

The Corporation of the City of Courtenay

Development Variance Permit

Permit No. 3090-20-2403/DVP00053

To issue a Development Variance Permit

 To:
 Name:
 RENWEST INVESTMENTS LTD.

 Address:
 PO BOX 3734, COURTENAY, BC, V9N 7P1

Property to which permit refers:

Legal: LOT 1 SECTION 61 COMOX DISTRICT PLAN EPP141927

Civic: 407 4th Street, COURTENAY, BC, V9N 1G9

The City of Courtenay Zoning Bylaw No. 2500, 2007 is varied as follows:

- Section 6.7.1 Sight Triangle from <u>6.0 m</u> from the point of the street intersection to <u>3.0</u> <u>m</u>.
- Section 7.1.10(1) Small Car Parking from <u>10%</u> of the total number of parking stalls for small cars to <u>26%</u> of the total number of parking stalls for small cars.
- Section 7.3.2 (1) Bicycle Parking Specifications from each standard bicycle parking space shall be a minimum of <u>1.8 metres</u> (length) to <u>1.2 metres</u> (length) and from <u>0.6 metres</u> (width) to <u>0.3 metres</u> (width).
- Section 7.3.2 (2) Bicycle Parking Specifications from <u>10%</u> to <u>5%</u> of minimum required bicycle parking spaces shall be designed for oversized bicycle parking spaces and from <u>3.0</u> metres (length) to <u>1.2 metres</u> (length).
- Section 7.3.2 (3) Bicycle Parking Specifications remove the requirement for each bicycle parking space must be independently accessible from a sturdy rack designed for frame, not wheel-only, support.
- Section 7.3.2 (6) Bicycle Parking Specifications from access shall be provided from each bicycle space to a street, <u>excluding</u> a lane to access shall be provided from each bicycle space to a street, <u>including</u> a lane.
- Section 7.3.2 (14)(c.) Bicycle Parking Specifications from no more than <u>20 bicycles</u> [parking stalls] to no more than <u>30 bicycles</u> [parking stalls] shall be provided in each bicycle room.
- Section 8.13.7 Height of Building from no *building* in this zone shall exceed <u>13.5 m</u> to no *building* in this zone shall exceed <u>16.0 m</u>.

Conditions of Permit:

Development Variance Permit No. 2403 issued to allow for the development of a four-storey mixed use residential and commercial development subject to the following conditions:

- 1. The development shall be in substantial conformance with the Architectural Drawings by Alvin Reinhard Fritz Architect Inc., dated November 7, 2024, attached as *Schedule A*;
- 2. Registration of 3.0 m x 3.0 m statutory right of way, inside the property lines, at the intersection of 4th Street and England Avenue to be registered on title prior to issuance of Building Permit.
- As per Zoning Bylaw section 7.1.7(2), payment of \$58,500.00 (\$6,500.00 x 9) cash in lieu for nine (9) on-site parking stalls, to compensate for the reduction in required on-site parking stalls, is required prior to issuance of Building Permit.
- 4. A Sign Permit shall be obtained prior to any signage being installed;
- 5. A Tree Cutting Permit shall be obtained prior to the removal of any trees;
- 6. The development shall meet all other applicable requirements, standards and guidelines; and
- 7. No alterations or amendments shall be made without the City's permission. A formal amendment application is required if plans change or additional variances are identified after permit issue.

Time Schedule of Development and Lapse of Permit

That if the permit holder has not substantially commenced the construction authorized by this permit within (24) months after the date it was issued, the permit lapses.

Date

Director of Development Services









Heritage Lane 419 & 407 4th Street Courtenay, BC







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_	W PROJECT HOUSES FOUR COMMERICAL SPACES ON MAIN FLOOR WITH NINE MICRO SUITES ON REAR OF		
B	W PROJECT HOUSES FOUR COMMERICAL SPACES ON MAIN FLOOR WITH NINE MICRO SUITES ON REAR OF JILDING. LEVELS TWO TO FOUR HOUSE TEN RESIDENTIAL UNITS RANGING FROM 788 SQ. FT. TO 1022 SQ. FT. BOVE GRADE PARKADE WITH ACCESS FROM REAR LANE OF BUILDING.	LEGAL ADDRESS:	
		LOT:	А, В
		SETION: LAND DISTRICT: PLAN NO.:	61 15 VIP45735
		ADDRESS:	407 4th STREET COMOX, BC
P	ROJECT DIRECTORY		
L	ANNING DEPARTMENT: BUILDING SAFETY OWNER: DEPARTMENT:	ARCHITECT:	
3(0	Y OF COURTENAYCITY OF COURTENAYMONTERRA PROJECTS LTD.RENWEST INVESTMENTS LTD.O CLIFFE AVENUE830 CLIFFE AVENUEGARRY RENKEMAGARRY RENKEMAURTENAY, BC V9N 2J7COURTENAY, BC V9N 2J7515 DUNCAN AVENUEPO BOX 3734	ALVIN REINHARD FRI ALVIN FRITZ / CARLOS 10 - 90001 RANGE	6 ROMAN RD 212
	MAIL: planning@courtenay.ca E-MAIL: building@courtenay.ca COURTENAY, BC VON 237 COURTENAY, BC VON 237 IONE: 250-703-4839 E-MAIL: building@courtenay.ca COURTENAY, BC VON 237 COURTENAY, BC VON 237 IONE: 250-703-4839 E-MAIL: building@courtenay.ca E-MAIL: garry@monterrabuilders.ca E-MAIL: info@monterrabuilders.ca PHONE: 250-338-2414 PHONE: 250-338-2414 PHONE: 250-338-2414	LETHBRIDGE COUNTY E-MAIL: afrıtz@alvınfrı croman@alvın	
	CELL: 250-331-1870	PHONE: 403-320-8 FAX: 403327-337	
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3	SENERAL NOTES : CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CERTIFICATE OF OCCUPANCY.	DO.0 DO.1	Cover Sheet Project Information
	ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE <u>NBC 2024 BC</u> , LAWS, RULES, & REGULATIONS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION. IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.	DO.2 DO.3	Architectural Abbre Construction Types
	THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SHORING AND BRACING FOR ALL STRUCTURAL ELEMENTS AS REQUIRED UNTIL NEW STRUCTURAL MEMBERS ARE PERMANENTLY INSTALLED, WHETHER INDICATED ON THE DRAWINGS OR NOT. IF THE CONTRACTOR IS UNSURE WHETHER OR NOT TO PROVIDE TEMPORARY SHORING AND BRACING, THE CONTRACTOR SHALL REQUEST	D0.4 D1.1	Building Code Revi Site Information
	INFORMATION FROM THE ARCHITECT OR STRUCTURAL ENGINEER, IN WRITING, PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND CRITICAL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY OWNER & ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. THIS VERIFICATION	DI.2 DI.3	Survey Plan Context Plan
	SHALL INCLUDE BUT IS NOT LIMITED TO LOCATION OF NEW FRAMING MEMBERS, LINES OF SUPPORT, LOCATIONS OF ANCHOR BOLTS, HOLD DOWNS, EXISTING SITE CONDITIONS, AND UTILITIES PRIOR TO ORDERING MATERIALS.	DI.4 D2.1	Site Plan Parkade Plan
	CONTRACTOR TO VERIFY FIT & FINISH REQUIREMENTS FOR ALL PROJECT COMPONENTS, WITH OWNER, PRIOR TO ORDERING MATERIALS. REPORT CONFLICTING INFORMATION TO OWNER PRIOR TO PROCEEDING WITH WORK. CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION & CONSTRUCTION DEBRIS AS REQUIRED BY PROVINCIAL & MUNICIPAL	D2.2 D2.3	Main Floor Plan Second Floor Plan
	REQUIREMENTS. <u>NO</u> CONSTRUCTION RELATED WASTE PRODUCT SHALL BE ALLOWED TO ENTER THE SANITARY SEWER OR THE STORM SEWER. GROUTS AND CEMENTITIOUS MATERIALS MUST BE DISPOSED IN LANDFILL. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, AS REQUIRED BY CODE, ARE TESTED BY INDEPENDENT	D2.4 D2.5	Fourth Floor Plan Roof Plan
	LABORATORIES AND THAT RESULTS ARE FURNISHED TO LOCAL BUILDING AUTHORITIES, OWNER, AND THE PROJECT CONSULTANTS IF REQUESTED. CONTRACTOR SHALL STENCIL/LABEL ON ALL RATED WALLS IN CONCEALED AREAS THE FOLLOWING: "FIRE AND SMOKE BARRIER -	D2.6 D2.7	Suite Plans Suite Plans
	PROTECT ALL OPENINGS". BY THE USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT THEY HAVE REVIEWED AND	D2.8 D3.1	Suite Plans Elevations Building Section
Э.	APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE. CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER CONTRACTORS FURNISHING THE LABOR, MATERIALS, AND ALL WORK, SO THAT THE WORK AS A WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY. THE OWNER AND THE	D4.1 D5.1	Building Section Building View
Ι.	CONSULTANTS SHALL NOT BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY AND NEGLIGENT ACTS OR OMISSIONS BY THE GENERAL CONTRACTOR OR THE SUBCONTRACTORS ON THE JOB. CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING, BUT NOT LIMITED TO,		
2.	ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND CIVIL. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT PRIOR TO ANY WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUAINT THEMSELVES WITH THE DIMENSIONS OF ALL EQUIPMENT		
	INCLUDED IN THIS PROJECT SO THAT PREPARATIONS CAN BE MADE TO PROVIDE ENTRY INTO THE FACILITY WITH SUFFICIENT CLEARANCE, AND TO ENSURE THAT ADEQUATE FLOOR SPACE IS AVAILABLE.		
	CONTRACTOR SHALL NEVER SCALE DRAWINGS. LOCATIONS FOR ALL PARTITIONS, WALLS, CEILINGS, ETC. WILL BE DETERMINED BY DIMENSIONS ON THE DRAWINGS. ANY SUCH DIMENSIONS MISSING FROM THE PLANS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT IMMEDIATELY.		
	THE CONTRACTOR SHALL ADHERE TO THE DRAWINGS AND SPECIFICATIONS. SHOULD ANY ERROR OR INCONSISTENCY APPEAR REGARDING THE TRUE MEANING AND/OR INTENT OF THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY REPORT SAME TO THE ARCHITECT WHO WILL MAKE ANY NECESSARY CLARIFICATION, INTERPRETATION, OR REVISION AS REQUIRED.		
5.	IF THE CONTRACTOR DISCOVERS AN ERROR OR INCONSISTENCY AND PROCEEDS WITH WORK WITHOUT NOTIFYING THE OWNER & ARCHITECT OF ANY SUCH DISCREPANCIES, THE CONTRACTOR SHALL ASSUME ALL CHARGES AND MAKE ANY CHANGES TO HIS WORK MADE NECESSARY BY THE CONTRACTORS FAILURE TO OBSERVE AND/OR REPORT THE CONDITION.		
ò.	IF THE INTENT OF THE DRAWINGS & SPECIFICATIONS ARE UNCLEAR, THE CONTRACTOR SHALL ASK THE ARCHITECT FOR CLARIFICATION, PRIOR TO PROCEEDING WITH WORK, IN THE FORM OF A WRITTEN R.F.I. (REQUEST FOR INFORMATION). THE		
7.	DAMAGE, FIRE, THEFT, ETC.		
3. Э.			
Э.	TO THE SPECIFICATION. ANY CHANGES TO THE DESIGN, AFTER ISSUANCE OF A BUILDING PERMIT, SHALL BE SUBMITTED TO THE PRESIDING BUILDING AGENCY FOR APPROVAL BY THE GENERAL CONTRACTOR. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY IN-WALL FRAMING/BLOCKING REQUIRED TO CARRY SHELF, HANGING, AND		
). . 2.	VALANCE LOADS, RAILINGS, ETC. AS PER PLANS. PROVIDE SILICONE SEALANT AT ALL JOINTS AND INTERFACES OF ALL COUNTERTOPS, EQUIPMENT AND WALLS.		
≤. 3.	AFTER COMPLETION OF WORK. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL FOOD SERVICE EQUIPMENT AND COORDINATE LOCATION OF FLOOR SINKS,		
	FLOOR DRAINS, SLOPES/SLAB DEPRESSIONS AND RAISED CURBS, ELECTRICAL AND PLUMBING STUB OUTS, AND ALL OTHER WORK UNDER THIS SCOPE OF RESPONSIBILITY RELATED TO THIS EQUIPMENT. REFER TO OWNERS FOOD SERVICE EQUIPMENT SUPPLIER FOR SPECIFIC REQUIREMENTS & REFERENCES. EQUIPMENT DRAWINGS ARE INCLUDED FOR REFERENCE ONLY. ACTUAL SHOP		
4.	DRAWINGS FOR THE SPECIFIC PROJECT MAY VARY. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE SUPPLIERS FOR THE MATERIALS REPRESENTED BY SHOP DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, UNCRATING, INSTALLATION AND HOOK-UP OF ALL FOOD SERVICE		
	EQUIPMENT AND OTHER OWNER FURNISHED ITEMS UNLESS OTHERWISE NOTED. . CONTRACTOR SHALL REFER TO THESE DOCUMENTS, AS WELL AS SPECIFICATIONS, FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. CONTRACTOR SHALL VERIFY WITH OWNER, PRIOR TO ORDERING, WHICH ITEMS THE OWNER SHALL SUPPLY. ALL ITEMS NOT		
~	MARKED AS 'OWNER SUPPLIED' ARE TO BE SUPPLIED BY THE CONTRACTOR. UNLESS NOTED OTHERWISE ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.		
5. 7.			
	MARSHAL'S DIRECTION, INCLUDING: TYPE, QUANTITY, AND LOCATIONS. AS A MINIMUM, CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS HAVING A RATING OF 2-AIO-BC FOR EVERY 3,000 S.F. OF FLOOR AREA AND TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET AS PER MECHANICAL REQUIREMENTS.		
З. Э.	SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.		
	UNDERGROUND UTILITIES. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION. PATCH, REPAIR, AND/OR REPLACE ALL ADVERSELY AFFECTED FINISHES AND/OR SURFACES AS REQ'D. UPON		
). I.			
2. 3.	INSTALL ADDRESS NUMBERS PER SPECIFICATIONS OR LOCAL GOVERNING AGENCY DIRECTIONS. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT WHO SHALL REVIEW THEM AND PROVIDE A NOTATION INDICATING THAT THEY ARE DEFERRED.		
4.			
	SUBMITTALS ARE AS FOLLOWS: A. TRUSS DRAWINGS AND CALCULATIONS		
5	 B. EXHAUST HOOD AUTOMATIC FIRE EXTINGUISHING SYSTEM (AS REQUIRED) C. ALARM MONITORING SYSTEM (AS REQUIRED) SUBMIT SAMPLES IN TRIPLICATE FOR ALL FINISHES. LABEL SAMPLES WITH ORIGIN & INTENDED USE. A WRITTEN ENDORSEMENT WILL 		
	BE SUBMITTED BACK TO THE GENERAL CONTRACTOR WITH ACCEPTANCE OF THE SAMPLE. COORDINATE WITH ARCHITECTURAL SPECIFICATIONS SECTION 01 33 00 "SUBMITTAL PROCEDURES" POINT #1.5. . ALL WALLS THAT HAVE AN STC RATING OF 50 OR MORE REQUIRE ACOUSTICAL CAULKING AROUND ELECTRICAL BOXES AND OTHER		
-	OPENINGS, AS WELL AS AT THE JUNCTION OF INTERSECTING WOOD FRAMING AND STEEL STUD WALL AND FLOORS.		
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STRUCTURAL ENGINEER:

GLOTMAN SIMPSON GROUP OF COMPANIES JAMES MACAULEY IGGI W 5TH AVE VANCOUVER, BC VGJ 1N5 E-MAIL: jmacauley@glotmansimpson.com PHONE: 250-900-4915

MECHANICAL ENGINEER

8 7 6 5

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ELECTRICAL ENGINEER

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MUIR ENGINEERING LTD. BRIAN MUIR 1822 COMOX AVE UNIT E COMOX, BC V9M 3M7 E-MAIL: brian@muireng.ca PHONE: 250-890-0870

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Cover Sheet Project Information Architectural Abbreviations Construction Types Building Code Review Site Information Survey Plan Context Plan Site Plan Parkade Plan Maın Floor Plan Second Floor Plan (Typ. 2-3) Fourth Floor Plan Roof Plan Suite Plans Suite Plans Suite Plans Elevations Building Section Building View

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					F	3 CAR 2 CAR 1 CAR NO. BY		DR REVISED DEVELOPMENT PERMIT 2024 11 07 DR REVISED DEVELOPMENT PERMIT 2024 11 01 OR DEVELOPMENT PERMIT 2024 04 10 DESCRIPTION DATE Norland Coach House 10-90001 Range Road 212 Lethbridge County, Alberta
					E		EINHARD HITE	T1J 5N9 alvinfritzarchitect.com ph. (403) 320-8100 Fax (403) 327-3373 general@alvinfritzarchitect.com FRITZ CT INC.
					D	PROFESS		REINHARO
					C	Use Building		This design is and shall at all times remain the exclusive property of <i>ALVIN REINHARD FRITZ ARCHITECT INC.</i> and shall not be reproduced or used without the architect's written permission. Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction and all errors or omissions shall be reported to the architect immediately. DRAWING TITLE: Project Information
					В	England Multi U	y, BC	DRAWN BY : CHECKED BY : JMV AF / CAR SCALE : 1/4" = 1'-0" PROJECT : 22202CMMUB / 3021 ISSUE FOR: 1000 - 10000 - 1000 - 1000 - 10000 - 1000 - 1000 - 1000 - 1000 - 1000 - 1000
	3	2	2	1	A	PROJECT : 4th and El	LOCATION : Courtenay ,	Issued for Revised Development Permit ISSUE DATE: 2024 11 07 REV. NO. SHEET NO. DO.1

