



City of
Courtenay

ZOOM Window Space

Zoning Bylaw Amendment No.
3154 – Introduction
925 Braidwood
Rezoning Application

Presented by:
Marianne Wade, Director of Development Services
August 28, 2024 Council Meeting



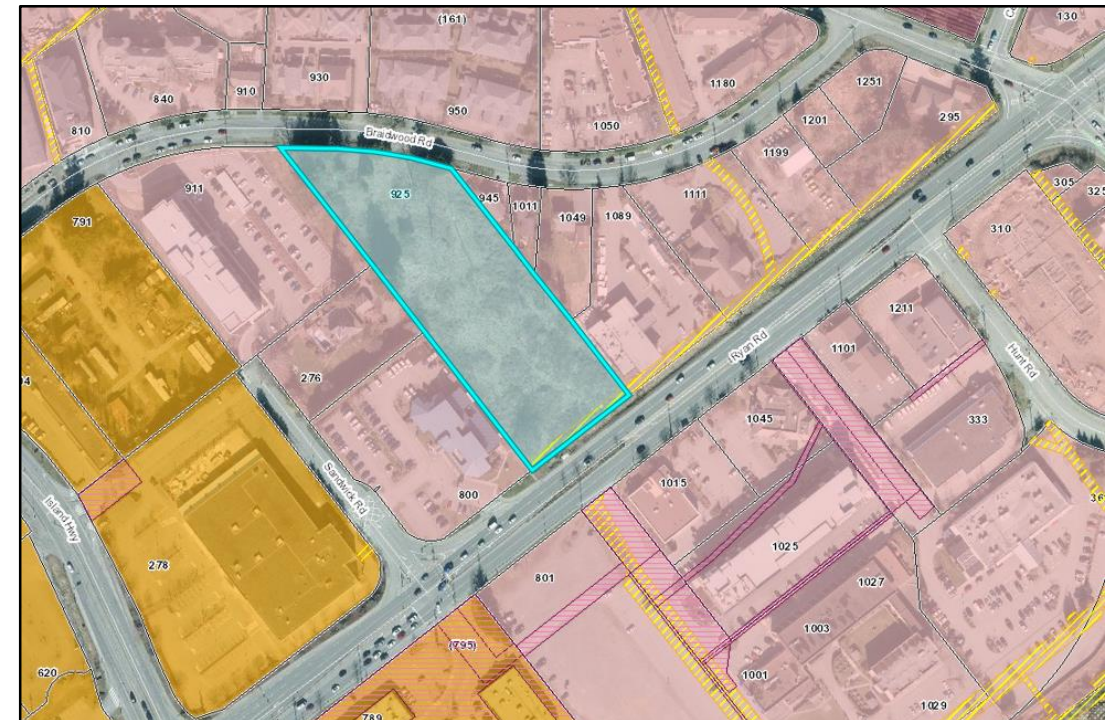
Site Context

ZOOM Window Space

Lower Ryan Road Town Centre

Primary area of commercial and residential density

- Good access to key services
- Public and active transportation options
- Strong OCP alignment



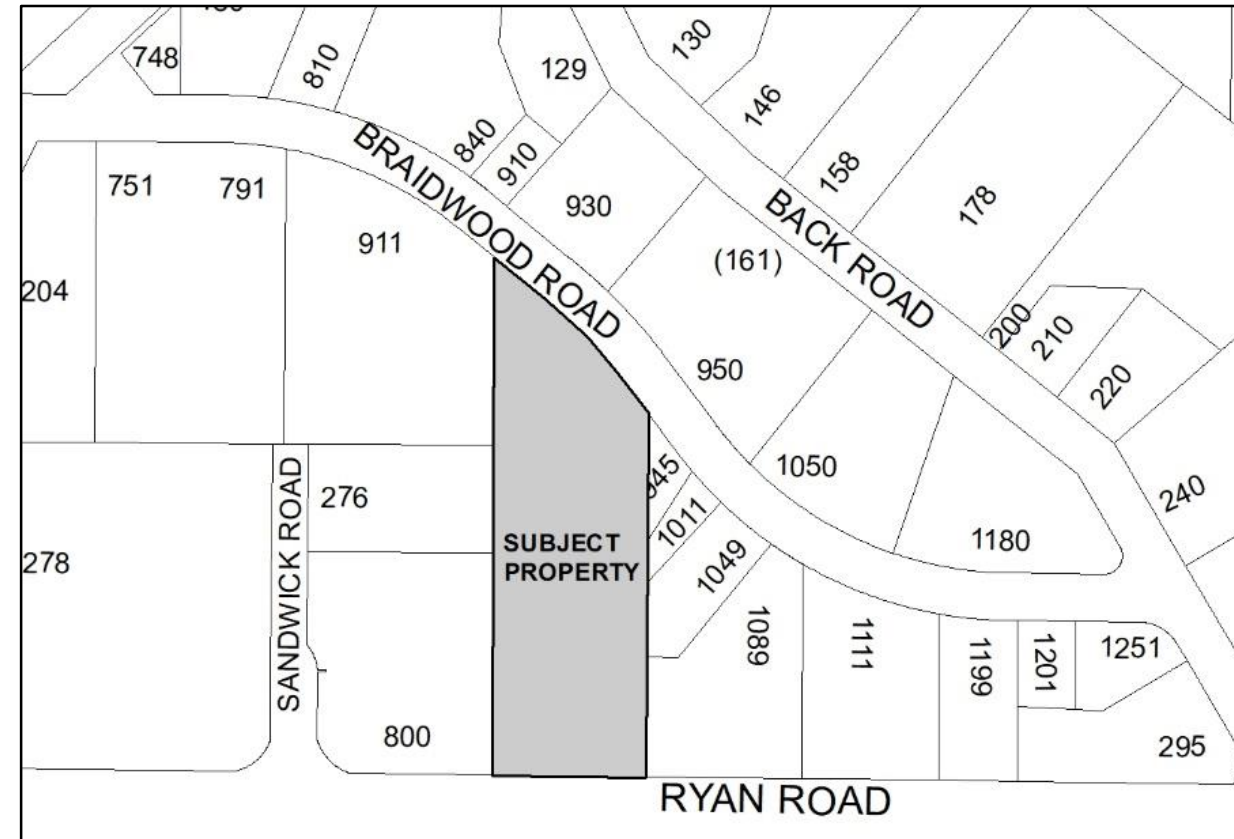
Comprehensive Development Zone (CD-43)

