONSTRUCTION.
- ALL ELEVATIONS ARE TO TOP OF FINISHED GRADE UNLESS NOTED OTHERWISE.
- SEE CIVIL FOR OFF-SITE ELEVATIONS.
- SEE ARCHITECTURE FOR ON-SITE HARDSCAPE ELEVATIONS.



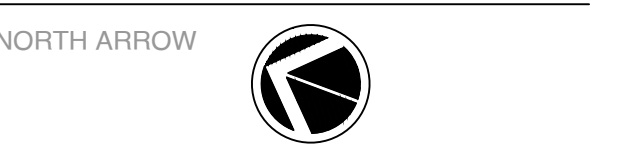
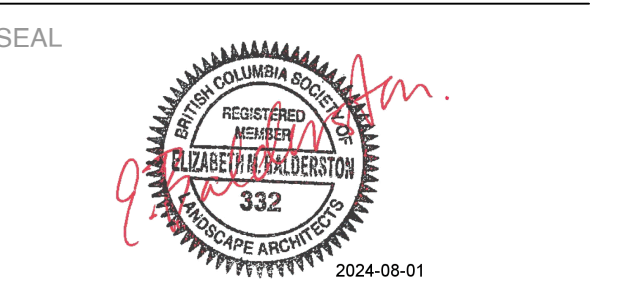
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DRAWING TITLE:
GRADING PLAN

DWG NO:
L3.01
 SCALE: 1:200

LEGEND

- PROPERTY LINE
- BUILDING OVERHANG
- LATERAL SETBACKS
- NATURAL SETBACKS
- NATURAL BOUNDARY
- DESIGNATED REPLACEMENT TREE

**REPLACEMENT TREE PLANTING RESTRICTIONS
BYLAW 2820**

- 1.0 m FROM PROPERTY LINE
- 3.0 m FROM BUILDING FOUNDATION OR WALL

PLANT SCHEDULE 15-30M. SETBACK

| SYMBOL | CODE | BOTANICAL / COMMON NAME | SIZE | SPACING | COMMENTS | QTY |
|--------------|------|------------------------------------|----------|----------|-----------------------------------|-----|
| TREES | | | | | | |
| | AV | Acer circinatum / Vine Maple | 5 Gallon | As Shown | B&B, Well Established, Multi-Stem | 4 |
| | AB | Acer macrophyllum / Big Leaf Maple | 5 Gallon | As Shown | B&B, Well Established | 3 |
| | AL | Alnus rubra / Red Alder | 5 Gallon | As Shown | B&B, Dense, Uniform Tree | 5 |
| | MP | Malus fusca / Western Crabapple | 5 Gallon | As Shown | B&B, Well Established | 10 |
| | | Existing Tree to be Retained | | | | |

PLANT SCHEDULE REMAINING LANDSCAPE

| SYMBOL | CODE | BOTANICAL / COMMON NAME | SIZE | SPACING | COMMENTS | QTY |
|--------------|------|------------------------------|----------|----------|-----------------------------------|-----|
| TREES | | | | | | |
| | AV | Acer circinatum / Vine Maple | 5 Gallon | As Shown | B&B, Well Established, Multi-Stem | 1 |