	HITECTURAL	ABBR	EVIATIONS :					ARCHITECTURAL MATERIALS &	GRAPHICS
A.C. A.B. ABV.	AIR CONDITIONING ANCHOR BOLT ABOVE	ENCL. ENTR. E.O.	ELECTRICAL OUTLET	L.D. LD. BRG. LDG.	LINEAR DIFFUSER LOAD BEARING LANDING	5. 5.A.G. 5AN.	SOUTH SUPPLY AIR GRILLE SANITARY	MATERIAL INDICATIONS DETAIL INDICATIONS	
A.C. ACOUS. ACOUS. INSUL. ACOUS. PLAS.	ASPHALTIC CONCRETE ACOUSTICAL . ACOUSTICAL INSULATION ACOUSTICAL PLASTER	E.O.S. E.O.P. E.P. EQ.	EDGE OF SLAB EDGE OF PAVEMENT ELECTRICAL PANELBOARD EQUAL	L.F. LG. L.H. L.H.R.	LINEAL FOOT LENGTH LEFT HAND LEFT HAND REVERSE	5.B. 5.C. 5.C.D. 5CHED.	SPLASH BLOCK SOLID CORE SEAT COVER DISPENSER SCHEDULE	ASPHALT ROOF WOOD FRAMING	NEW FINISH GRAE DRAWN " 45 DEG
ACOUS. PNL. ACOUS. TILE ACR. PL.	ACOUSTICAL PANEL ACOUSTICAL TILE ACRYLIC PLASTIC	EQ. EQPT. EQL. SP. E.S. ESCAL.	EQUIPMENT EQUALLY SPACED EDGE OF SHOULDER	LIB. LIQ. LKR.	LIBRARY LIQUOR LOCKER	S.C.M.U. SCPR. SCRN	SOLID CORE MASONRY UNIT SCUPPER SCREEN		~~68.5
A.C.U. AC.W.T. A.D. A.D.	AIR CONDITIONING UNIT ACOUSTICAL WALL TREATMENT AREA DRAIN ACCESS DOOR	E.W. E.W.C EXH.	ESCALATOR EACH WAY ELECTRIC WATER COOLER EXHAUST	LKR. RM. L.L. L.L.H. L.L.V.	LOCKER ROOM LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL	S.D. S.D. S.D. S.D. S.D.	SMOKE DETECTOR SOAP DISPENSER STORM DRAIN SUPPLY DIFFUSER	WOOD FRAMING INTERRUPTED MEMBER	TOP OF WALL
ADJ. ADJC. A.F.	ADJUSTABLE ADJACENT ACCESS FLOOR ABOVE FINISHED FLOOR	EXH. DT. EXH. FN. EXH. GR. EXH. HD.	EXHAUST DUCT EXHAUST FAN EXHAUST GRILLE EXHAUST HOOD	LNTL. LOC. LONG. L P	LINTEL LOCATION LONGITUDINAL LIGHT POLE	S.D.A. S.DISH. S.D.MH	SELF DRILLING ANCHOR SOAP DISH STORM DRAIN MANHOLE	BRICK & STONE MASONRY - SECTION	TOP OF WALL
A.F.F. A.F.G. A.F.S. AGGR. AHR.	ABOVE FINISHED GRADE ABOVE FINISHED SLAB AGGREGATE	EXP. EXPO. EXP. BT.	EXPANSION EXPOSED EXPANSION BOLT	L.PT. L.R. L.R.V.	LOW POINT LIVING ROOM LOUVERED ROOF VENT	S.D.MIT. SECT. S.F. SGL. SH. SHR. SHR. SHTHG.	SECTION SQUARE FEET SINGLE SHELF	GLU-LAM BEAM	0
AHR. A.H.U. AL. ALT.	ANCHOR AIR HANDLING UNIT ALUMINUM ALTERNATIVE	EXP. JT. EXST. EXST. GR. EXT.	EXPANSION JOINT EXISTING EXHAUST GRILLE EXTERIOR	L.S. LT. LTG. LVL.	LOUD SPEAKER LIGHT LIGHTING LEVEL(ER)	SHR. SHTHG. SHV. SIM.	SHOWER SHEATHING SHELVES(ING) SIMILAR		TOP OF CURB
ANOD. A.P. APPROX.	ANODIZED ACCESS PANEL APPROXIMATE	EXTR. F	EXTRUSION FEMALE	LVR. LW. PLAS. LW.C.	LOUVER LIGHTWEIGHT PLASTER LIGHTWEIGHT CONCRETE	5.J. 5K. 5.L.	SCORED JOINT SINK STEEL LADDER	UNIT - SECTION BACKER BD	4.0 ^{3.1} 5 ⁿ
APT. A.R.F. A.S.C. ASPH.	APARTMENT ABOVE RAISED FLOOR ABOVE SUSPENDED CEILING ASPHALT (PAVING)	F.BRK. F/F F.A. F.A.C.P.	FIRE BRICK FACE TO FACE FIRE ALARM FIRE ALARM CONTROL PANEL	M. MACH. RM. MAINT. RM.	MALE/METER MACHINE ROOM MAINTENANCE ROOM	SLP. SLDG. SLNT. S.M.	SLOPE SLIDING SEALANT SHEET METAL	CONCRETE	
ASYM. A.W. B.	ASYMMETRICAL ARCHITECTURAL WOODWORK BATHROOM	F.B. F.BD. F.CO. F.C.U.	FLAT BAR FIBERBOARD FLOOR CLEANOUT FAN COIL UNIT	MATL. MAS. MAX. M.B.	MATERIAL MASONRY MAXIMUM MACHINE BOLT	S.N.D. SP. SPEC. SPKR.	SANITARY NAPKIN DISPENSER SPACE SPECIFICATION SPEAKER	OR GLASS OR VENEER	
B/B BB. BB.R.	BACK TO BACK BASEBOARD BASEBOARD RADIATION BOTTOM OF BACKSLOPE	F.D. F.DMPR. FDN.	FLOOR DRAIN FIRE DAMPER FOUNDATION	M.B.H. M.BR. M.C. M.C.	MOP & BROOM HOLDER MASTER BEDROOM MEDICINE CABINET MOTOR CONTROL CENTER	SPKLR. SPLB. SQ.	SPRINKLER SPLASHBACK SQUARE		ep-r ep-sr ep-s
B.BS. B.C. BD. BETW.	BACK OF CURB BOARD BETWEEN	F.EXT. F.E.C. F.F. F.F.A.	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FAR FACE FROM FLOOR ABOVE	M.D.O. MECH. MED. MEMB.	MOTOR CONTROL CENTER MEDIUM DENSITY OVERLAID MECHANICAL MEDIUM MEMBRANE	SQ. FT. SQ. IN. SQ. M. SQ. MM.	SQUARE FOOT SQUARE INCH SQUARE METER SQUARE MILLIMETER	GLASS GLASS CERAMIC TILE, QUARRY TILE, OR RESIL FLR (SHOW	8'-O" O'-O"
BEV. B.F. B.F. BITUM.	BEVEL BOTH FACES BOTTOM FACE BITUMINOUS	F.F.B. F.F¢E. F.F.S. FGL.	FROM FLOOR BELOW FURNITURE, FIXTURE AND EQUIPMENT FINISH FLOOR SEPARATION FIBERGLASS	MET. MEZZ. MFR.	METAL MEZZANINE MANUFACTURER	SQ. YD. S.R. S.SK. S.ST.	SQUARE YARD SEMI RECESSED SERVICE SINK STAINLESS STEEL	GRANULAR BASE, PROFILE ONLY) CRUSHED ROCK	
B.JT. B.L. BLDG.	BED JOINT BASE LINE BUILDING	F.H.C. F.H.P. FIN.	FIRE HOSE CABINET FULL HEIGHT PARTITION FINISH	MH. MIN. MIR. MISC.	MANHOLE MINIMUM MIRROR MISCELLANEOUS	ST. ST	STONE STREET STATION	PLYWOOD LINE INDICATIONS	
BLK. BLKG. BLW. BLW. CLG	BLOCK. BLOCKING BELOW BELOW CEILING	FIN. FLR. FIN. GR. FIXT. FI	FINISH FLOOR FINISH GRADE FIXTURE FLASHING	M.L. MLDG. MLWK.	METAL LATH MOLDING MILLWORK	STA. STAG. STD. STIF. STI	STAGGERED STANDARD STIFFENER STEEL	CENTER LINE	
BLW. CLG. B.F.F. BM. B.M. BOT	BELOW FINISHED FLOOR BEAM BENCH MARK	FL. FLDG. FLR. FLR. FIN. FLR. PL.	FOLDING FLOOR(ING) FLOOR FINISH	MM. M.O. MOD. MOD.	MILLIMETER MASONRY OPENING MODIFIED MODULAR	STL. STL. JST. STL. PL. STOR. STP	STEEL JOIST STEEL PLATE STORAGE	RIGID INSULATIONHIDDEN LINE	
B.M. BOT. BR. BRCG. BRDG.	BOTTOM BEDROOM BRACING BRIDGING	FLR. PL. FLR. REG. FLR. SK. FLT. GL. FLUOR.	FLOOR PLATE FLOOR REGISTER FLOOR SINK FLOAT GLASS	M.R. MRK. BD. MTD. MTG.	MOUSTURE RESISTANT MARKERBOARD MOUNTED MOUNTING	STE. FL. STR. STR. STRUC. STRUCT. SURF. SURR.	STRAIGHT STRUCTURE STRUCTURAL SURFACE	OVERHEAD LINE	
BRG. BRG. PL. BRK. BRKT.	BEARING BEARING PLATE BRICK	F.N.D. F.N.V	FLUORESCENT FEMININE NAPKIN DISPOSAL FEMININE NAPKIN VENDOR	MUL. MVBL.	MULLION MOVEABLE NORTH	SURR. SUSP. SUSP. CLG. SVC.	SURROUND SUSPENDED SUSPENDED CEILING SERVICE	PROPERTY LINE	
B.S. BSMT. B.T.	BRACKET BOTH SIDES BASEMENT BATH TUB	F.O. F.O.C. F.O.F. F.O.M.	FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF SLAB	N. N.A. NAT. N.F.	NOT APPLICABLE NATURAL NEAR FACE	SWK. SW. SWR	SIDEWALK SWITCH SEWER	FOAM, PARGING PEEL & STICK MEMBRANE LINE	
BTWN. B.U. B.U.R. B.W.	BETWEEN BUILT-UP BUILT-UP ROOFING BOTH WAYS	F.O.S. F.O.S. F.O.W. FPL.	FACE OF SLAB FACE OF STUDS FACE OF WALL FIREPLACE	N.I.C. NO. NOM. N.P.	NOT IN CONTRACT NUMBER NOMINAL NO PAINT	SYMM. SYS. T	SYMMETRICAL SYSTEM TINTED	UIUUUUUU BUILDING PAPER LINE UUUUUU SHAKE ROOF UUUUUU POLY A.V.B. LINE	
C¢G C/C CABT.	CURB AND GUTTER CENTER TO CENTER	FPRP. F.R. F.RS.	FIREPROOF FIRE RATING FIRE RESISTANT	N.S. N.T.S.	NEAR SIDE NOT TO SCALE OVER	T¢B T¢G T¢S	TOP AND BOTTOM TONGUE AND GROOVE TUB AND SHOWER	STEEL BATT INSULATION LINE	G
CAB. H. CARP. CAV.	CABINET CABINET HEATER CARPET CAVITY	FR. F.R.G. F.R.P. FRZ.	FRAME FIBER REINFORCED GYPSUM FIBERGLASS REINFORCED PLASTIC/ POLYESTER FREEZER	0. 0/0 0.A. 0A.	OUT TO OUT OUTSIDE AIR OVERALL	TACKBD. T.B. T.B. T.B.E.	TACKBOARD TOP OF BEAM TOWEL BAR THREADED BOTH ENDS		
C.B. C.B.B. C.GD.	CORNER BEAD CEMENTITIOUS BACKER BOARD CORNER GUARD CONCRETE EQUIPMENT BASE	FRT. F R T W	FRONT FIRE RETARDANT TREATED WOOD FAR SIDE	0.A.G. 0.C. 0.D. 0.F	OUTSIDE AIR GRILLE ON CENTER OUTSIDE DIAMETER (DIMENSION) OUTSIDE FACE	T.D. T.E. TEL.	TRENCH DRAIN TOP ELEVATION TELEPHONE TEMPERED	WOOD FINISH	
C.E.B. CEM. CEM. PLAS. CER. TILE C.FL.	CEMENT CEMENT PLASTER CERAMIC TILE	F.S. F.S. F.S. F.S.H. F.SP.	FLOOR SINK FULL SIZE FIRE SPRINKLER HEAD FIRE STANDPIPE	0.F. 0.F./C.I. 0.F./0.I.	OWNER FURNISHED/ CONTRACTOR INSTALLED OWNER FURNISHED/	TEMP. TEMP. TER. T.F.A. T.F.B.	TEMPORARY TERRAZZO TO FLOOR ABOVE	REFERENCE INDICATIONS	
CHAN. CHFR. C.I.	COUNTER FLASHING CHANNEL CHAMFER CAST IRON	FT. FTG. FUR. FURN.	FIRE STANDPIPE FOOT/FEET FOOTING FURNACE FURNITURE	O/H OPNG. OPP.	OWNER INSTALLED OVERHEAD OPENING OPPOSITE	T.F.B. THD. THERM. TH. RES.	TO FLOOR BELOW THREAD(ED) THERMAL THERMAL RESISTANCE	COLUMN/ GRID LINE	
C.I.P. C.J. C.L. CLG.	CAST-IN-PLACE CONSTRUCTION JOINT CENTER LINE CEILING	FURR. FUT. FXTR.	FURRING/FURRED FUTURE FIXTURE	OPR. O.R.D. OVHD. O.W.S.J.	OPERABLE OVERFLOW ROOF DRAIN OVERHEAD OPEN WEB STEEL JOIST	THK. THRES. THRU.	THICK/THICKNESS THRESHOLD THROUGH TOP OF LOIST	LETTERS IN ONE DIRECTION. NUMBERS IN THE OTHER.	
CLG. DIFF. CLG. HT. CLG. REG.	CEILING DIFFUSER CEILING HEIGHT CEILING REGISTER CONTROL JOINT	G.1.5. G.2.5. G.3.5.	GOOD ONE SIDE GOOD TWO SIDES GOOD THREE SIDES	0.w.s.j. 0.w.w.j. P.A.	OPEN WEB STEEL JOIST OPEN WEB WOOD JOIST PUBLIC ADDRESS	T.J. TK. BD. TLT. TMPD.	TOP OF JOIST TACK BOARD TOILET TEMPERED	SURVEY LINES	
CL.J. CLO. CLR. CLRM.	CLOSET CLEAR CLASSROOM	G.3.5. G.4.5. GA. GAL. GALV.	GOOD THREE SIDES GOOD FOUR SIDES GAUGE GALLON GALVANIZED	PAR. PARG. PASS.	PARALLEL PARGING PASSAGE	TMPD. GL. T/O T.O.E. T.O.C.	TEMPERED GLASS TOP OF THREADED ONE END TOP OF CONCRETE	142.0 FOR SURVEYOR'S GRID.	
C.M.R. C.M.U. CNR. CNTR.	CONCRETE MASONRY RUBBLE CONCRETE MASONRY UNIT CORNER COUNTER	G.B. G.D. GD.R.	GRAB BAR GUTTER DRAIN GUARD RAIL	P.B. P.BD. PC. P.C.	PANIC BAR PARTICLE BOARD PIECE PORTLAND CEMENT	T.O.C. T.O.F. T.O.F.F.	TOP OF CONCRETE TOP OF CURB TOP OF FOOTING TOP OF FINISH FLOOR	SECTIONS	
C.O. CO. COL.	CASED OPENING CLEANOUT COLUMN	GEN. G.F.R.C. G.L. GL.	GENERATOR GLASS FIBER REINFORCED CONCRETE GRID LINE GLASS	P.C. P.C.D. P.C.P. P.D.	PULL CHAIN PAPER CUP DISPENSER PORTLAND CEMENT PLASTER PLANTER DRAIN	T.O.P. T.O.R. T.O.S. T.O.ST.	TOP OF PAVEMENT TOP OF RIM TOP OF SLAB TOP OF STEEL		BLI
COMB. COMPL. COMPT. CONC	COMBINATION COMPLETE COMPARTMENT CONCRETE	GL. BLK. GLU. LAM. GLZ. GLZ. C.M.U.	GLASS BLOCK GLUED LAMINATED WOOD GLAZING GLAZED CONCRETE MASONRY UNIT	P.E. PERF. PERM.	PORCELAIN ENAMEL PERFORATED PERMANENT	T.O.W. T.P.H. T.R	TOP OF WALL TOILET PAPER HOLDER TOWEL RING TRANSITION	A4.1 SECTION DRAWING LOCATION ON SHEET	
CONC. CONC. FL. CONF. CONN. CONSTR.	CONCRETE CONCRETE FLOOR CONFERENCE CONNECTION	GND. GR. GR. BM.	GROUND GRADE GRADE BEAM	PERP. PERIM. PGBD. PH.	PERPENDICULAR PERIMETER PEGBOARD PENTHOUSE	TRÀN. TRANS. TRD. TRNBKL.	TRANSPARENT TREAD TURNBUCKLE	DETAIL CALLOUTS	
CONSTR. CONT. COP. CORR.	CONSTRUCTION CONTINUOUS COPPER CORRIDOR	GRL. GRTG. G.R.V. G.S.B	GRILLE GRATING GRAVITY ROOF VENTILATOR GYPSUIM SHEATHING BOARD	PH. P.H. PL.	PHASE PERFORATED HARDBOARD PLATE PLASTIC LAMINATE	T.S. TV. TYP.	TOWEL SHELF TELEVISION TYPICAL	A7. I DETAIL DRAWING LOCATION ON SHEET	
COV. COV. PL. CPRS. C.R.S.	COVER COVER PLATE COMPRESSIBLE COLD ROLLED STEEL	G.S.B. GSNK. GT. GUT. GVL.	GYPSUM SHEATHING BOARD GOOSENECK GROUT GUTTER GRAVEL	PLAM. PLAS. PLAT. PLBG.	PLASTIC LAMINATE PLASTER PLATFORM PLUMBING	UC. U/C U.F.D.	UNDERCUT UNDER COUNTER UNDER FLOOR DUCT	DRAWING TITLES	
C.S. CS.B.	CAST STONE CASING BEAD CASING	GYP. GYP. BD. GYP. PLAS.	GYPSUM GYPSUM BOARD GYP PLASTER	PLYWD. PM.F.S. PNL. PNT.	PLYWOOD PREMOLDED FILLER STRIP PANEL PAINT	U/G U/S U.H. UNEX.	UNDERGROUND UNDERSIDE UNIT HEATER UNEXCAVATED	MODULE IDENTIFICATION	
CSG. C.SK. CSMT. CSWK. CTR.	COUNTERSUNK CASEMENT CASEWORK CENTER	H. H¢C.W. H.A.GL.	HEIGHT/HIGH HOT AND COLD WATER HEAT ABSORBING GLASS	POL. POLY. PR.	POLISHED POLYETHYLENE PAIR	UNIFIN. U.O.N. UR. UTIL.	UNFINISHED UNLESS OTHERWISE NOTED URINAL UTILITY	AI.I I/4" = 1'5" DRAWING SCALE	REFLECTED CEIL
C.TV. CUB. C.W. C/W	CABLE TELEVISION CUBICLE COLD WATER COMPLETE WITH	H.B. H.C. H.C.M.U. HCP.	HOSE BIB HOLLOW CORE HOLLOW CONCRETE MASONRY UNIT HANDICAPPED	PRCST. PREFAB. PREFIN. PREP.	PRECAST PREFABRICATE PREFINISHED PREPARATION	VAL. VAP. VAR.	VALANCE VAPOUR	ORIGIN DRAWING LOCATION ON SHEET	
d. D.	PENNY (NAILS) DEEP/DEPTH	HD. H.D. H.D.	HEAD HAND DRYER HEAVY DUTY	PRKG. P.S. P.S.F. P.SH.	PARKING PIPE SPACE POUNDS PER SQUARE FOOT PURSE SHELF	V.C.T. VENT. VERT.	VARIES VINYL COMPOSITE TILE VENTILATOR VERTILAL	REVISIONS	
D. D.A. DBL. DBL. ACT.	DRYER DRAINAGE AREA DOUBLE DOUBLE ACTING	HD. JT. HDBD. HDR. HDWD.	HEAD JOINT HARDBOARD HEADER HARDWOOD	PT. PTD. P.T.D.	POINT PAINTED PAPER TOWEL DISPENSER	VEST. V.F.A.T. VIN. VLV.	VESTIBULE VINYL FACED ACOUSTIC TILE VINYL VALVE	REVISION NO. CLOUD AROUND REVISION	
DBL. GLZ. D.D. DEMO.	DOUBLE GLAZING DECK, DRAIN DEMOLITION	HDWE. HGR. HGT. H.H.	HARDWARE HANGER HEIGHT HANDHOLE	P.T.D.R. PTN. PV.C.	PAPER TOWEL DISPENSER ¢ RECEPTACLE PARTITION POLYVINYL CHLORIDE	VNR. VOL. V.P.	VENEER VOLUME VENEER PLASTER	ELEVATIONS	
DEPT. DET. D.F. D.FIR.	DEPARTMENT DETAIL DRINKING FOUNTAIN DOUGLAS FIR DOOR FRAME	H.M.D. H.M.F. HND. RL. HORIZ.	HOLLOW METAL DOOR	PVG. PVMT.	PAVING PAVEMENT	V.R. V.T.R. W.	VAPOUR RETARDER VENT THROUGH ROOF WASHER	A3. L	
D.FR. D.H. DIA. DIAG.	DOOR FRAMË DOUBLE HUNG DIAMETER DIAGONAL	H.PT. H.S. HTR.	HIGH POINT HAND SINK HEATER	RI. R.A. R.A. GR. RAD.	RADIUS RETURN AIR RETURN AIR GRILLE RADIUS	W. W. W/ W/O	WEST WIDE/WIDTH WITH WITHOUT	ELEVATION LOCATION ON SHEET ELEVATIONS UNFOLD CLOCKWISE NO NUMBER INDICATES NO ELEV.	
DIAG. DIFF. DIM. DISP. DIV	DIFFUSER DIMENSION DISPENSER	H.V. H.V.A.C. H.W. H.W.H.	HOSE VALVE HEATING, VENTILATION & AIR CONDITIONING HOT WATER HOT WATER HEATER	R.B. RBR. R.D. PEC	RESILIENT BASE RUBBER ROOF DRAIN PECESSED	W/W W/W W.C. W.C.	WALL TO WALL WALLCOVERING WATER CLOSET		
DIV. D.L. D.LV. DMPF.	DIVIDER DEAD LOAD DOOR LOUVER DAMPPROOFING	H.W.T.	HOT WATER TANK INSIDE DIAMETER (DIMENSION)	RECPT. RECPT. RECT. REBAR.	RECESSED RECEPTACLE RECTANGULAR REINFORCING BAR	WD. WD.P. WDW. W.F.	WOOD WOOD PANELING WINDOW WIDE FLANGE	ROOM IDENTIFICATION - TYPE 1 OFFICE < ROOM NAME	r
DMPR. DN. D.OP. D.PTN.	DAMPER DOWN DOOR OPENING DEMOUNTABLE PARTITION	IN. INCL. INCL. INCL.	INCH INCLUDED INCLUSIVE INCLUDING	REF. REFL. REF. REG.	REFERENCE REFLECTED REFRIGERATOR REGISTER	W.GL. W.H. WHSE.	WIRE GLASS WATER HEATER WAREHOUSE	I 02 < ROOM NUMBER I A I < ROOM MATERIAL CODE	f
D.R. DR.	DINING ROOM DOOR DRAIN	INSUL. INTR. INV. INV. EL.	INSULATION INTERIOR INVERT INVERT ELEVATION	REINF. REM. REQD.	REGISTER REINFORCE(D)(ING)(MENT) REMOVABLE REQUIRED RESILIENT	W.L. WLD. W.O. W/O	WIND LOAD WELDED WHERE OCCURS WITHOUT	l st (number) - floor/base 2nd (letter) - walls/wainscot 3rd (number) - ceilina	5
DS. D.SP. D.T. DVTL.	DOWNSPOUT DRY STANDPIPE DRAIN TILE DOVETAIL	JAN. J.B.	JANITOR JUNCTION BOX	RESIL. REST. RET. REV.	RESILIENI RESTROOM RETURN REVISED/REVISION RAISED FACE	WP. WP.M. W.R. WRB.	WEATHERPROOF WEATHERPROOF MEMBRANE WATER RESISTANT WARDROBE	3rd (number) - ceiling	
DW. DWG. D.W.H.	DISHWASHER DRAWING DOMESTIC WATER HEATER	JST. JT. K.D.	JOIST JOINT KILN DRIED	R.F. R.FL. RFG. RGH.	RESILIENT FLOORING ROOFING ROUGH	W.R.C. W.RCP. WRM.	WESTERN RED CEDAR WASTE RECEPTACLE WASHROOM	EQUIPMENT TYPE	\square
DWR. DWTR. E.	DRAWER DUMBWAITER EAST	K.D. KG. KIT.	KNOCK-DOWN KILOGRAM KITCHEN	RGTR. R.H. R.H. R.H.B.	REGISTER RIGHT HAND ROBE HOOK RECESSED HOSE BIBB	W.Š. WSCT. W.S.P. WT.	WEATHERSTRIPPING WAINSCOT WET STAND PIPE WEIGHT	EQUIPMENT ITEM	© ●
EA. E.A.R.	EACH EXHAUST AIR REGISTER ELECTRICAL CABINET	K.O. K.O.P. K.PL.	KNOCK-OUT KNOCK-OUT PANEL KICK PLATE	RI. RLG. RM.	RISER RAILING ROOM	WT. WTRPRF. W.W.F.	WEIGHT WATERPROOFING WELDED WIRE FABRIC	BLUE TEXT & BOXES REFLECT REFERENCES & SPECIALIZED NOTES	
E.CAB. E DR	EQUIPMENT DRAIN			RND.	ROUND				· · · · · · · · · · · · · · · · · · ·
E.CAB. E.DR. E.F. E.F. F.F.	EQUIPMENT DRAIN EACH FACE EXHAUST FAN EXTERIOR FINISH SYSTEM EXTERIOR NIGH ATION & FINISH SYSTE	L. LAB. LAD.	LENGTH/LONG LABORATORY LADDER LAMINATE	R.O. R.O.W.	ROUGH OPENING RIGHT OF WAY			RED TEXT & BOXES REFLECT BUILDING CODE REFERENCES & SPECIALIZED NOTES	
E.CAB. E.DR. E.F. E.F.	EACH FACE EXHAUST FAN	LAD.	LABORATORY	R.O.	ROUGH OPENING			RED TEXT & BOXES REFLECT BUILDING CODE REFERENCES & SPECIALIZED NOTES GREEN TEXT & BOXES REFLECT ENERGY CODE REFERENCES & SPECIALIZED NOTES	