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Site Specific Zone

Rezoning from R-4A to CD-43 to allow:

- Shelter, supportive and non-market housing as permitted uses
- Greater density (1.4 vs. 1.33 FAR)
- Context specific vehicle and bike parking



Development Proposal

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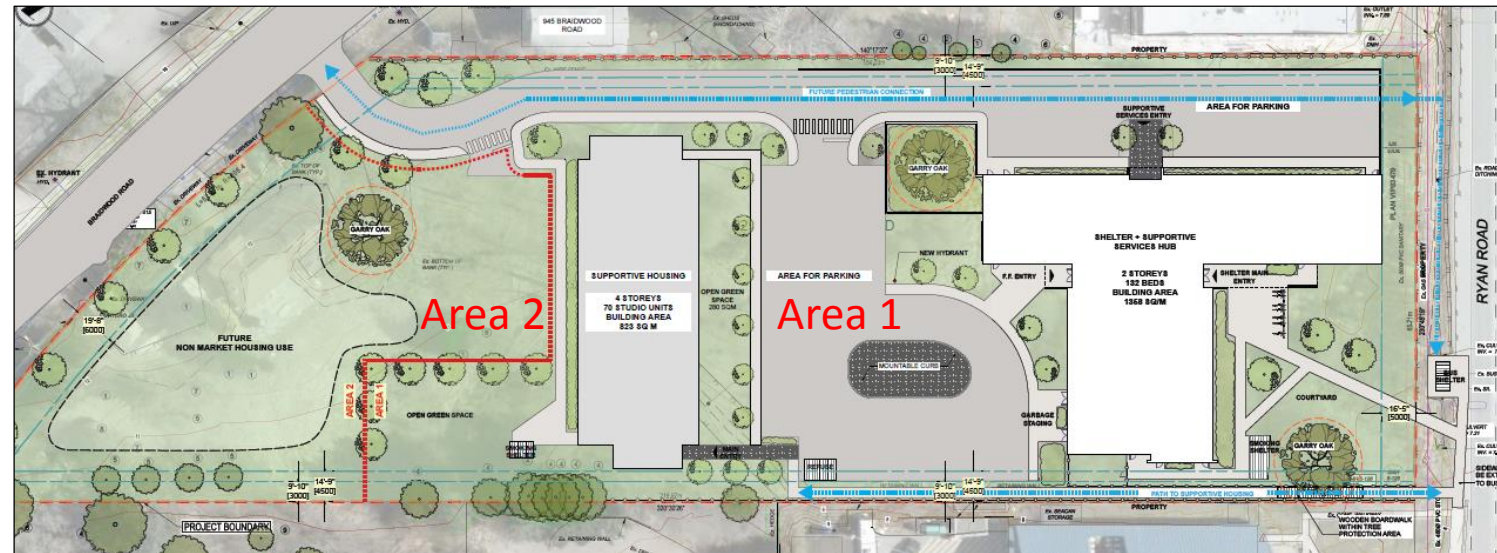
Two-phase Site Development

Area 1:

- Purpose-built shelter with community services and offices
- Supportive housing

Area 2:

- Future non-market housing



Development Process

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Current:

- Rezoning (Fall 2024*)

Next Steps (if rezoning advances):

- Development Permit to finalize design (Winter 2024*)
- Building Permit to secure Works and Services and permit construction (Spring 2025*)



*Anticipated timelines are subject to change