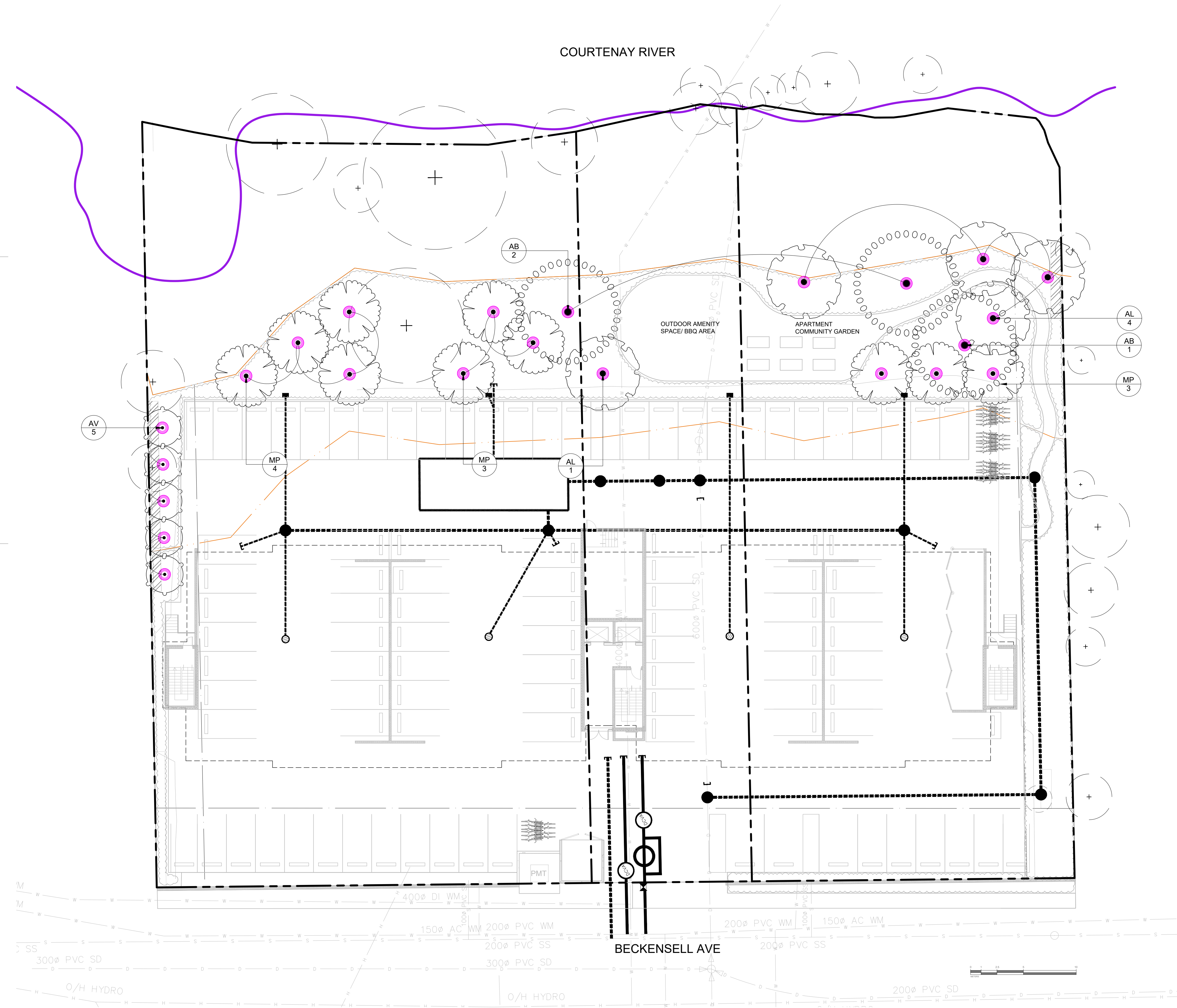
LANDSCAPE NOTES - BYLAW NO. 2820

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2. TREE PROTECTION BARRIER AND SIGNAGE:
 - TO SCHEDULE B - BYLAW 2820.
 - TO BE INSTALLED PRIOR TO ANY DISTURBANCE ON SITE AND MAINTAINED UNTIL CONSTRUCTION COMPLETION.
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3. REPLACEMENT TREES:
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 - REPLACEMENT TREES SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE LATEST EDITION OF THE BC SLA/BC LNA B.C. LANDSCAPE STANDARD.
 - TREE CAGING WILL BE REQUIRED IN AREAS PRONE TO DEER BROWSING UNTIL THE TREE IS 6 FEET IN HEIGHT.
 - REPLACEMENT TREES SHALL BE PLANTED DURING THE SUITABLE LOCAL PLANTING SEASONS GENERALLY DEFINED AS FALL (SEPTEMBER - NOVEMBER) AND SPRING (FEBRUARY - APRIL), WHERE PLANTING MUST OCCUR OUTSIDE OF THESE TIME PERIODS, THEN A STRATEGY FOR ENSURING THE TREES ARE WATERED (IN THE SUMMER) OR PROTECTED FROM COLD WEATHER (IN THE WINTER) MUST BE INCLUDED AS PART OF THE TREE CUTTING PERMIT APPLICATION.
4. GROWING MEDIUM NOTES:
 - ORGANIC MATTER CONTENT OF 15% DRY WEIGHT IN PLANTING BEDS.
 - DEPTH OF 450 mm FOR SHRUB/ TREE BEDS.
 - pH BETWEEN 6.0 TO 8.0.
 - SUBSOIL SCARIFIED TO A DEPTH OF MINIMUM 100 mm WITH SOME TOPSOIL TO BE INCORPORATED INTO THE SUBSOIL.
 - PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 50 mm OF ORGANIC MATERIALS.