S LEGEND :		
FLOOR PLAN INDICATIONS		Schedule A
RADE 200 EXIST EG. "45 [68.5	TING GRADE DRAWN DEG.	
78	DR PROPOSED OR HED CONTOURS	
78 FINIS	OR PROPOSED OR HED CONTOURS	L
78 EXIST	TING CONTOURS	CLIENT INFORMATION:
	K POINT, CONTROL T, OR DATUM POINT	
ENT RECESSED FIXTURE SEMI-RECESSED FIXTURE SURFACE MOUNTED FIXTURE * SEE ABBREVIATIONS FOR FIXTURE TYPE		к
 CEILING TRANSITION NUMBER INDICATES CEILING HEIGHTS 		
DIMENSION TO CENTER LINE - TYPICAL		
DIMENSION TO FACE OF STUD OF EXTERIOR WALLS TYPICAL UNLESS OTHERWISE NOTED		J
DIMENSION TO CENTER LINE OF STUDS OF INTERIOR PARTITIONS TYPICAL UNLESS OTHERWISE NOTED		1 CAR AHJ REVISIONS 2024 11 07 # By Description Date Revision Schedule
FIXTURE OR SPACE DESIGNED FOR HANDICAPPED ACCESS		H CONSULTANT LOGO:
WALL & OPENING INDICATIONS	6	
DOOR WALL OR PARTITION WHERE OCCURS 4" TO DOOR SIDE OF JAMB, U.O.N. DOOR NUMBER -SEE DOOR SCHEDULE	FURRING TYPES -SEE EXTERIOR WALL & PARTITION CONSTRUCTION SCHEDULE	G
WINDOW / BORROWED LITE	INTERIOR PARTITION TYPES # EXTERIOR WALL TYPES -SEE EXTERIOR WALL & PARTITION CONSTRUCTION SCHEDULE	3 CAR ISSUED FOR REVISED DEVELOPMENT PERMIT 2024 11 07 2 CAR ISSUED FOR REVISED DEVELOPMENT PERMIT 2024 11 01 1 CAR ISSUED FOR DEVELOPMENT PERMIT 2024 04 10
-SEE SCHEDULE		NO. BY DESCRIPTION DATE Image: Description of the state of the s
LOUVER — PLAN INDICATION — LOUVER MARK - SEE SCHEDULE		ALVIN REINHARD FRITZ
PLAN INDICATION	ABBREVATIONS	ALVIN REINHARD FRITZ A R C H I T E C T INC.
PLAN INDICATION LOUVER MARK - SEE SCHEDULE	ABBREVATIONS ≰ AND ∠ ANGLE	ALVIN REINHARD FRITZ ARCHITECT
PLAN INDICATION LOUVER MARK - SEE SCHEDULE LING PLAN INDICATIONS LIGHT FIXTURE - RECESSED	¢ AND	Fax (403) 327-3373 general@alvinfritzarchitect.com ALVIN REINHARD FRITZ A R C H I T E C T INC. PROFESSIONAL SEAL: D PROFESSIONAL SEAL:
 PLAN INDICATION LOUVER MARK - SEE SCHEDULE LING PLAN INDICATIONS LIGHT FIXTURE - RECESSED LIGHT FIXTURE - SURFACE MOUNTED SURFACE OR SUSPENDED		Fax (403) 327-3373 general@alvinfritzarchitect.com ALVIN REINHARD FRITZ A R C H I T E C T INC. PROFESSIONAL SEAL: D PROFESSIONAL SEAL:
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 PLAN INDICATION LOUVER MARK - SEE SCHEDULE LING PLAN INDICATIONS LIGHT FIXTURE - RECESSED LIGHT FIXTURE - SURFACE MOUNTED SURFACE OR SUSPENDED FLUORESCENT STRIPLITE (I LAMP) FLUORESCENT STRIPLITE (I LAMP) FLUORESCENT SURFACE MOUNTED FIXTURE FIRE ALARM RATE OF RISE DETECTOR FIRE ALARM FIXED TEMPERATURE DETECTOR FIRE ALARM INIZATION SMOKE DETECTOR FIRE ALARM IONIZATION SMOKE DETECTOR FIRE ALARM IONIZATION SOUND SYSTEM SOUND SYSTEM SPEAKER LOCATION FIRE SPRINKLER		B Fax (403) 327-3373 ALVIN REINHARD FRITZ A R C HITECT A R C HITECT PROFESSIONAL SEAL: PROFESSIONAL SEAL: PROFESSIONAL SEAL: PROFESSIONAL SEAL: PROFESSIONAL SEAL: D

WALL TYPES

WALL TYPE W1, W1a, W1b & W1c

EXTERIOR

14

14

INTERIOR

3/4" PARGING (TO EXTEND 1'-0" BELOW GRADE) PROTECTION BOARD (TO EXTEND 1'-O" BELOW GRADE)

2" EPS INSULATION (TO EXTEND 4'-0" BELOW GRADE) I Omm DRAINAGE MAT BITUMINOUS DAMPROOFING 8" CONCRETE FOUNDATION WALL - REFER TO STRUCTURAL

NOTE:

WI a WALL TYPE INCLUDES: - I O" CONCRETE FOUNDATION WALL

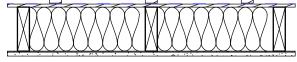
WID WALL TYPE INCLUDES: - 12" CONCRETE FOUNDATION WALL

WIC WALL TYPE INCLUDES:

-8" CMU TO REPLACE CONCRETE

WALL TYPE W2 & W2a

EXTERIOR



INTERIOR

HARDIE PANEL RAINSCREEN DRAINAGE MAT 2 LAYERS OF 30 MIN. ASHPALT IMPREGNATED BUILDING PAPER 1/2" PLYWOOD SHEATHING 2x6 STUDS AT 16" O/C U.O.N. BY STRUCT. REFER TO STRUCT DWG'S R24 BATT INSULATION 6 MIL POLY VAPOUR BARRIER 5/8" GYPSUM BOARD

NOTE:

W2a WALL TYPE INCLUDES: - WOODTONE - RUSTIC SERIES SIDING TO REPLACE HARDIE PANEL

WALL TYPE W3

EXTERIOR

INTERIOR

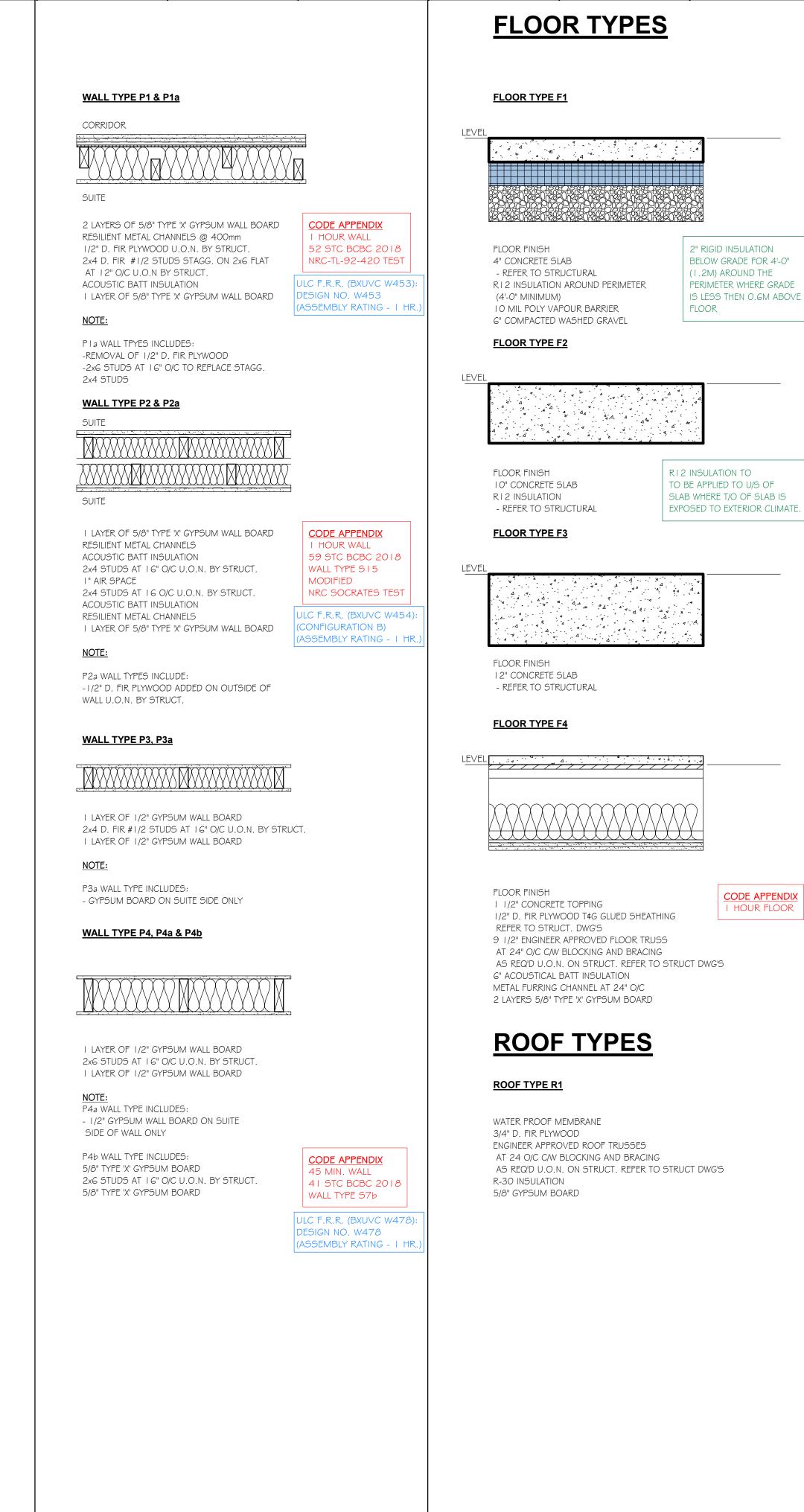
WOODTONE - RUSTIC SERIES RAINSCREEN STRAPPING 2 LAYERS OF 30 MIN. ASHPALT IMPREGNATED BUILDING PAPER 1/2" PLYWOOD SHEATHING 2x6 STUDS AT 16" O/C U.O.N. BY STRUCT. REFER TO STRUCT. DWG'S 1/2" PLYWOOD SHEATHING 2 LAYERS OF 30 MIN. ASHPALT IMPREGNATE BUILDING PAPER RAINSCREEN STRAPPING WOODTONE - RUSTIC SERIES

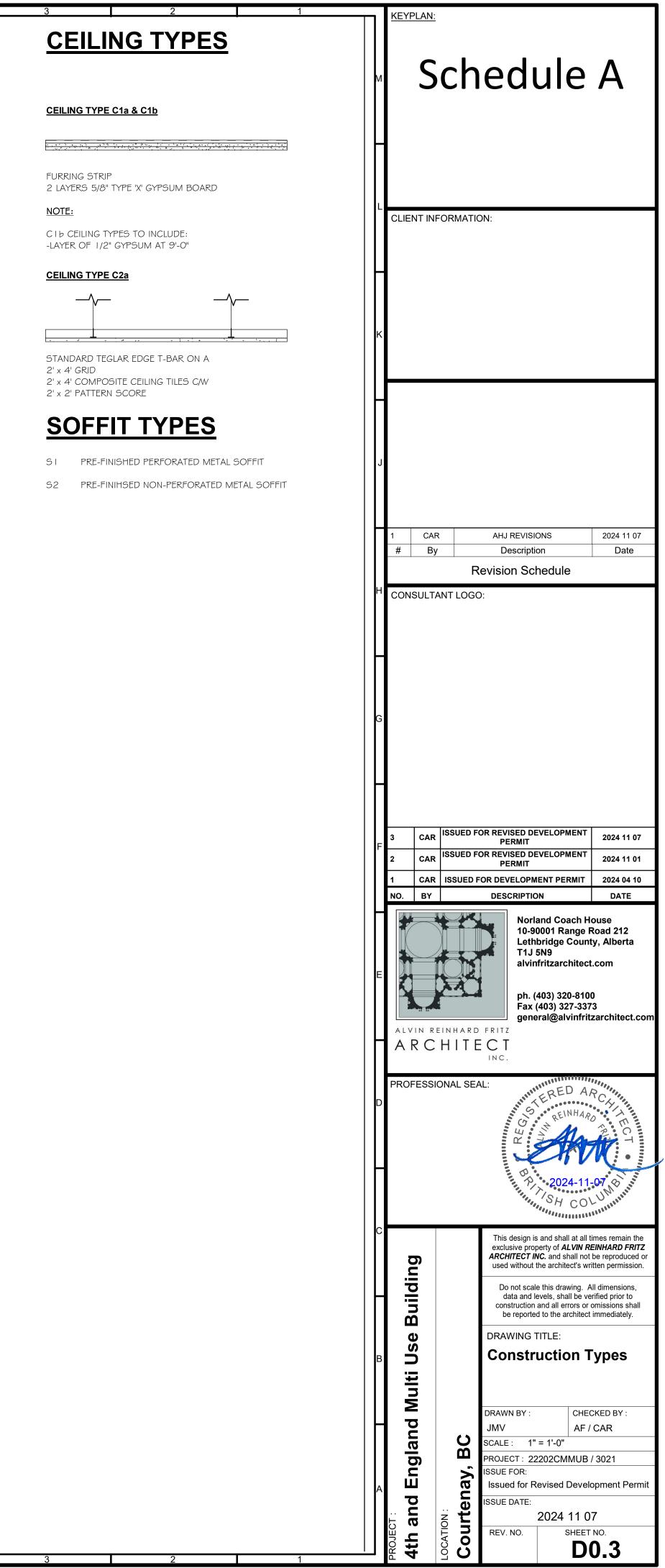
WALL TYPE W4

EXTERIOR	

HARDIE PANEL RAINSCREEN STAPPING 2 LAYERS OF 30 MIN. ASHPALT IMPREGNATED BUILDING PAPER 1/2" PLYWOOD SHEATHING

2x4 STUDS AT 16" O/C U.O.N. BY STRUCT. REFER TO STRUCT. DWG'S

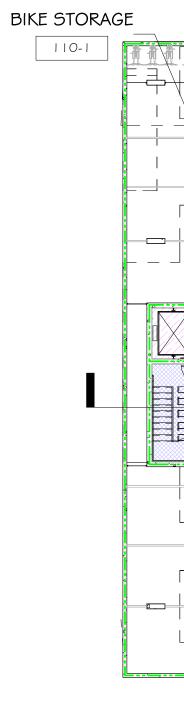


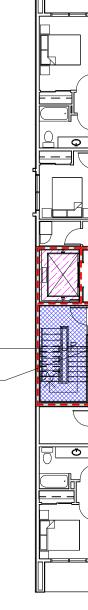


Z:\ACAD STORAGE\STOR2021\3021 Monterra - Heritage Lane\Revit\3021 -I-11-07 11:03:55 AM Building_wd11_issuedforDP.rvt

2	Major Occupancy(s):	Residential/0	Commerci	al/Industrial		Addition Alteration Group:	C/D/F3			1.3.3.2 9.10.1.3 3.1.2.1.(1)	1.3.3.3 9.10.1.2 9.10.2
3	Building Area (m2) Gross Area (m2)	1142 sq. m. Group C		Existing Existing	0.0	New New	1142.0 3314.9	Total Total	1142.0 3314.9	1.4.1.2	1.4.1.2
5	Number of Storeys	Group D Group F3		Existing Existing Above Grade:	0.0 0.0 4	New New Below Grade	501.9 1142.0 1	Total Total	501.9 1142.0	3.2.1.1 & 1.4.1.2	1412
5 6 7	Height of Building: Number of Streets/			15.5m 2	4	Below Grade	1			3.2.1.1 & 1.4.1.2 1.4.1.2 3.2.2.10	1.4.1.2
8	Access Routes Building Classification		3.2.2.50	260 C	Group C Up t	and the second se				& 3.2.5.5 3.2.2.2090	1.4.1.2 9.10.2
9	Sprinkler System Prop	osed			Entire buil Basement	only				3.2.2.2090 3.2.1.5,3.2.1.7	9.10.18.2
10	Standpipe required				In lieu of r Not requir	ed	🗆 No			3.2.2.18	
11	Fire Alarm required Water Service/Supply	is Adequate			⊡Yes ⊡Yes					3.2.4 3.2.5.7	9.10.18.2
13	High Building Permitted Constructio	<u></u>		Combustib	Yes		☑ No □Non-comb	oustible	⊡Both	3.2.6 3.2.2.2090	9.10.6
15	Actual Construction Mezzanine(s) Area (m2	2)		Combustib n/a			Non-comb	oustible	⊡Both	3.2.1.1.(3)-(8)	9.10.4.1
16	Occupancy Occupant load base	d on seating o	apacity				Design of I	building		3.1.17	9.9.1.3
	See Floor Plans (Total) Residential Commercial			69 Bedrooms 515.5 sq.m. /							
16.1	Total Barrier-free Design		_	280 persons	5.7 sq.m. /pe	5011 = 140 per				3.8	9.5.2
	Hazardous Substances	ŝ.		∐Yes			⊡No			3.3.1.2.1(1) & 3.3.1.20 (1)	9.10.1.3.(4
	Required Fire Resistance Rating	Horiz	ontal Ass	emblies FRR (H	lours)	Listed	Design No. o	r Description	(SG-2)	3.2.2.2090 & 3.2.1.4	9.10.8 9.10.9
19	(FRR)	Floors: Roof:		1 hour 1 hour							
		Mezzanine:	FRR o	n/a f Supporting			Listed D	esign No.			
		Floors: Roof: Mezzanine:	-	1 hour 1 hour n/a		-					
20	Spatial Separation - Co		Exterior V		Permitted			Listed		3.2.3	9.10.14 & Cladding
20.1	CONTRACTOR OF THE OWNER OWNE	of EBF(m2)	L.D.(m)	and the second second second second	Max. % of Openings	Proposed % of Openings		Design or Description	Comb. Const.	Non-Comb. Constr.	(Non Com Or Comb
	North East South	622 482	6m 9m+	Less than 3:1 Less than 3:1	22% 42%	6.10%	1 (E-2) 45 min (E-1)				Non Com
21	South West Fire Alarm and Fire Ac	554 382.85	9m+ 1.4m	Less than 3:1 Less than 3:1	42% 8%		45 min (E-1) 1 (E-2)		N	✓ ✓	Non Com Non Com
21	Fire Alarm and Fire Ac Fire Alarm & Detection Signals to Fire Departn	System				REQUIRED 2 stage				3.2.4 3.2.4.3 3.2.4.7	9.10.18.2 9.10.18.4
	Other conditions/featu Smoke detectors in Gr	ures:	orridors			- REQUIRED				3.2.4.7/8 3.2.4.11	
	Visual fire alarm signal living area of residenti	s in public cor	the second s	blic washroom	s, principal	REQUIRED				3.2.4.19	
	Smoke Alarms	sleeping roor	ms and the re	room and bet mainder of th	e storey	3.2.4.20 (4)					
	Roof Access	fixed ladder a	and a 550mm	below by a sta x 900mm hat preys/14m bu	ch for a						
	Access Routes for Fire Department Vehicles, including turnaround Location of Hydrants Sprinkler and/or Standpipe system connections					REQUIRED		entrance)	anig itt.	3.2.5.4 & 6 3.2.5.5 & 15	9.10.20.3
10						REQUIRED				3.2.5.8 & 9	
23	Other Conditions/ Feat Emergency Lighting Mezzanines - 3.2.8.2 (1		3 to 01			Portable Fire REQUIRED	extinguishers	req'd		3.2.5.16 3.2.7 3.2.8/3.2.1.1	9.9.12.3 9.10.4.1 &
24	Mezzanines - 3.2.8.2 (1 Interconnected Floor S				1	n/a n/a				3.2.8/3.2.1.1. 3.2.1.6 3.2.8.2(6)	9.10.4.1 &
25	Safety Within Floor Are									3.3.1.1	9.10.9
	Suite Separation Major Occupancy Sepa	ration				1 hour - Grou Group C to D (3.2.1.2)		oup C & D to I	-3 - 2 hour	3.3.1.1 3.1.3	9.10.9.11
	Major Occupancy Sepa Public Corridor	anon:				(3.2.1.2) 45 min for Gr	oup C - reside	ential		3.3.1.4/3.1.8.1/ 3.3.4.2	9.10.9.15
	Barrier-Free Protection Janitor Room					Sprinklered Sprinklered -	no rating req	uired		3.3.1.7 3.3.1.21	9.5.2
	Storage Room					1 hour - sprin	klered			3.3.4./3.6.2.1/ 3.3.2.16	9.10.10.6
Storage Garage						permitted to the purposes floor, and roc constructed a	be considered of Section 3.2 of assemblies as a non comb	as a storage p d as a separate 2.1.2. provided above the base pustible fire se the rating. Min	e building for d the walls, ement are paration	3.3.5.4/3.3.5.6/ 3.2.1.2	9.10.9.16
26	Other Conditions/ Feat Exits Minimum 2 exits require					VEC				3.4	9.9 9.9.8.2
	Minimum 2 exits requir Single Exit Permitted Location of Exit / Trave					YES NO 45m for Grou	ID C / F3 & 40	m Group D		3.4.2.1	9.9.8.2 9.9.8.2 (2) 9.9.8.2
	Mezzanine Exits Exit Capacity (min widt	C.122500502			Doors/Corr.	n/a 1708mm requ	10010200000	1828mm pro	vided	3.4.2.2 3.4.3.2	9.9.8.6 9.8.2.1,
	For Part 3, see 3.4.3.2 (ramps,doorways & corr				Stairs	2208mm requ	uired	2742mm pro	vided		9.8.5.2, 9.9.3.2
	stairs) Exit Stair Enclosure Exit Lobby	-13				1 hour YES				3.4.4 3.4.4.2	9.9.4 9.9.8.5
	Exit Lobby Exit Signage Required Other conditions/ Featu	ures 3.4.5 1(6)	- Arrow 8	& Pointer Indica	itors	YES YES YES				3.4.4.2 3.4.5	9.9.8.5
27	Vertical Transportation Elevator Shaft					YES - 1 hour r	ating			3.5 3.5.3	
	Elevator Machine Roon Elevator Size (mm X mr		0x610 REC	ג'D		YES TBD					
28	Service Spaces Service (furnace) Room					1 hour				3.6 3.6.2.1	9.10.10 9.10.10.3
	Service (other) Room Roof-top Appliance & B Plenums Flame Spread-		volonna	nt<50		Sprinklered Fire separation not required				3.6.2.1 (7) 3.6.2.1 (10) 3.6.4.3	
	Attic/ Roof Space Acces Crawl Space		opinel			Non-combust 550x900 N/A				3.6.4.3 3.6.4.4 & 7 3.6.4.6	9.19.2.1 9.18.2.1
29	Other conditions/ Feat				9	N/A				3.6.3	9.10.9.18
	Service Spaces Washrooms					45 minutes				3.6.3.1 3.7.2.2	10.5.2
	Number of Water Close	ets and Lavato	ry		Female Male	1	(up to 25 per (up to 25 per	sons)			
-	Barrier-Free Design	14-01	-	Group C		1 water close YES	t per dwelling	g unit		3.8	9.5.2
31	Barrier-free access prov Public entrance doors v				or	YES YES - active le		CALLS UND STOLE SAFETY AND AND		3.8.2.3 3.8.2.7	
31	-F					NEW 2010 CONTRACTOR CONTRACTOR CONTRACTOR CONTRACTOR CONTRACTOR CONTRACTOR CONTRACTOR CONTRACTOR CONTRACTOR CONT		th of travel / I	iot in	2020	
31	Barrier-free washroom Barrier-free required at				5	residential un YES - intercor		entrance		3.8.2.8 3.8.2.2 & 3.8.2.5	

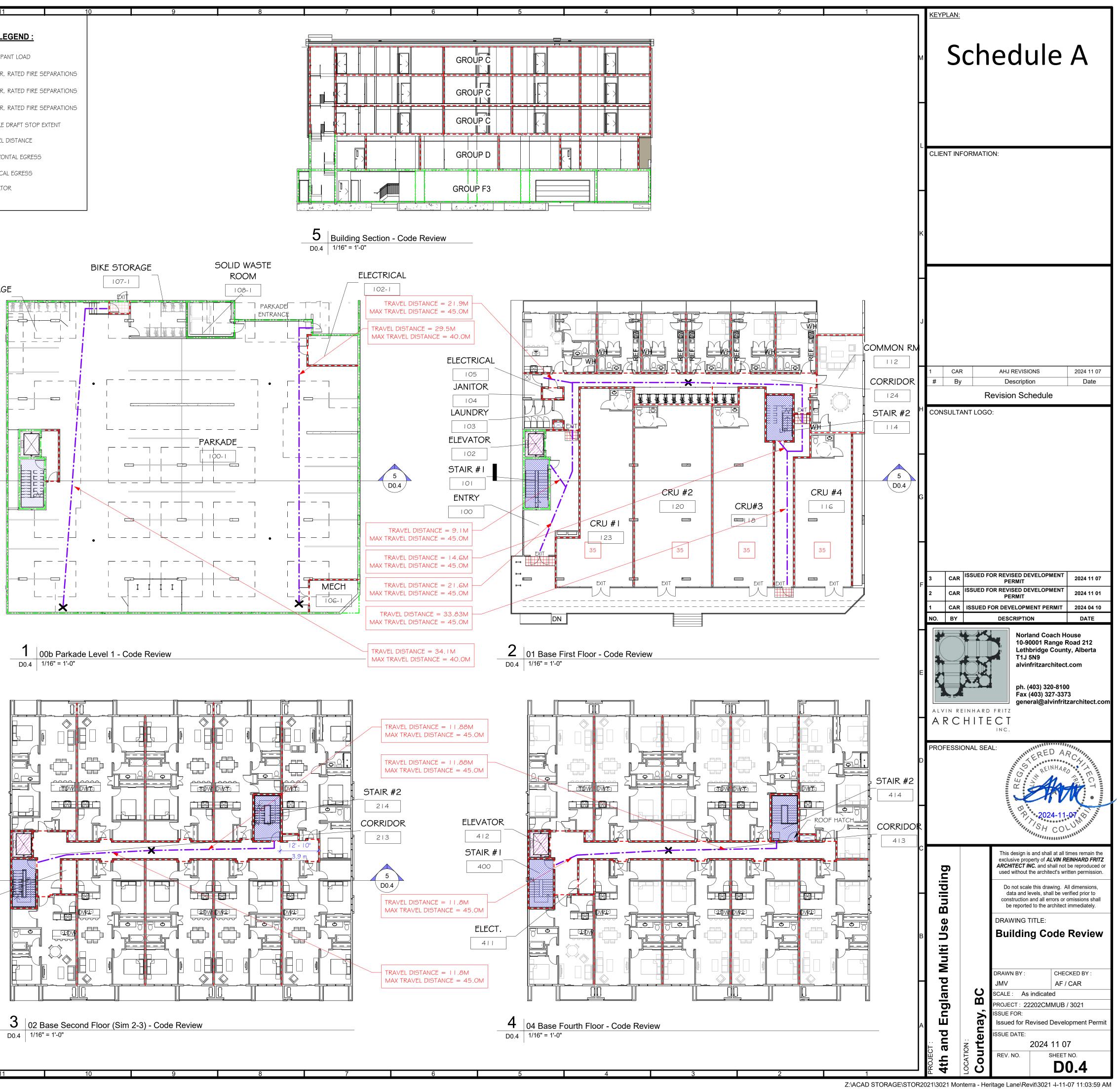
CODE REVIEW LEGEND : I O I OCCUPANT LOAD ---- I.O HR. RATED FIRE SEPARATIONS ----- 2.0 HR. RATED FIRE SEPARATIONS -- SMOKE DRAFT STOP EXTENT ----- TRAVEL DISTANCE HORIZONTAL EGRESS VERTICAL EGRESS ELEVATOR