TREE DENSITY TARGET - BYLAW NO. 2820

- 50 TREES PER NET DEVELOPABLE HECTARE
- TOTAL SITE AREA: 6,209.12 m² (0.62 ha)
- NET DEVELOPABLE HECTARE: 4,901.45 (0.49 ha)
- TREE DENSITY TARGET: 25 TREES
- EXISTING TREES ON SITE TO REMAIN: 2 TREES
- REPLACEMENT TREES REQUIRED FOR INFILL PROPERTY: 23

- SCHEDULE A
MIN. 50% OF THE TREES ON THE PROPERTY MUST BE NATIVE



Red alder - Alnus rubra



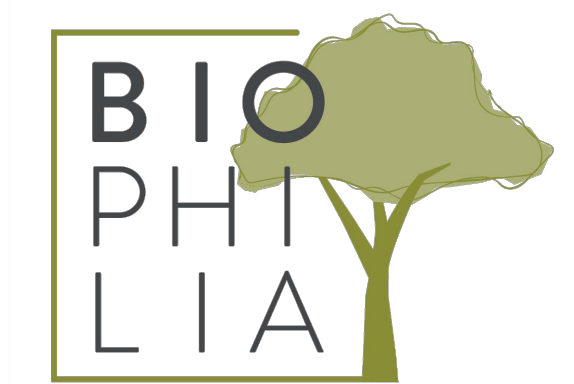
Big-leaf maple - Acer macrophyllum



Pacific crabapple - Malus fusca



Vine maple - Acer circinatum



1608 Camosun Street, Victoria BC V8T 3E6
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OWNER/CLIENT:
THE LANDING ON 11TH LIMITED PARTNERSHIP
PROJECT NAME:
11TH ST

PROJECT ADDRESS:
**120 11TH ST,
COURTENAY, BC**

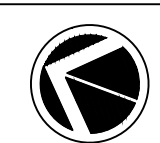
DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **LUCIA BLANCO**

| NO. | ISSUE | DATE |
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| 5 | ISSUED FOR DP RE-SUBMISSION | 24/08/01 |
| 4 | ISSUED FOR DP RE-SUBMISSION | 24/07/10 |
| 3 | ISSUED FOR DP REVIEW | 24/06/27 |
| 2 | ISSUED FOR DP | 24/03/26 |
| 1 | ISSUED FOR RZ | 23/8/29 |
| | ISSUE | YYMMDD |

SEAL



NORTH ARROW



DRAWING TITLE:
TREE PLANTING PLAN

DWG NO:

SCALE: 1:200

L4.01

LEGEND

- PROPERTY LINE
- - - BUILDING OVERHANG
- LATERAL SETBACKS
- NATURAL SETBACKS
- NATURAL BOUNDARY

CONCEPT PLANT SCHEDULE 15-30M. SETBACK

| NATIVE RIPARIAN PLANTING (15-30M AREA) | | | |
|---|-----|--------|------------------|
| Carex aquatilis dives / Sitka Sedge | 238 | #2 POT | 16.8% @ 0.75m oc |
| Juncus effusus / Soft Rush | 235 | #1 POT | 16.6% @ 0.75m oc |
| Myrica gale / Sweetgale | 92 | #2 POT | 16.6% @ 1.2m oc |
| Rhododendron columbianum / Western Labrador Tea | 59 | #2 POT | 16.8% @ 1.5m oc |
| Spiraea douglasii / Western Spirea | 235 | #2 POT | 16.6% @ 0.75m oc |
| Vaccinium uliginosum / Bog Blueberry | 235 | #2 POT | 16.6% @ 0.75m oc |