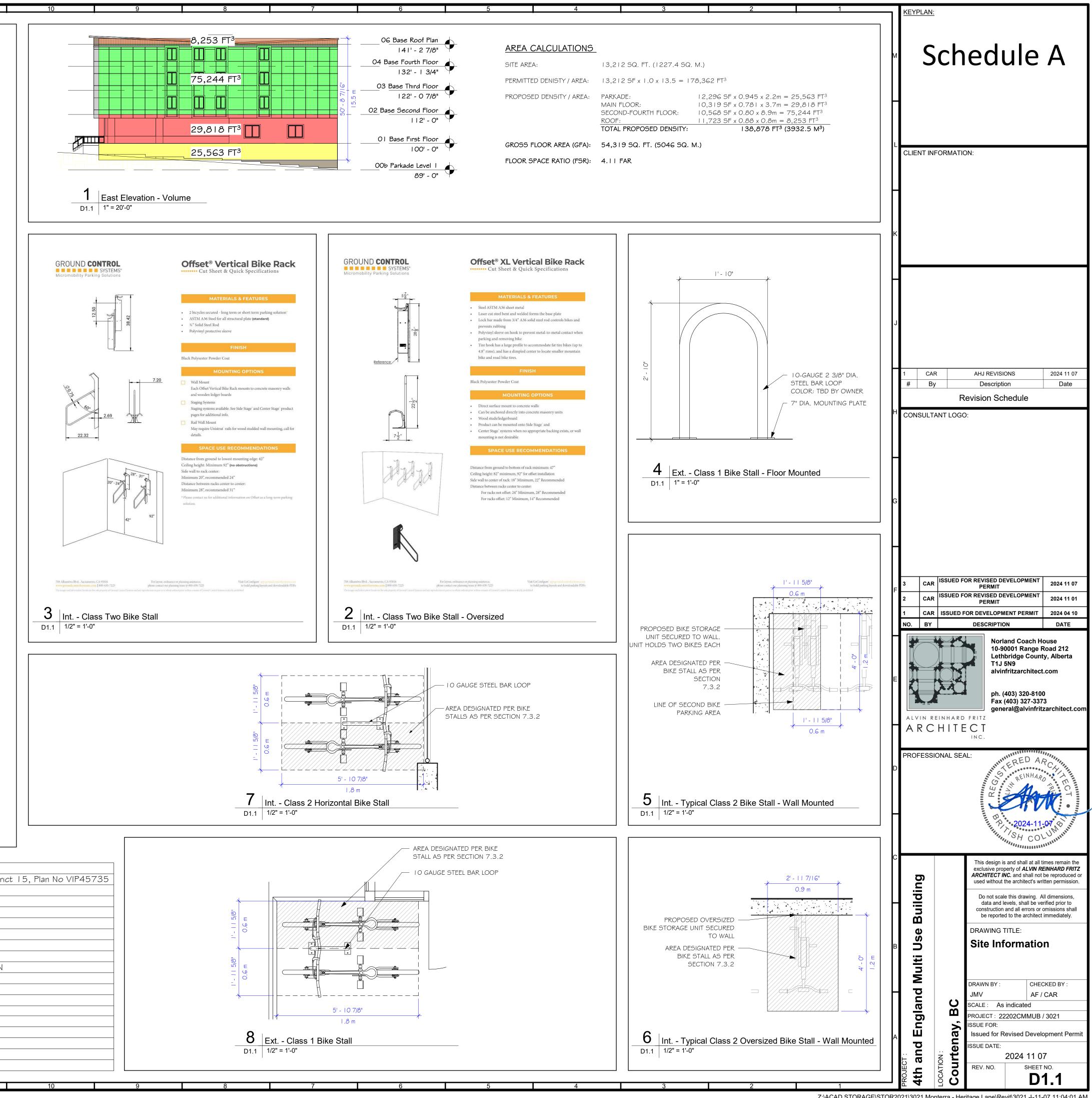
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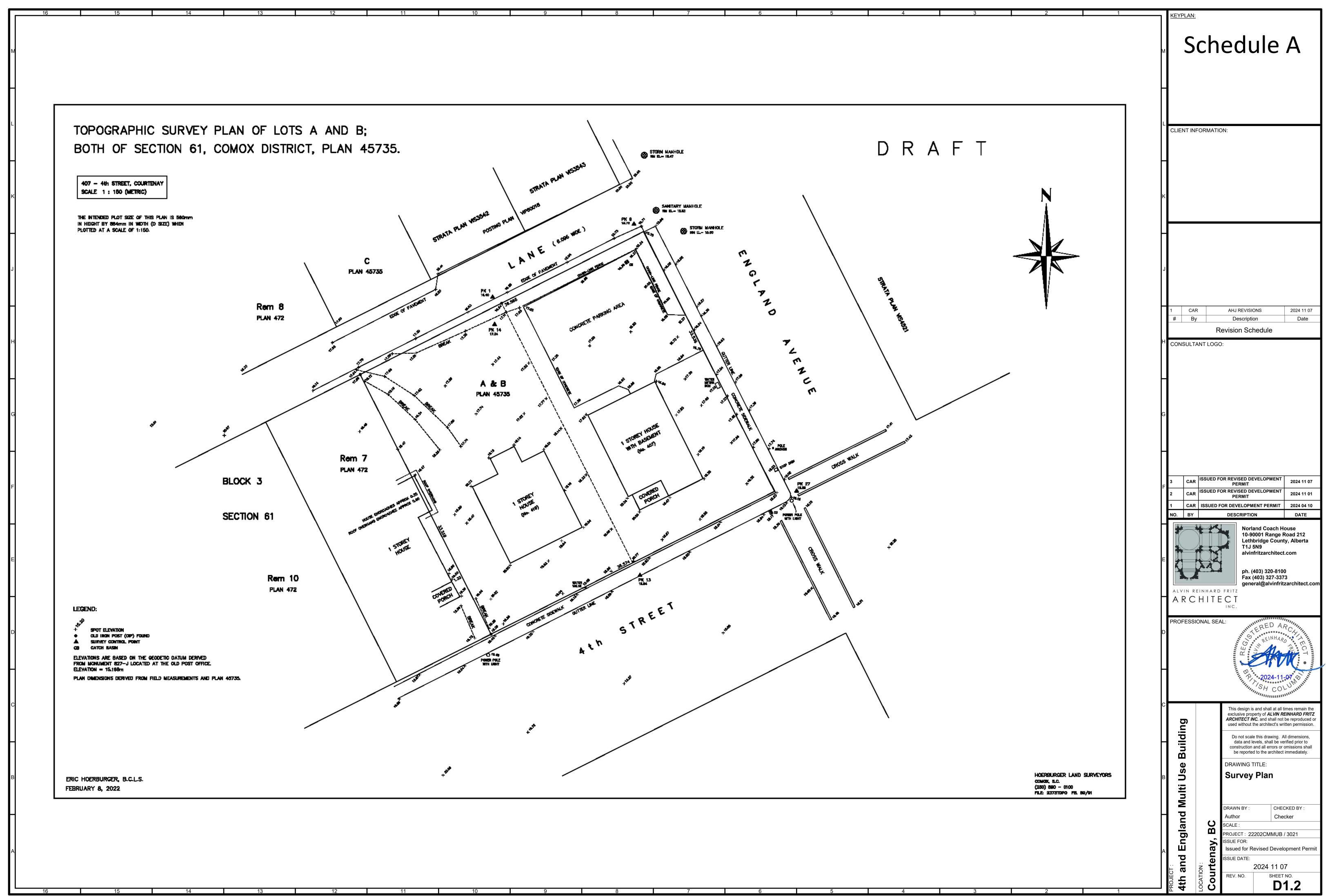


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Ath and England Mixed Use Ath and England Mixed Use Distribution Distribution Distribution Distribution Ath and England Mixed Use Distribution Ath and and Mixed Use Distribution Ath and and Mixed Use <thdistribution< th=""> Distribution</thdistribution<>		16 15	14	13	12 11
Image: Second constraints Constraints Constraints Constraints Image: Second constraints Second constraints Second constraints Second constraints Second constraints Image: Second constraints Second constraints Second constraints Second constraints Second constraints Second constraints Image: Second constraints Second constraints Second constraints Second constraints Second constraints Image: Second constraints	М	407 4th Street Courtena			
Intel = Sector 4.0 Schward 1.0 Intel =			<u>39</u>	TOTAL SITE AREA	
Processor Processor Processor Processor Processor Processor Processor Processor Processor Processor Processor Processor	L	Land District 15, Plan No VIP45735 Courtenay, BC P.I.D. 009-629-211		FLOOR AREA AND DENSITY PROPOSED: BUILDING NET AREA:	= 54319.85 SQ. FT. (5046.5 SQ. M.) = 54319.85 SQ. FT. / 13212 SQ. FT.
Bits Provide and Provide Activity of the Control of the Contro of the Control of the Control of the Control of the Con					
Construction Construction	H	RESIDENTAL / COMMERCIAL / INDUSTRIAL MULTIPLE DWELLING UNITS		PER GARBAGE & RECYCLING S	TORAGE AMENITY DESIGN SUPPLEMENT
Procent construction Procent construction Procent construction Construction Construction Construction Procent construction Procent construction Construction Procent construction Procent construction Procent construction Construction Procent construction Procent construction Procent construction Procent construction Procent construction Procent construction Procent construction Procent construction Procent construction Procent construction Procent construction Procent construction Procent construction Procent construction Procent construn Procent construcon		SURVEY INFROMATION:			THE DEVELOPMENT (PICK UP IN LANE)
CONVERSIVATION CONVERSIVATION CONVERSIVATION CONVERSIVATION CONVERSIVATION CONV	К				THE DEVELOPMENT (PICK UP IN LANE)
Instruction production and the state state is a state s		COMPLETED BY ONSITE ENGINEERING			= 1393 SQ.FT.
Just State Just State Just State Proceeding State Colors of the Processor State S		REPORT COMPLETED BY GEOTECHNICAL ENGINEER SITE COVERAGE		CRU #3	= 658.5 SQ.FT. = 3 7.4 SQ.FT.
Construction Construction Construction Construction Construction Construction Machine Mark	J	AS PER SECTION 8.18.4 THERE IS NO LIMIT TO LOT COVE	RAGE	LEVEL 1: (6 UNITS)	
microsoft UnitsControl		10326 SQ. FT. = 78.1%		MICRO SUITE 'B' (I UNIT)	= 288 SQ.FT.
BUILDING STREAM Date of the set of th	\mathbf{H}	PROPOSED LANDSCAPE AREA = 558 SQ		SUITE 'A' (I UNIT)	
Instruction Processor Statistics Statistics Instruction Processor Processor Processor Processor Instruction			FMFNTS	SUITE 'C' (1 UNIT) SUITE 'D' (1 UNIT)	= 838 SQ.FT. =1075 SQ.FT.
BD: Net: bot: hot: Dot: Not: Bot: Act: Bot: Bot: Bot: Bot: Bot: Bot: Bot: Bo	Н	LOCATION: PROPOSED		SUITE 'F' (I UNIT)	= 653 SQ.FT.
Description Description Provide the second of the second		SIDE YARD (NORTHWEST NEIGHBOR)= 1.4mREAR YARD (LANE)= 0.2m		SUITE 'A' (I UNIT)	
Reference Software 10 (above) - Status Provide Provide Access Access Access Access Access Action Access Access Action Action Provide Access Access Action Action Provide Action	H			SUITE 'B' (4 UNITS) SUITE 'C' (1 UNIT)	= 988 SQ.FT. = 838 SQ.FT.
PROPOSED LECK_2 4: (10 LARTS) - 46 - 55 FT BLACK BRING RECORD -20 - 514.15 Built End A units) - 66 - 55 FT BLACK BRING RECORD -20 - 514.15 Built End A units) - 66 - 55 FT BLACK BRING RECORD -20 - 514.15 Built End A units) - 66 - 55 FT BLACK BRING RECORD -20 - 514.15 Built End A units) - 66 - 55 FT BLACK BRING RECORD -20 - 514.15 Built End A units - 66 - 55 FT BLACK BRING RECORD -20 - 514.15 Built End A units State TT - 66 - 56 FT BLACK BRING RECORD -20 - 514.15 -20 - 514.15 - 10 - 514.15 - 10 - 514.15 BLACK BRING RECORD -20 - 514.15 -20 - 514.15 -20 - 514.15 -20 - 514.15 BLACK BRING RECORD -20 - 514.15 -20 - 514.15 -20 - 514.15 -20 - 514.15 BLACK BRING RECORD -20 - 514.15 -20 - 514.15 -20 - 514.15 -20 - 514.15 BLACK BRING RECORD -20 - 514.25 -20 - 514.15 -20 - 514.15 -20 - 514.15 BLACK BRING RECORD -20 - 514.25 -20 - 514.25 -20 - 514.15 -20 - 514.15 BLACK BRING RECORD -20 - 514.25		REQUIRED:OFF STREET PARKING REQUIREMENTS:I STALL PER RESIDENTIAL UNIT REQ'D= 36 STAL	LS	SUITE 'E' (I UNIT) SUITE 'F' (I UNIT)	= 991 SQ.FT. = 653 SQ.FT.
BANLE CASE IN ALTROVIDED -7 STALLS BUTT F(1) BATT = C33 BATT BUTT F(1) BATT = C33 BATT BUTT F(1) BATT = C33 BATT BUTT F(1) BATT = C33 BATT BUTT F(1) BATT = C33 BATT BUTT F(1) BATT = C33 BATT = DATE F(1) BATT = DATE F(1) BATT BUTT F(1) BATT = C33 BATT = DATE F(1) BATT = DATE F(1) BATT BUTT F(1) BATT = C33 BATT = DATE F(2) BATT = DATE F(2) BATT BUTT F(1) BATT = C33 BATT = DATE F(2) BATT = DATE F(2) BATT = DATE F(2) BATT BUTT F(1) BATT = C33 BATT = DATE F(2) BATT = DATE F(2) BATT = DATE F(2) BATT = DATE F(2) BATT BUTT F(2) BATT = DATE F(2) BATT	G	PROPOSED:REGULAR STALLS PROVIDED(2.87m x 5.5m W/ COLUMN	LS	SUITE 'A' (I UNIT) SUITE 'B' (4 UNITS) SUITE 'C' (I UNIT)	= 988 SQ.FT. = 838 SQ.FT.
Provint (Stati Vibilion Parking Available Auchig Cited) TOTAL UNIT BREAKDOWN: = 3 UNITS (2006 Cit 7 - 30 B Cit 7	Π		5	SUITE 'E' (I UNIT) SUITE 'F' (I UNIT)	= 991 SQ.FT. = 653 SQ.FT.
BECKLE PARKING: 2 DEFECCION UNITS - 2 UNITS (464 - 60.FT, - 1.020 - 60.FT, 3) REQUERT ALL 3 UNITS (- 27.56.FT, - 1.020 - 60.FT, 3) 3 UNITS (- 27.56.FT, - 1.020 - 60.FT, 3) MALT REDIDED NUMBER OF DICKLE TOTAL NUMBER OF UNITS - 3 UNITS (- 27.56.FT, - 1.020 - 60.FT, 3) MALT REDIDETAL BERGEL UNITS (- 72.56.FT, - 1.020 - 60.FT, 3) BERGEL UNITS (- 27.56.FT, - 1.020 - 60.FT, 3) MALT REDIDETAL BERGEL UNITS (- 72.56.FT, - 1.020 - 60.FT, 3) BERGEL UNITS (- 27.56.FT, 3) MALT REDIDETAL BERGEL UNITS (- 27.56.FT, 3) BERGEL UNITS (- 27.56.FT, 3) MALT REDIDETAL BERGEL UNITS (- 27.56.FT, 3) BERGEL UNITS (- 27.56.FT, 3) MALT REDIDETAL - 4.5 BERGEL HOUTE ENVIRONMENT (- 1.020 - 60.FT, 3) MALT REDIDETAL - 4.5 BERGEL HOUTE ENVIRONMENT (- 1.020 - 60.FT, 3) MALT REDIDETAL - 4.5 BERGEL HOUTE ENVIRONMENT (- 1.020 - 60.FT, 3) MALT REDIDETAL - 4.5 BERGEL HOUTE ENVIRONMENT (- 1.020 - 60.FT, 3) MALT REDIDETAL - 4.5 BERGEL HOUTE ENVIRONMENT (- 1.020 - 60.FT, 3) MALT REDIDETAL - 4.5 BERGEL HOUTE ENVIRONMENT (- 1.5 BERGEL UNITS (- 1.5 BERGEL UNIT	F			TOTAL UNIT BREAKDOWN: MICRO UNITS	= 5 UNITS (288 SQ.FT 3 SQ. FT.)
PARING SMATS. Monte Resolution Multi resolution Monte Resolution Monte Resolution Monte Resolution Multi resolution Monte Resolution Monte Resolution		AS PER PART 3 BICYCLE PARKING REQUIREMENTS:		2 BEDROOM UNITS	= 21 UNITS (884 SQ.FT 1020 SQ.FT.)
CLASS 2 MICROR PARSING SPACED FROMULING UNIT 2 Haltunko micro D RT & 30 MICRO SPACES - CACALINED AP FIR & 3.0 MICRO SPACES - CACALINED AP TO STATE MILLING MARCE ACCALINED AP FIR & 3.0 MICRO SPACES - CACALINED PARCES 1 DEVICE PARSING SPACES - CACALINED PROPOSIDE BUILDING HICHT. TOTAL RECTO BLOCKED SPACES PROPOSIDE VINICAL = 4 SPACES VINICAL ACASS 2 = 6 SPACES VINICAL ACASS ARE LOCATED IN THE PARKARE 4 LI CLASS 1 SPACES PROVIDED: = 4 SPACES VINICAL ACASS ARE LOCATED IN THE PARKARE 4 LI CLASS 1 SPACES PROVIDED: = 6 SPACES VINICAL ACASS ARE LOCATED IN THE PARKARE 4 LI COVIDED SINCE = 72 STALLS DUILDING CODE SUMMARY: PROJECT NAME PROJECT NAME MONTERRA MIXED USE BUILDING CIVICA DARESS / LEGAL DESCRIPTION 407 4 419 44h Street Jult A B, Section 61, Land Distr MALOR OCCUPANCY RESIDENTAL / COMMERCIAL / INDUSTRIAL PART 3 PART 3 DUILDIN	H	PARKING SPACES: MULTI RESIDENTIAL	-		= 36 UNITS
PROPOSED: - 46 SPACES CLASS 2 SPACES PROVIDED: - 46 SPACES VERTICAL - 16 SPACES OVERSUE - 4 SPACES TOTAL CLASS 2: = 66 SPACES TALS SPACES PROVIDED: - 6 STALES HORZONITAL = 6 STALES TALS SPACES PROVIDED: = 6 STALES TALS SPACES PROVIDED: = 72 STALES TOTAL BICYCLE SPACED PROVIDED: = 72 STALES COMPLET NAME MONTERRA MIXED USE BUILDING CIVIC ADDRESS / LEGAL DESCRIPTION 407 € 4 1 9 4th Street /Lot A € B, Section G I, Land Distr MALOR OCCUPANCY RESIDENTAL / COMMERCIAL / INDUSTRIAL PART 3 OR PART 9 PART 3 BUILDING GRADE (m) 11 60 m² BUILDING GRADE (m) 11 160 m² NUMBER OF STOREYS 4 STOREYS - 1 BELOW GRADE NUMBER OF STOREYS 4 STOREYS - 1 BELOW GRADE PART THON COMBUSTIBLE CONSTRUCTION PARTY FLOOR ASSEMBLY (BETRETING RESIDENTAL SUITES) Ih FIRE SEPERATION PARTY FLOOR ASSEMBLY (WITHIN DWELLING UNIT) (FRONT BUILDING) Ih FIRE SEPERATION PARTY FLOOR ASSEMBLY (DETERTING RESIDENTAL SUITES) Ih FIRE SEPERATION PARTY FLOOR ASSEMBLY (DETERTING RES	E	2 PER 3G UNITS = 72 SPACES CLASS I BICYCLE PARKING SPACES - CALCULATED AS I 0% OF THE MINIMUM NUMBER OF CLASS 2 SPACES REQUIRED.	2	AS PER 8. 18.7 BUILDING HEI PROPOSED BUILDING HEIGHT	
CLAS 2 SPACES PROVIDED: = 4 - SPACES VERTORIAL = 1 - STACES DVESSTE = 4 - SPACES VALL CASS I: = 6 - SPACES VALL CASS I: = 6 - STALES VALL SPACES ARE LOCATED IN THE PRAADE 4 LI CLASS I: = 6 - STALES VALL SPACES ARE LOCATED UNDER THE COVERD ENTRY TOTAL BICYCLE SPACES PROVIDED: PROJECT NAME COVERD ENTRY TOTAL BICYCLE SPACES PROVIDED: PROJECT NAME MONTERRA MIXED USE BUILDING CIVIC ADDRESS / LEGAL DESCRIPTION 400 * 4 19 4th Street /Lot A & B, Section 6 1, Land Distr MALOR OCCUPANCY RESIDENTAL / COMMERCIAL / INDUSTRIAL PART 3 BUILDING GRADE (m) NUMBER OF STORYS BUILDING GRADE (m) NUMBER OF STREETS FACING 2 STREETS FACING PREMITTED CONSTRUCTION PREMITTED CONSTRUCTION PARTY FLOOR ASSEMBLY (SEPERATING RESIDENTAL SUITES) <		TOTAL REQ'D BICYCLE SPACES: 80 SPACES			
OVERSIZE = 4 SPACES TOTAL CLASS 2: = 66 SPACES *ALL SPACES ROVIDED: = 6 STALES HORROUTAL = 6 STALES VALL SPACES ROVIDED: = 72 STALES TOTAL BICYCLE SPACES PROVIDED: = 72 STALES C BUILDING CODE SUMMARY: PROJECT NAME MONTERRA MIXED USE BUILDING CIVIC ADDRESS / LEGAL DESCRIPTION 407 4 4 19 4th Street /Lot A 4 B, Section 61, Land Distri MAD OC COLPANCY RESIDENTAL / COMMERCIAL / INDUSTRIAL PART 3 OR PART 9 PART 3 BUILDING AREA (m2) 11 G 0 m ² BUILDING GRADE (m) 11 G 0 m ² BUILDING GRADE (m) STREETS FACING NUMBER OF STOREYS 4 STOREYS - 1 BELOW GRADE NUMBER OF STOREYS 4 STOREYS - 1 BELOW GRADE NUMBER OF STOREYS 5 STREETS (CORNER SITE) SPRINKLER SYSTEM COMBUSTIBLE AND NON-COMBUSTIBLE CONSTRUCTION PERMITTED CONSTRUCTION COMBUSTIBLE AND NON-COMBUSTIBLE CONSTRUCTION PARTY YELOR ASSEMBLY (BETPERATING RESIDENTAL SUITES) 1h FIR	Ħ	CLASS 2 SPACES PROVIDED:	CES		
CLASS I SPACES PROVIDED: INDRIZONTAL = G STALLS INDRIZONTAL = G STALLS INDRIZONTAL = G STALLS COVERED ENTRY TOTAL BICYCLE SPACES PROVIDED: = 72 STALLS DUILDING CODE SUMMARY: MONTERRA MIXED USE BUILDING CIVIC ADDRESS / LEGAL DESCRIPTION 407 4 4 19 4th Street /Lot A 4 B, Section 6 I, Land District MAJOR OCCUPANCY RESIDENTAL / COMMERCIAL / INDUSTRIAL PART 3 OR PART 9 PART 3 BUILDING GRADE (m) 11 60 m² BUILDING GRADE (m) 11 60 m² BUILDING GRADE (m) E NUMBER OF STOREYS 4 STOREYS - 1 BELOW GRADE NUMBER OF STOREYS 4 STOREYS - 1 BELOW GRADE PERMITTED CONSTRUCTION COMBUSTIBLE AND NON-COMBUSTIBLE CONSTRUCTION PARTY WALL ASSEMBLY (SEPERATING RESIDENTAL SUITES) 1'h FIRE SEPERATION PARTY VELOR ASSEMBLY (WITHIN DWELLING UNIT) (REAR BUILDING) 1'h FIRE SEPERATION FLOOR ASSEMBLY OF DWELLING UNIT) (FRONT BUILDING) 1'h FIRE SEPERATION ROOF ASSEMBLY OF DWELLING UNIT) (FRONT BUILDING) 1'h FIRE SEPERATION WALL ASSEMBLY OF DWELLING UNIT) 1'h FIRE SEPERATION SPATIAL SEPERATION 45 MIN, FIRE SEPERATION SPATIAL SEPERATION	D	OVERSIZE= 4 SPACETOTAL CLASS 2:= 66 SPACE	<u>ES</u>		
COVERED ENTRY TOTAL BLOYCLE SPACES PROVIDED: = 72 STALLS BUILDING CODE SUMMARY: [PROJECT NAME MONTERRA MIXED USE BUILDING CIVIC ADDRESS / LEGAL DESCRIPTION 407 \$ 419 Ath Street /Lot A \$ B, Section 61, Land Distr MAIDOR OCCUPANCY RESIDENTAL / COMMERCIAL / INDUSTRIAL PART 3 OR PART 9 PART 3 BUILDING AREA (m2) 11 GO m ² BUILDING GRADE (m) 0 NUMBER OF STOREYS 4 STOREYS - 1 BELOW GRADE NUMBER OF STOREYS 4 STOREYS - 1 BELOW GRADE NUMBER OF STOREYS 4 STOREYS - 1 BELOW GRADE NUMBER OF STOREYS 1 h FIRE SEPERATION PERMITED CONSTRUCTION COMBUSTIBLE AND NON-COMBUSTIBLE CONSTRUCTION PARTY FLOOR ASSEMBLY (SEPERATING RESIDENTAL SUITES) 1 h FIRE SEPERATION PARTY FLOOR ASSEMBLY (WITHIN DWELLING UNIT) (REAR BUILDING) 1 h FIRE SEPERATION FLOOR ASSEMBLY (WITHIN DWELLING UNIT) (FRONT BUILDING) 1 h FIRE SEPERATION FLOOR ASSEMBLY OF DWELLING UNIT 1 h FIRE SEPERATION MALL ASSEMBLY OF LOADBERING EXTERIOR WALLS 1 h FIRE SEPERATION SPATIAL SEPERATION 45 MIN. FIRE SEPERATION SPATIAL SEPERATION 45 MIN. FIRE SEPERATION SMOKE ALAR		CLASS I SPACES PROVIDED: HORIZONTAL = 6 STALLS	5		
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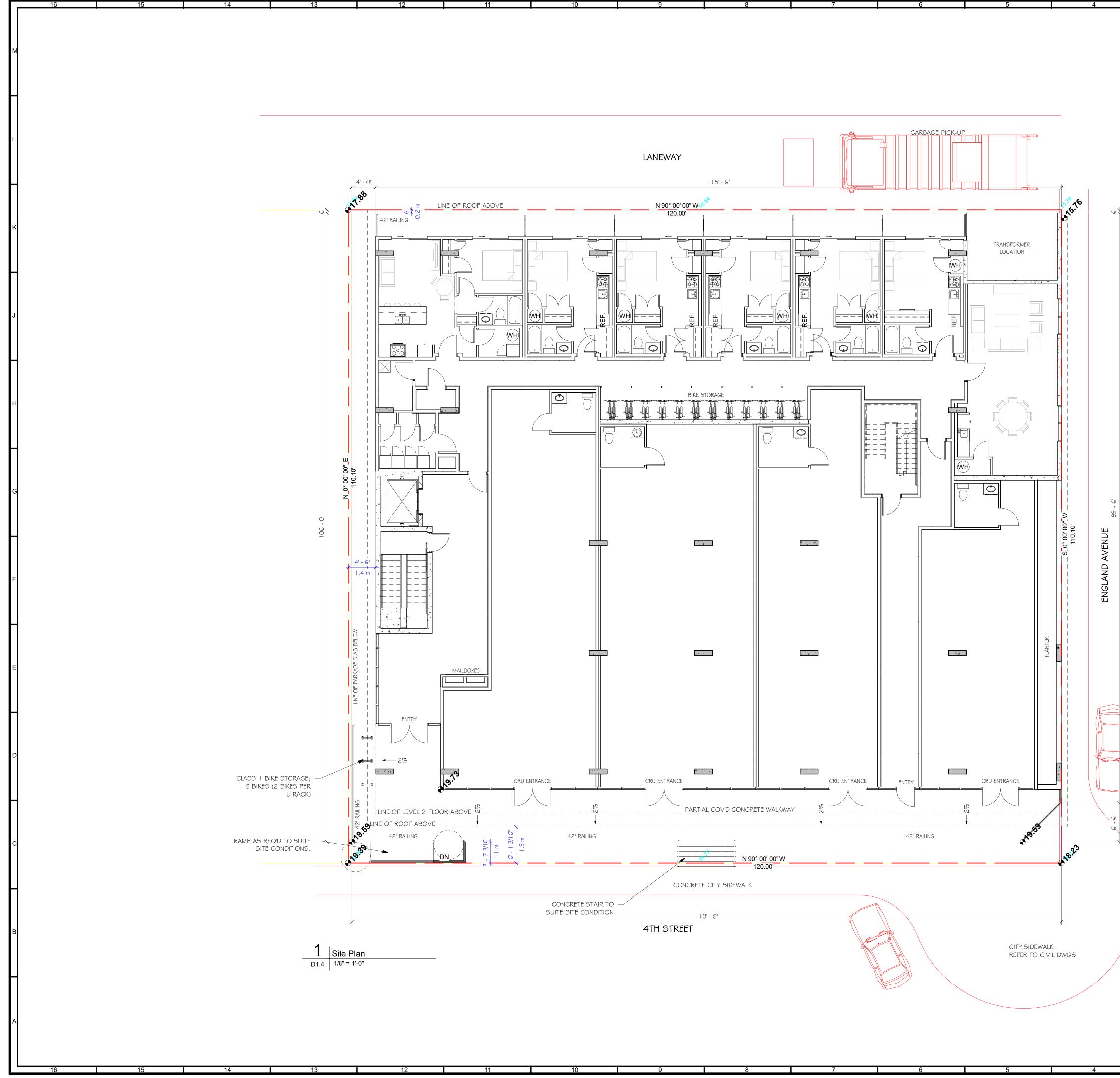
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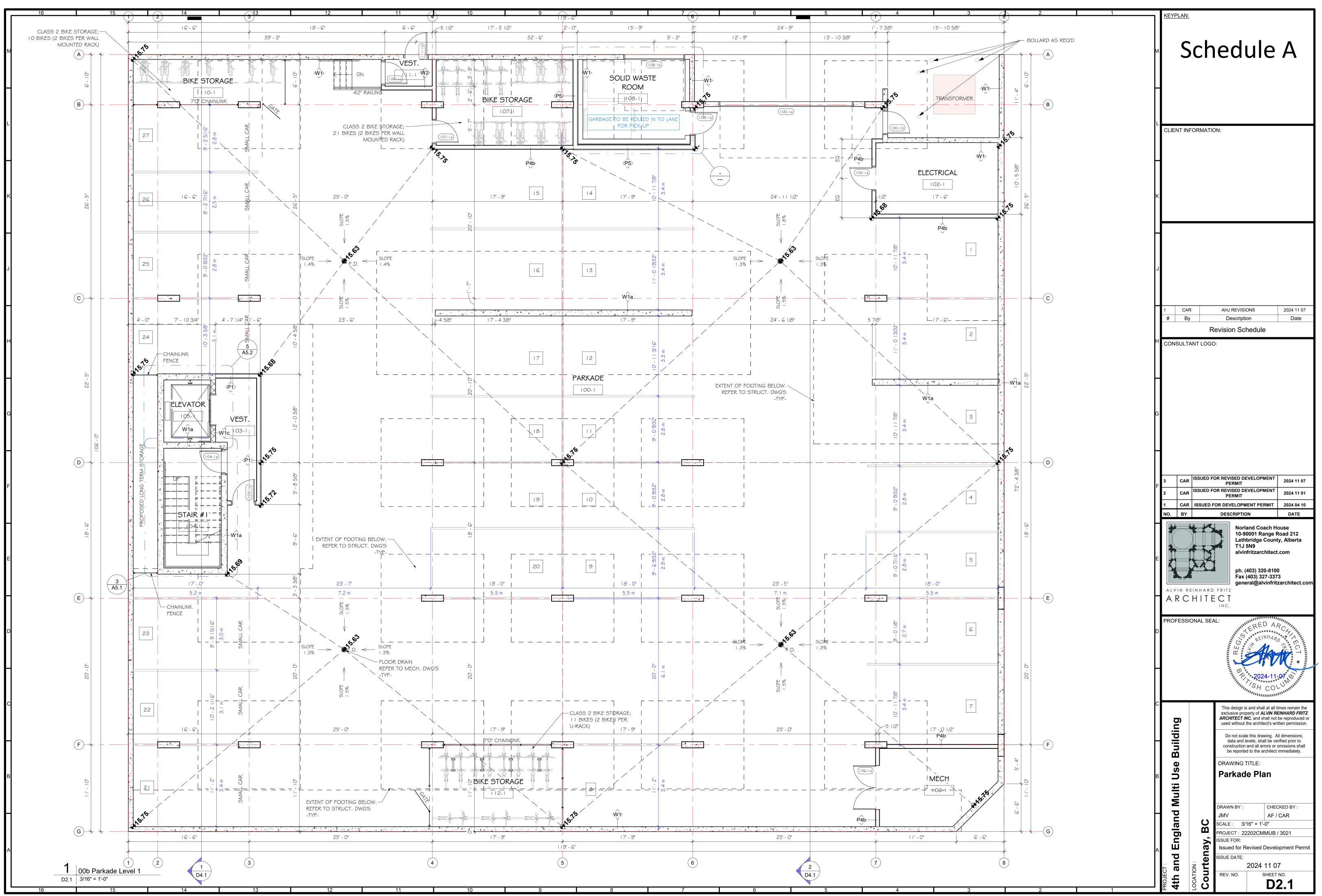