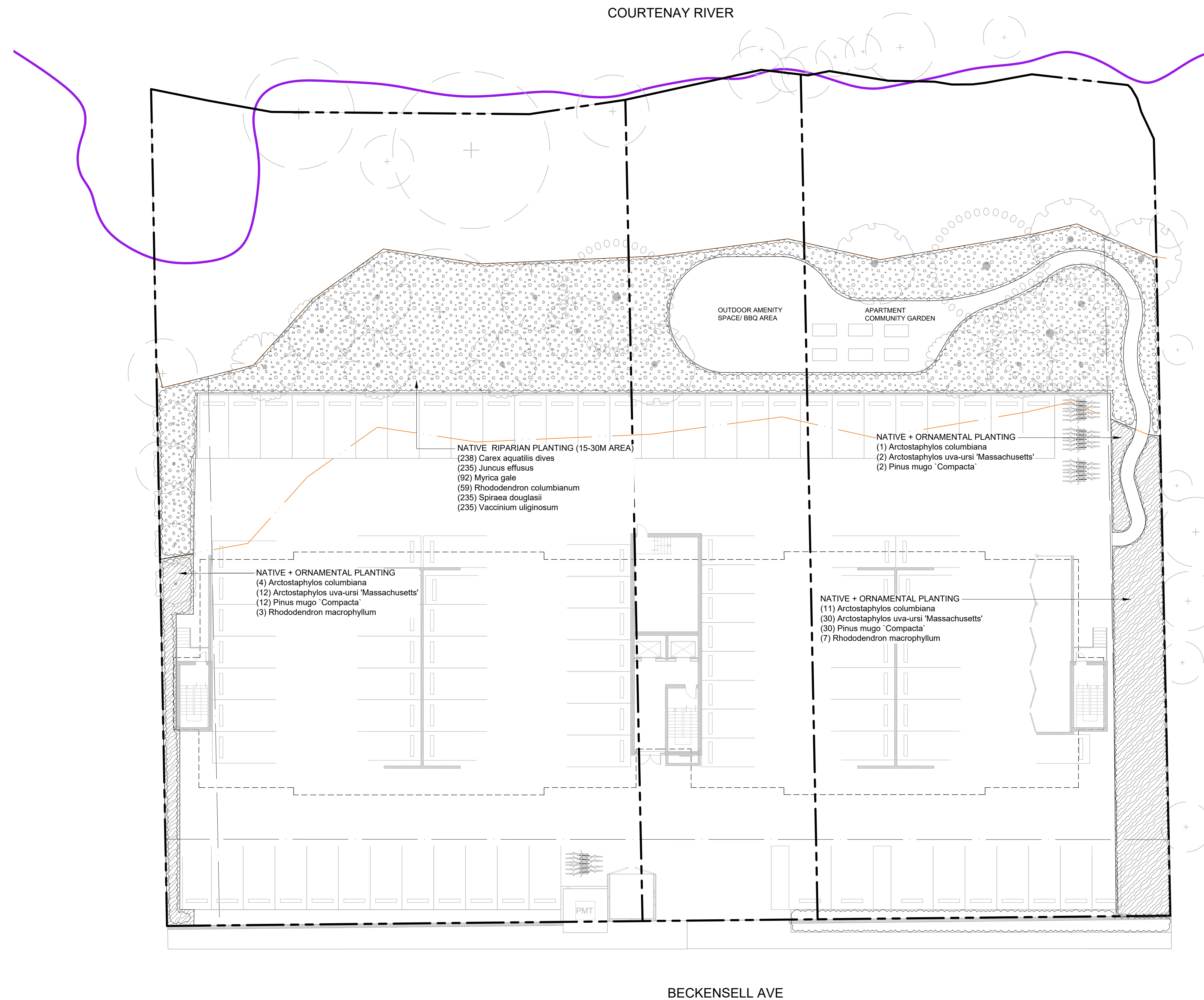
CONCEPT PLANT SCHEDULE REMAINING LANDSCAPE