	Schedule A
K Image: Construction of the st. And England Avenue	CLIENT INFORMATION:
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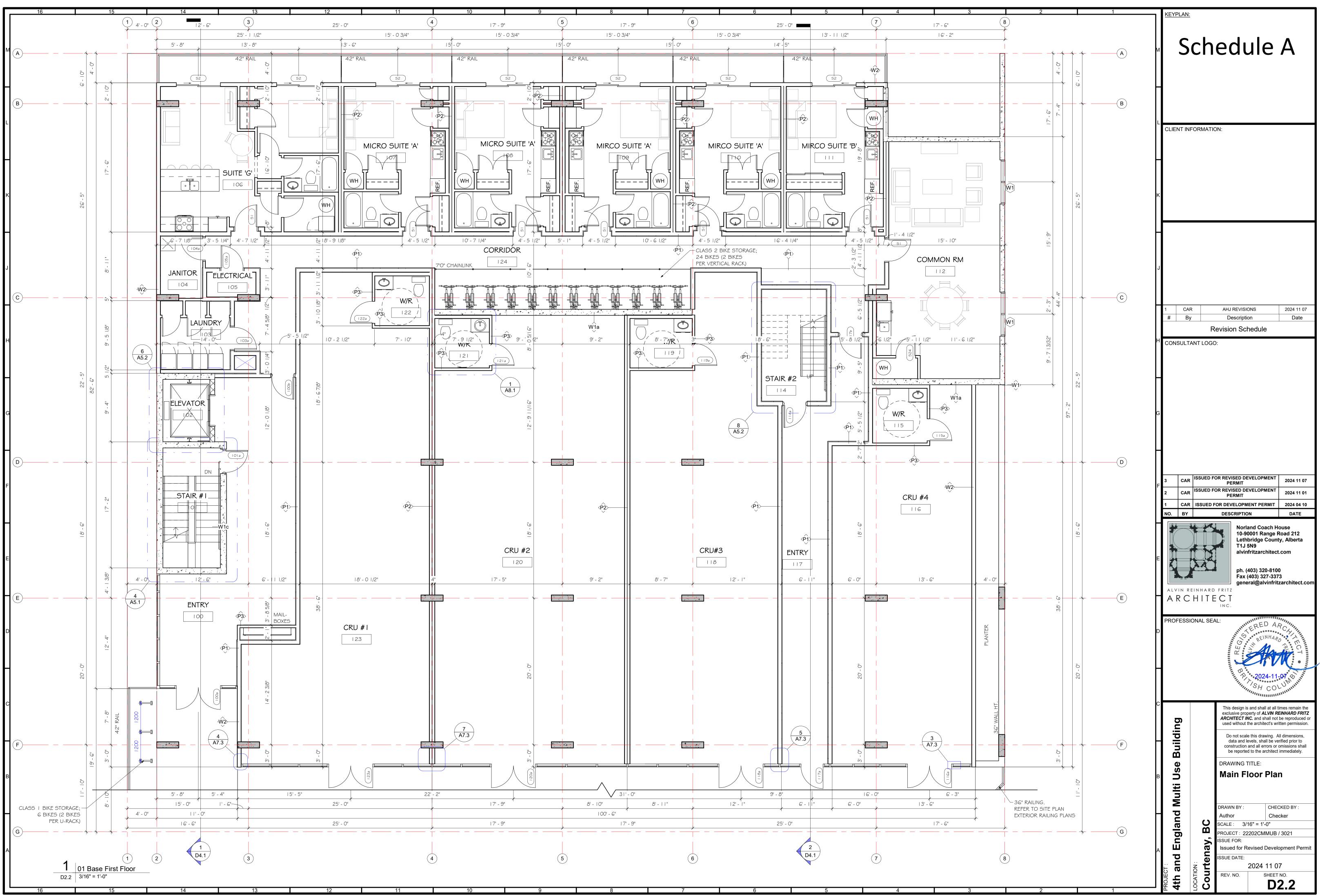
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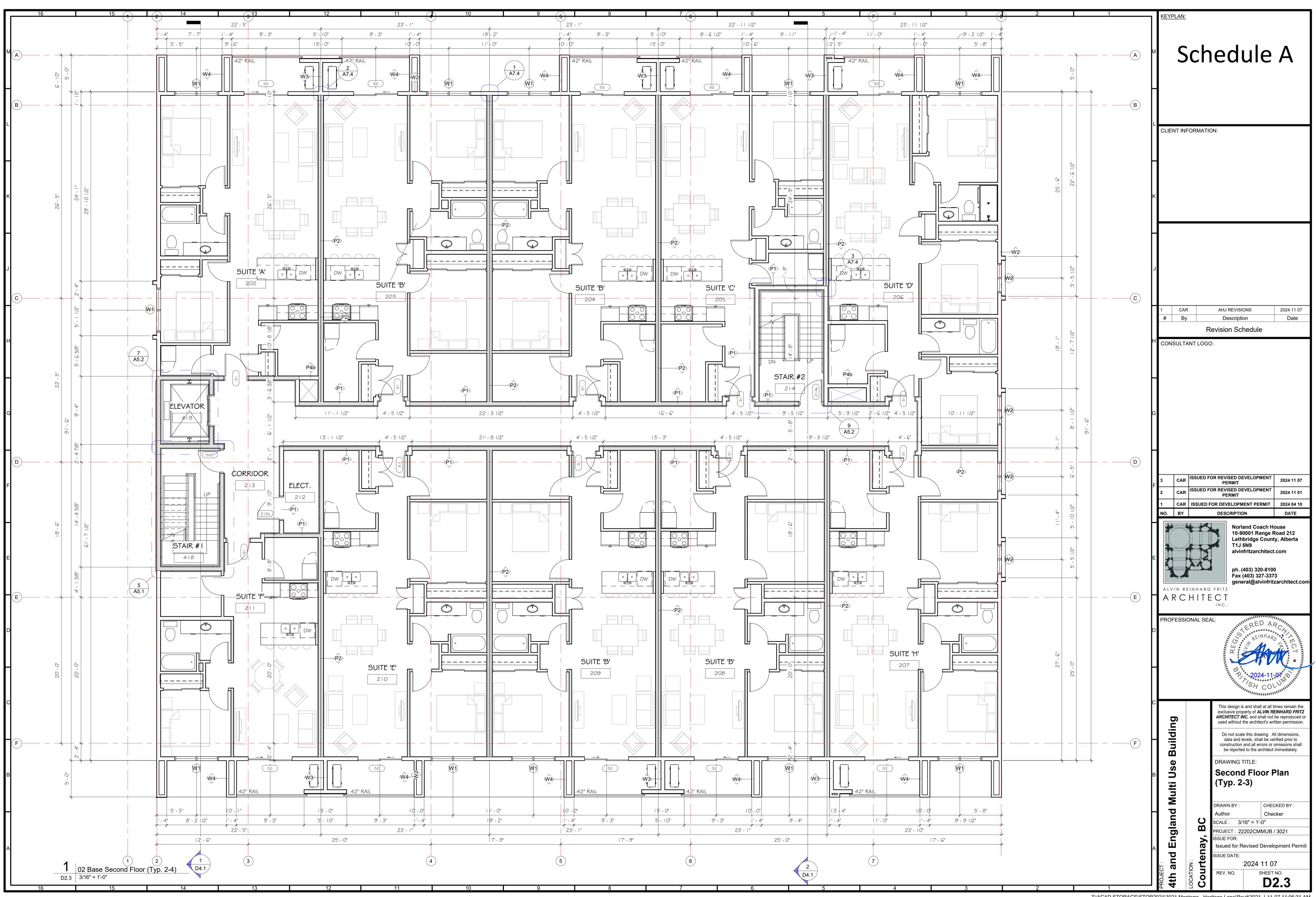
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	1 CAR ISSUED FOR DEVELOPMENT PERMIT 2024 04 10 NO. BY DESCRIPTION DATE Image: Norland Coach House 10-90001 Range Road 212 Lethbridge County, Alberta T1J 5N9 alvinfritzarchitect.com
	 Ph. (403) 320-8100 Fax (403) 327-3373 general@alvinfritzarchitect.com A R C H I T E C T INC.
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	B Site Plan DRAWING TITLE: Site Plan DRAWN BY : CHECKED BY : Author Checker SCALE : 1/8" = 1'-0" PROJECT : 22202CMMUB / 3021 ISSUE FOR: Issued for Revised Development Permit
	Image: Structure Image: Structure



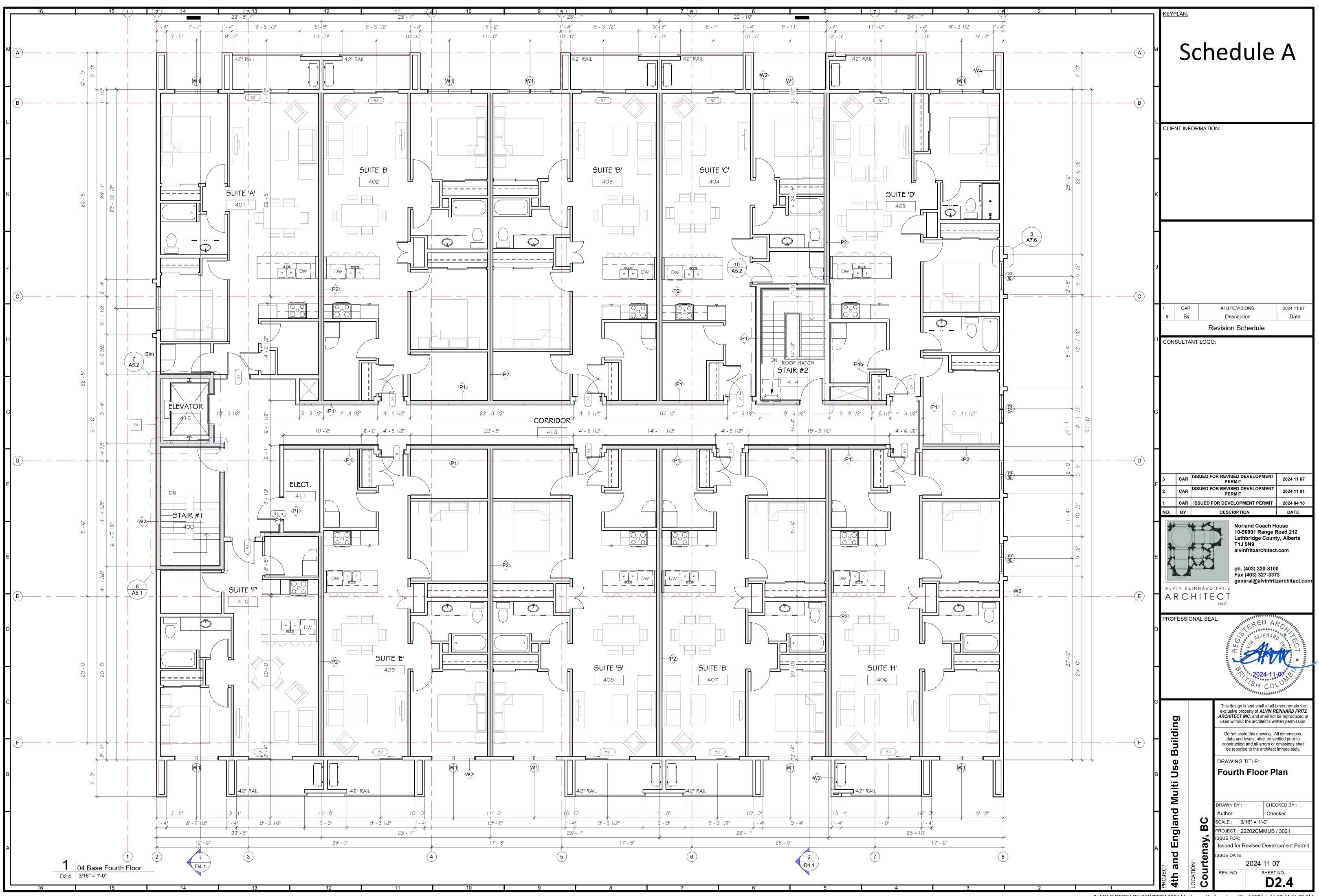
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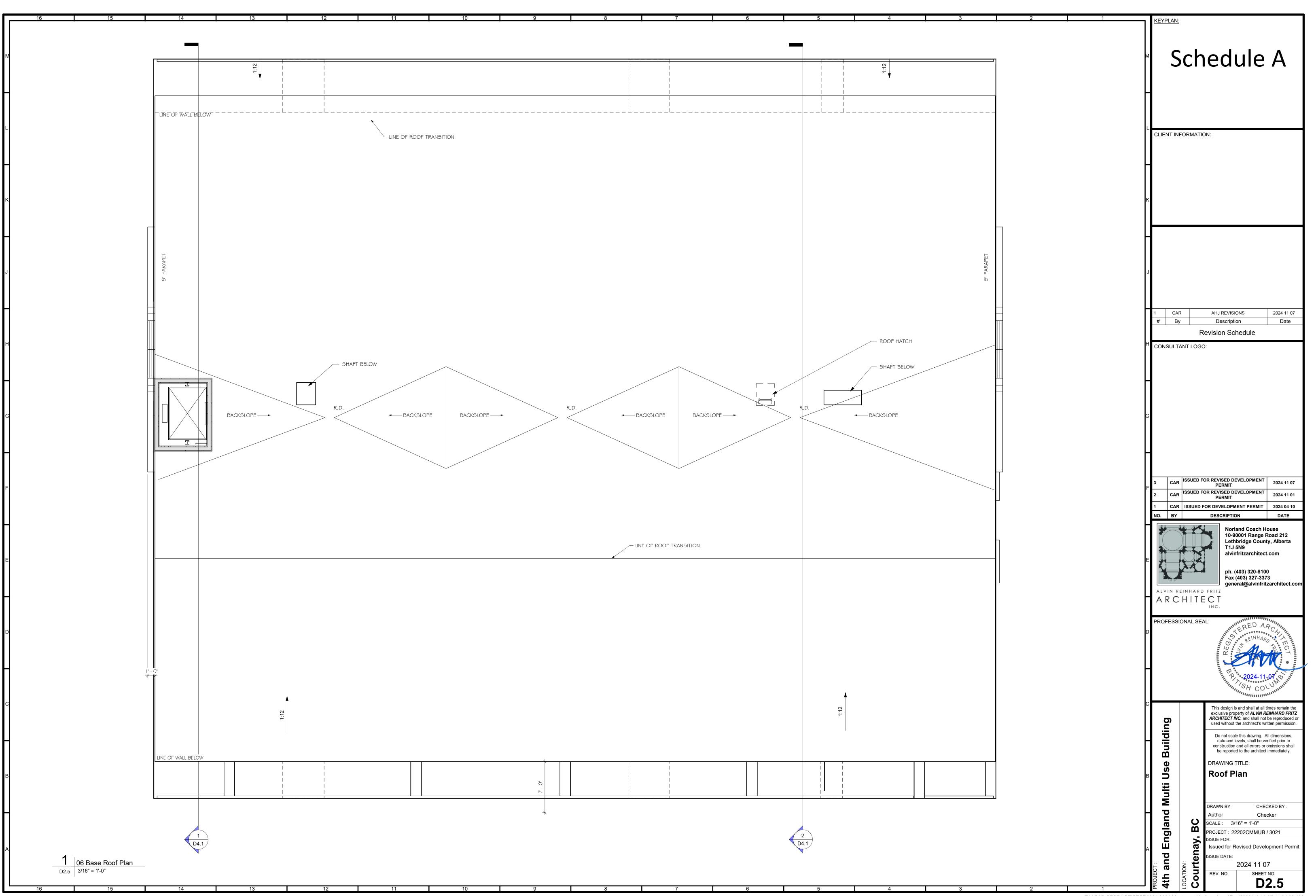
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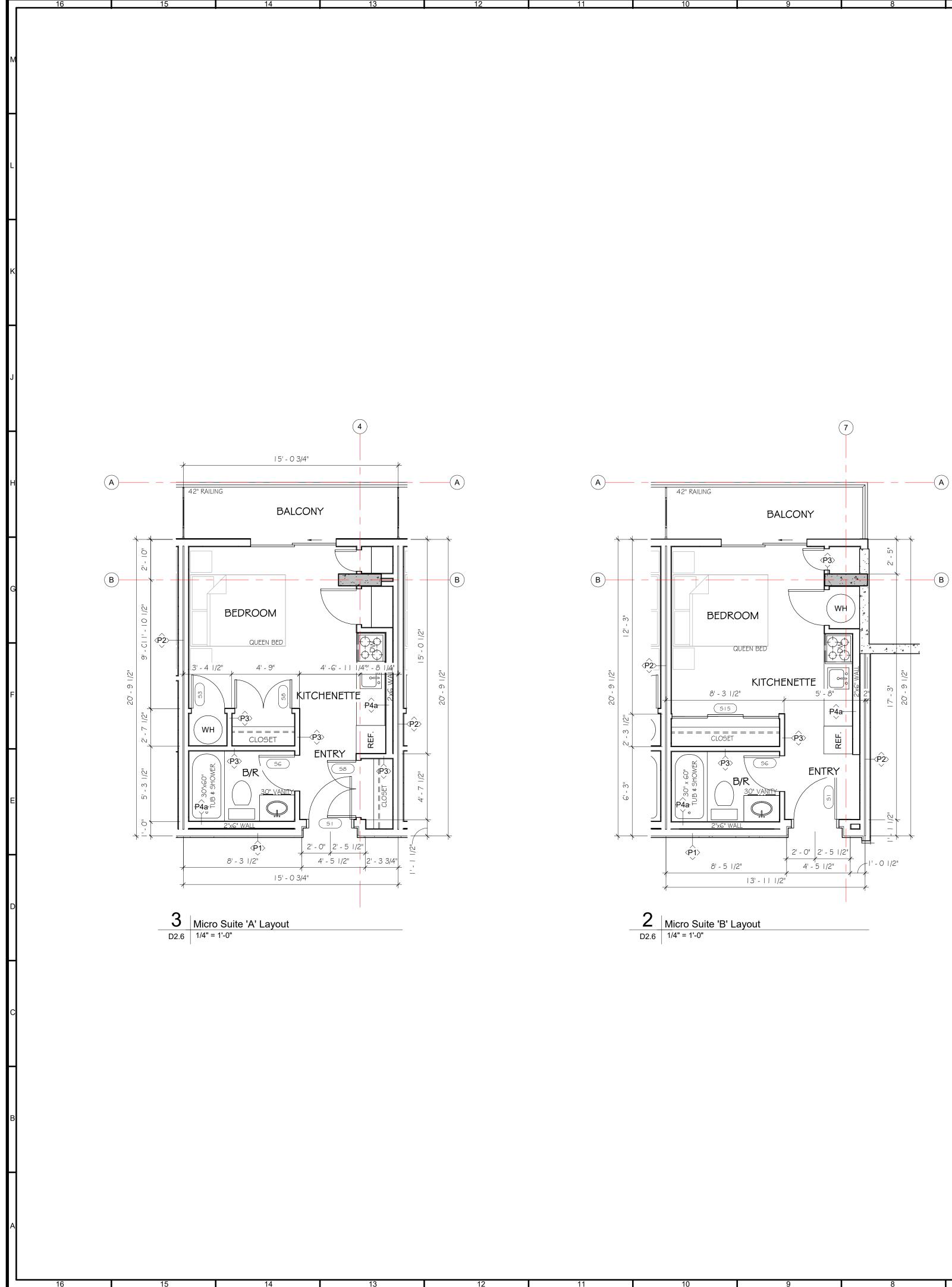