| NATIVE + ORNAMENTAL PLANTING | | | |
|--|----|--------|---------------|
| Arctostaphylos columbiana / Hairy Manzanita | 15 | #2 POT | 25% @ 2m oc |
| Arctostaphylos uva-ursi 'Massachusetts' / Massachusetts Kinnikinnick | 41 | #2 POT | 25% @ 1.2m oc |
| Pinus mugo 'Compacta' / Dwarf Mugo Pine | 41 | #2 POT | 25% @ 1.2m oc |
| Rhododendron macrophyllum / Pacific Rhododendron | 10 | #2 POT | 25% @ 2.5m oc |

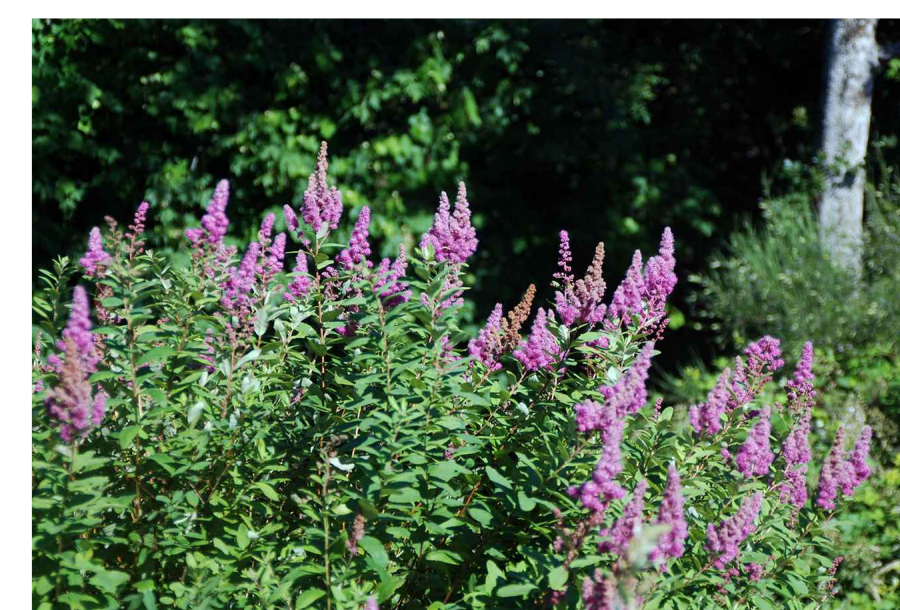
PLANTING PLAN NOTES

- PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.

- GROWING MEDIUM NOTES:
- ORGANIC MATTER CONTENT OF 15% DRY WEIGHT IN PLANTING BEDS.
 - DEPTH OF 450 mm FOR SHRUB/ TREE BEDS.
 - pH BETWEEN 6.0 TO 8.0.
 - SUBSOIL SCARIFIED TO A DEPTH OF MINIMUM 100 mm WITH SOME TOPSOIL TO BE INCORPORATED INTO THE SUBSOIL.
 - PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 50 mm OF ORGANIC MATERIALS.



Bog blueberry - *Vaccinium uliginosum*



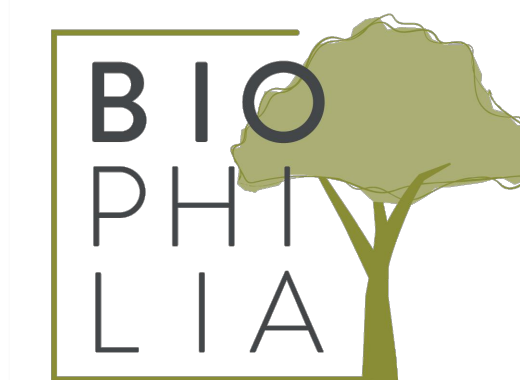
Western spiraea - *Spiraea douglasii*



Sitka sedge - *Carex aquatilis*



Sweetgale - *Myrica gale*



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SEAL



NORTH ARROW



DRAWING TITLE:
PLANTING PLAN

DWG NO:

SCALE: 1:200

L4.02

LEGEND

- PROPERTY LINE
- - - BUILDING OVERHANG
- - - LATERAL SETBACKS
- - - NATURAL SETBACKS
- - - NATURAL BOUNDARY
- DESIGNATED REPLACEMENT TREE

SOIL DEPTH SCHEDULE 15-30M. SETBACK

| SYMBOL | DESCRIPTION | QTY | DETAIL |
|--------|--|----------------------|--------|
| | 900 mm MIN. SOIL DEPTH - GROWING MEDIUM TO CANADIAN LANDSCAPE STANDARDS | 235.2 m ² | |
| | 600 mm MIN. SOIL DEPTH - GROWING MEDIUM TO CANADIAN LANDSCAPE STANDARDS | 13.0 m ² | |
| | 450 mm MIN. SOIL DEPTH - GROWING MEDIUM TO CANADIAN LANDSCAPE STANDARDS | 477.0 m ² | |

SOIL DEPTH SCHEDULE REMAINING LANDSCAPE

| SYMBOL | DESCRIPTION | QTY |
|--------|--|----------------------|
| | 900 mm MIN. SOIL DEPTH - GROWING MEDIUM TO CANADIAN LANDSCAPE STANDARDS | 14.2 m ² |
| | 450 mm MIN. SOIL DEPTH - GROWING MEDIUM TO CANADIAN LANDSCAPE STANDARDS | 218.2 m ² |

SOIL PLANTING NOTES

- ORGANIC MATTER CONTENT OF 15% DRY WEIGHT IN PLANTING BEDS.
- DEPTH OF 450 mm FOR SHRUB/ TREE BEDS.
- pH BETWEEN 6.0 TO 8.0.
- SUBSOIL SCARIFIED TO A DEPTH OF MINIMUM 100 mm WITH SOME TOPSOIL TO BE INCORPORATED INTO THE SUBSOIL.
- PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 50 mm OF ORGANIC MATERIALS.
- A COMPREHENSIVE SOIL ANALYSIS WILL BE CONDUCTED TO EVALUATE THE QUALITY OF THE EXISTING SOIL AND ITS FEASIBILITY FOR SUPPORTING NEWLY PROPOSED PLANTING.



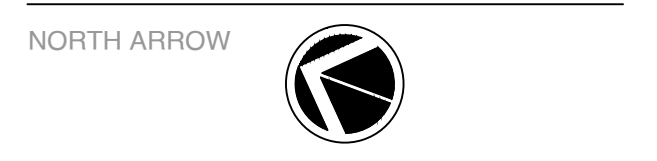
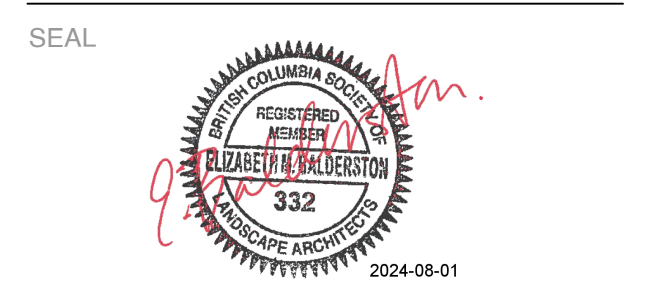
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| 1 | ISSUED FOR RZ | 23/8/29 |



DRAWING TITLE:
SOIL DEPTH PLAN

DWG NO:
L4.11
SCALE: 1:200

LEGEND

- PROPERTY LINE
- - - BUILDING OVERHANG
- LATERAL SETBACKS
- NATURAL SETBACKS
- NATURAL BOUNDARY

LIGHTING SCHEDULE 15-30M. SETBACK

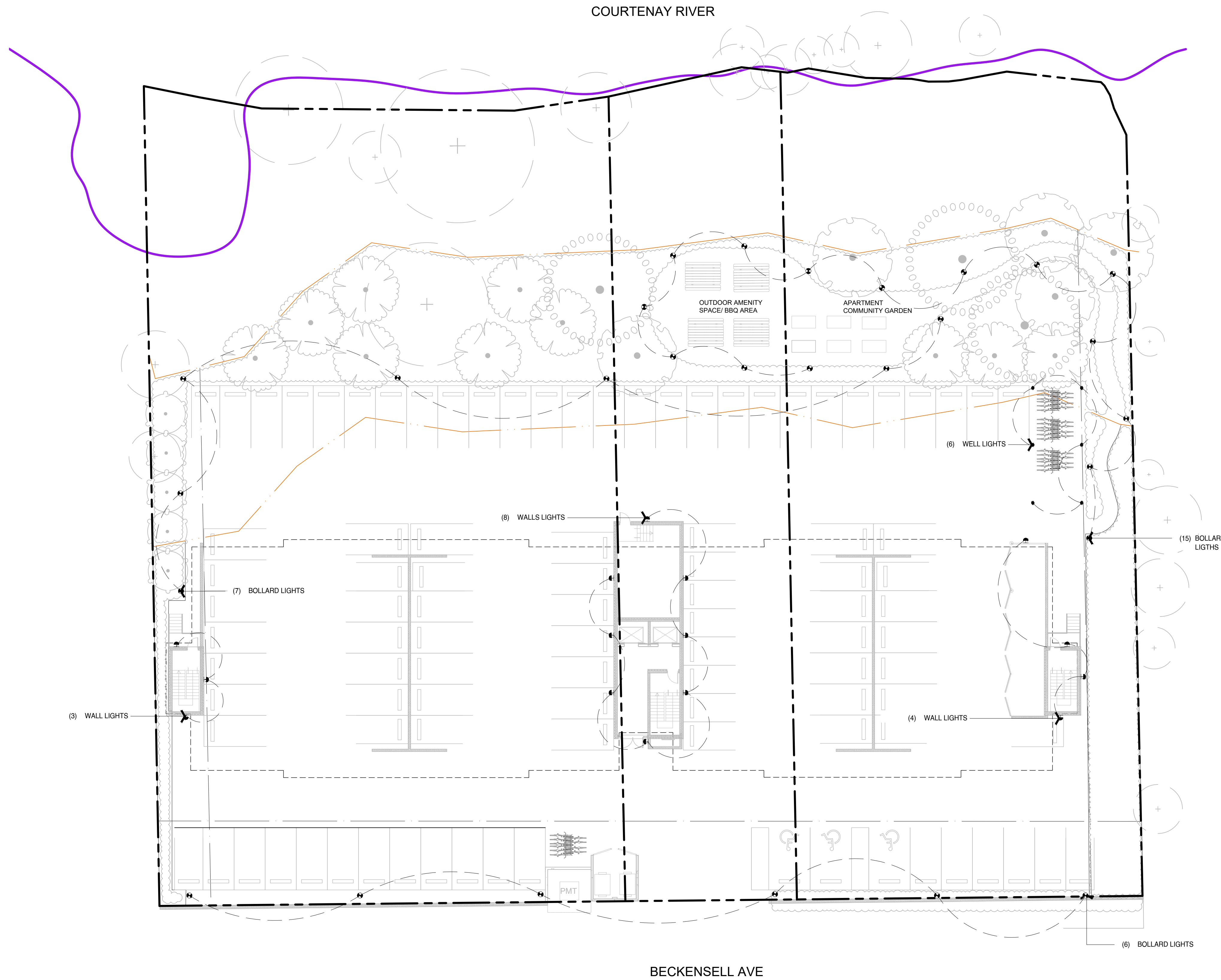
| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY | DETAIL |
|--------|--------------------------------|-----|--------|
| ⦿ | BOLLARD LIGHT | 19 | |
| ⊙ | WELL LIGH | 2 | |

LIGHTING SCHEDULE REMAINING LANDSCAPE

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY | DETAIL |
|--------|--------------------------------|-----|--------|
| ⦿ | BOLLARD LIGHT | 9 | |
| ⊙ | WELL LIGH | 4 | |
| ⦿ | WALL LIGH | 15 | |

LIGHTING PLAN NOTES

- LANDSCAPE LIGHTING TO BE DARK SKY COMPLIANT.
- LANDSCAPE LIGHTING TO BE COORDINATED WITH ELECTRICAL.



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DRAWING TITLE:
LIGHTING PLAN

DWG NO:

SCALE: 1:200

L5.01