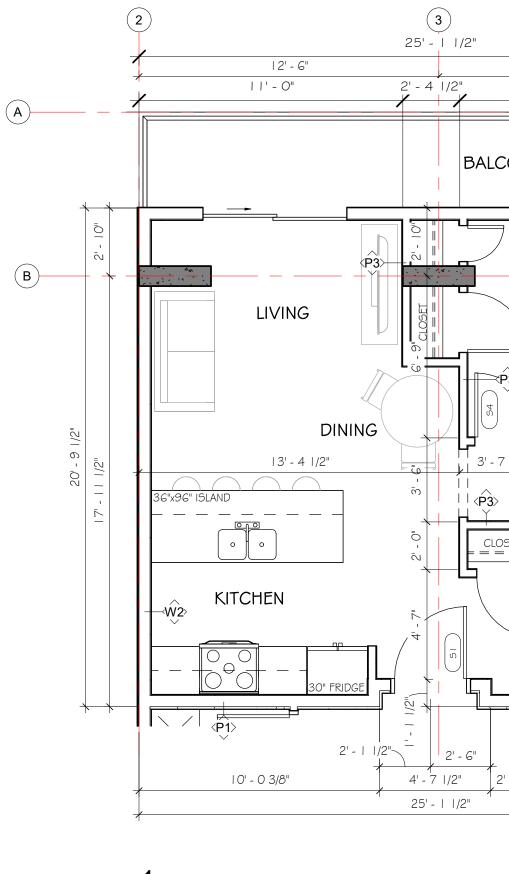
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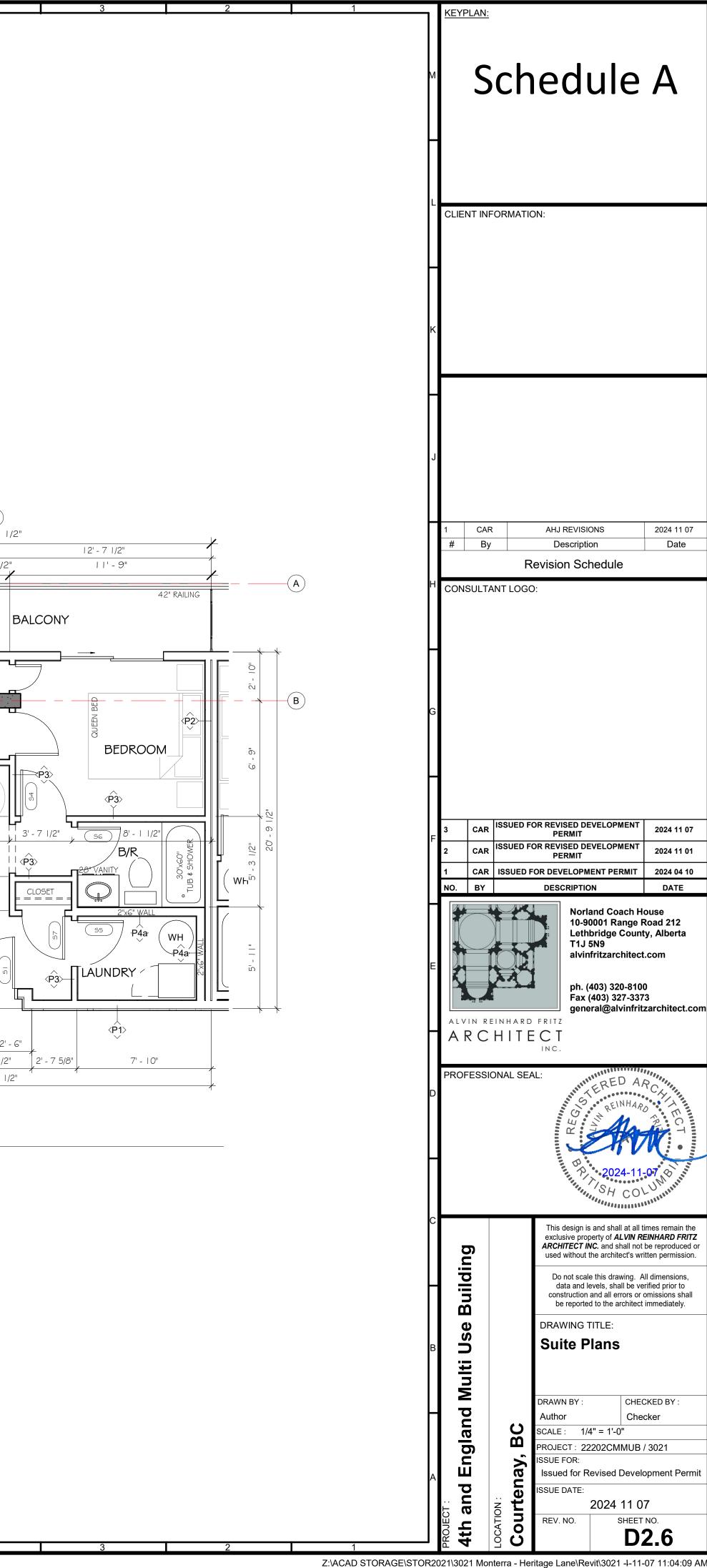




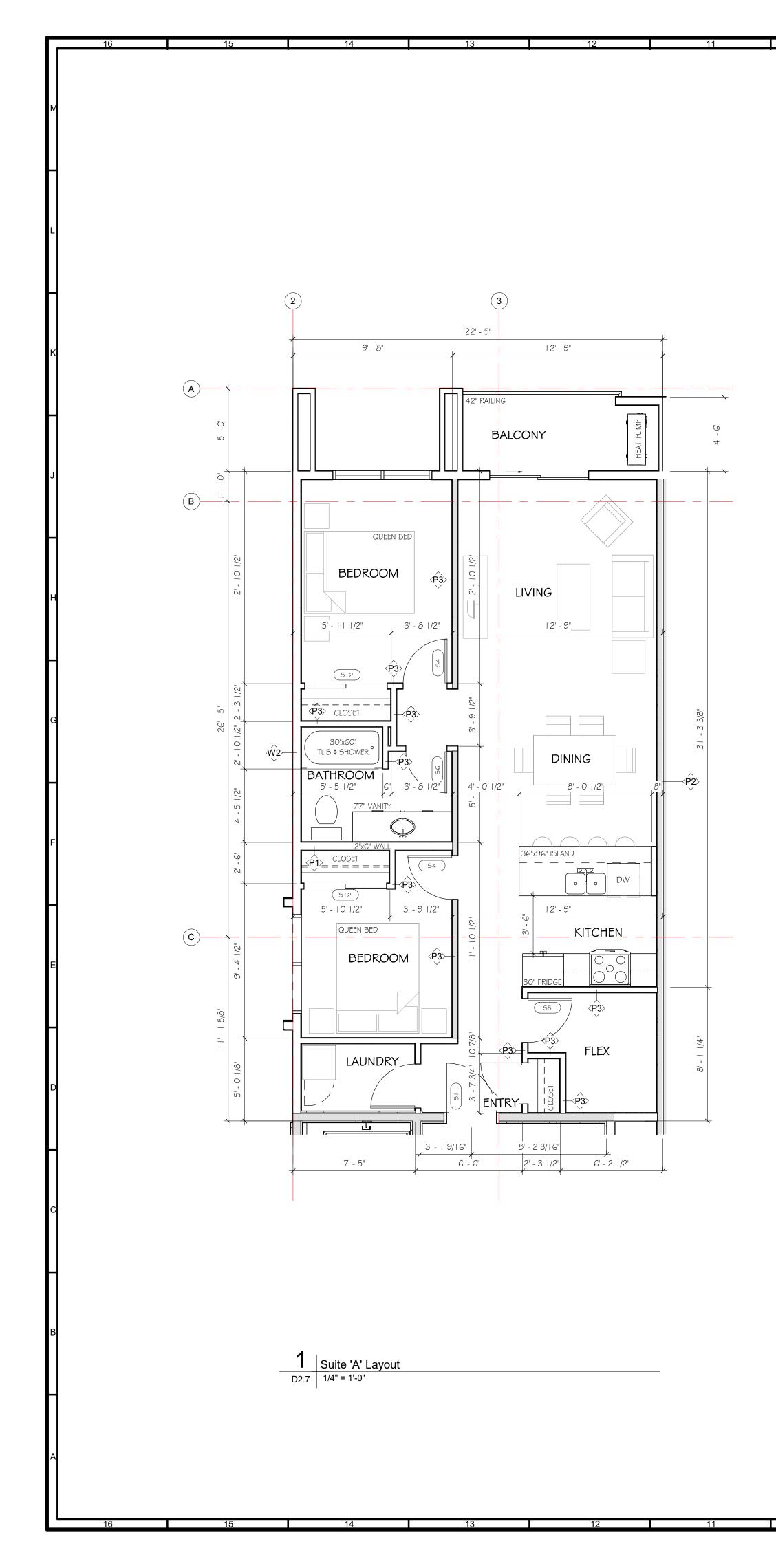
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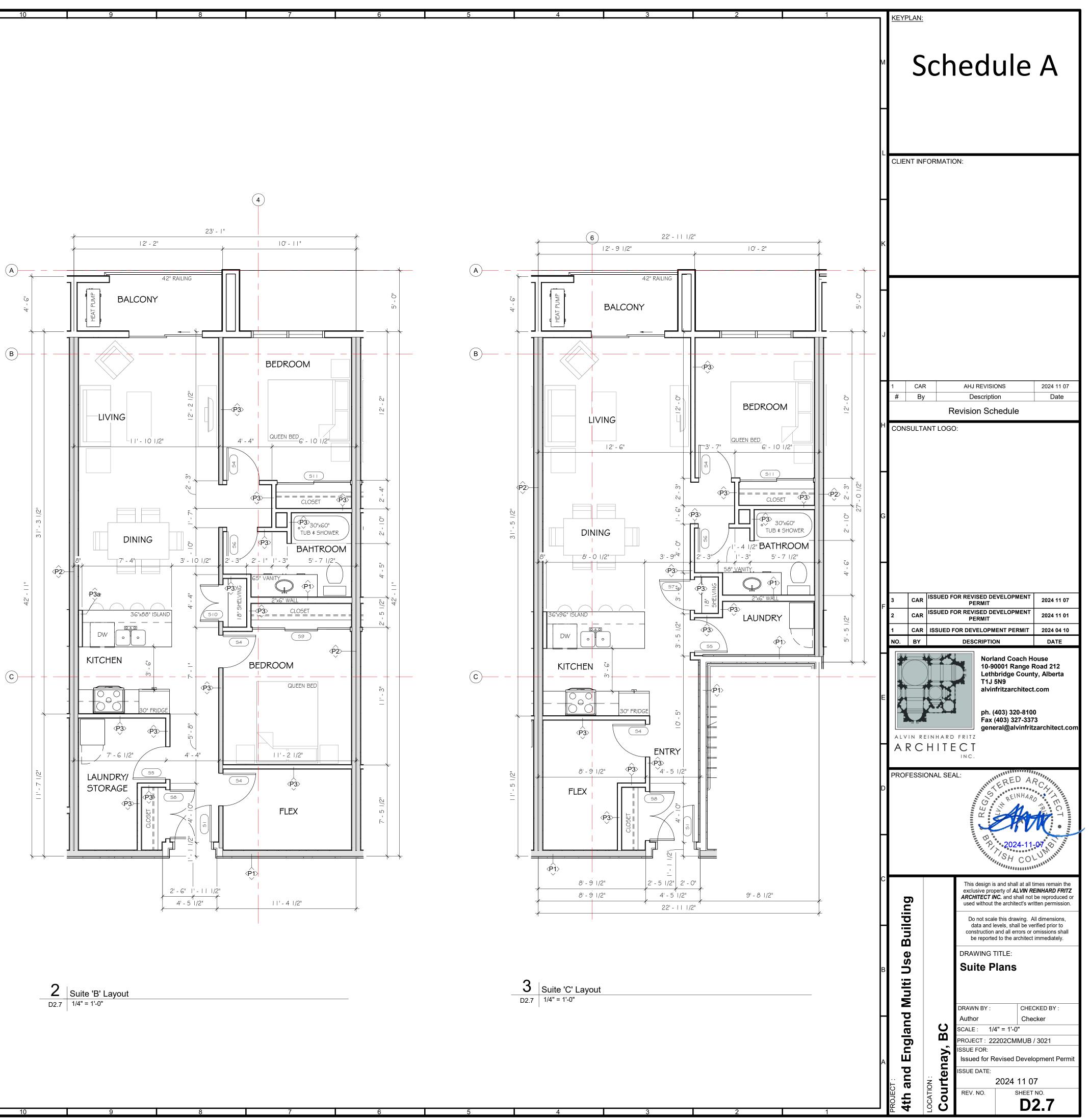
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 Suite 'G' Layout

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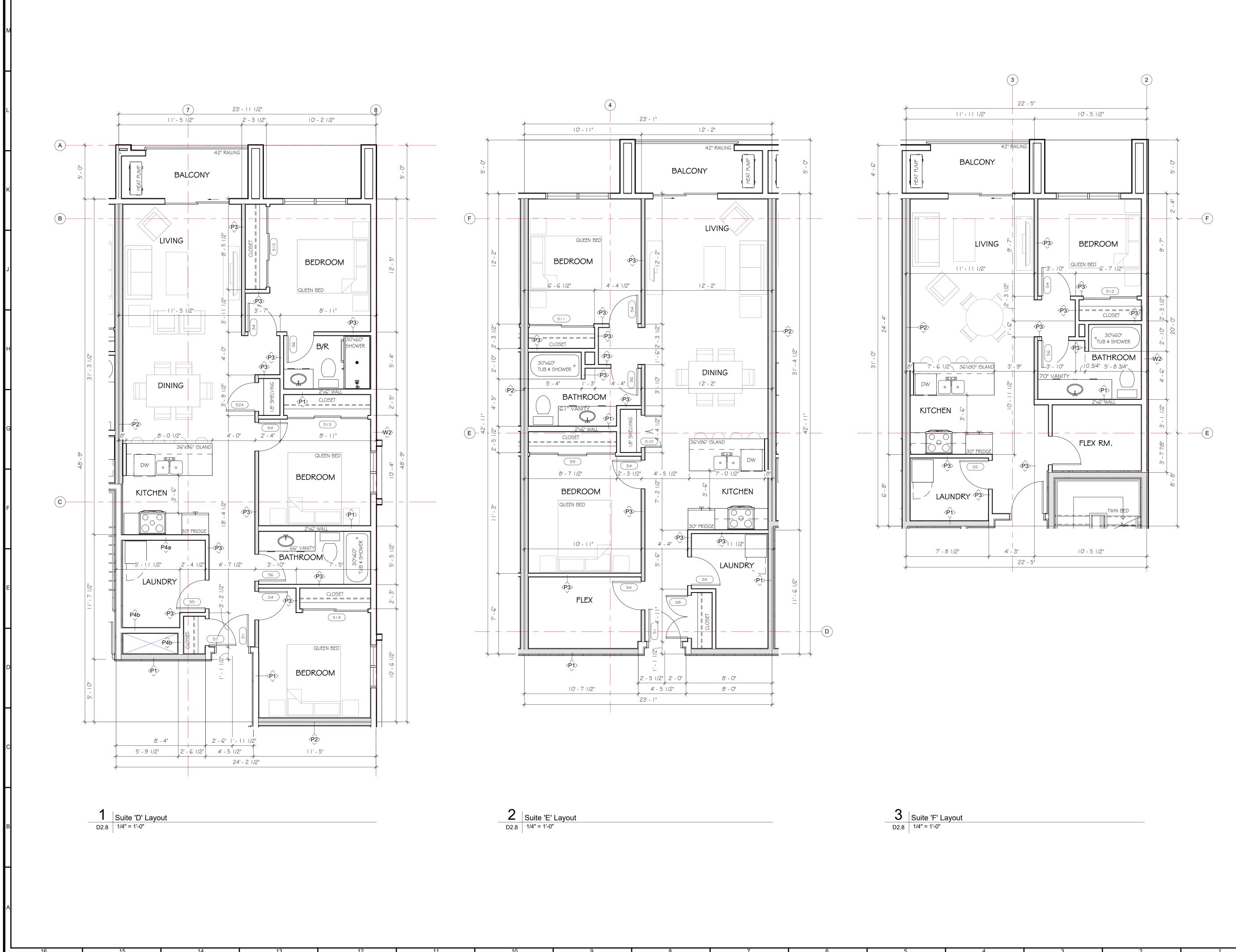


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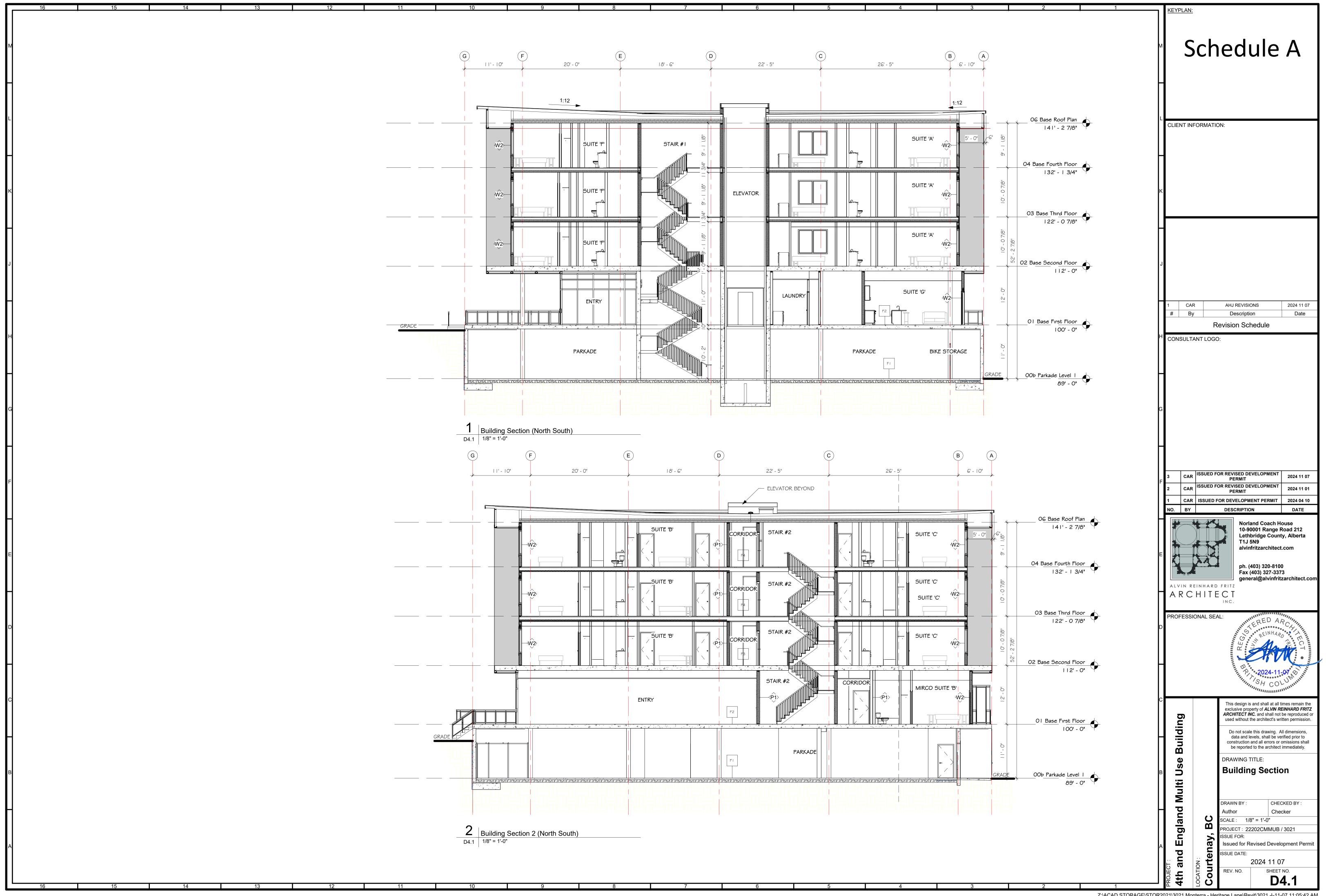


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В	Use Building		Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction and all errors or omissions shall be reported to the architect immediately. DRAWING TITLE: Suite Plans
A	PROJECT : 4th and England Multi Use Builc	LOCATION : Courtenay, BC	DRAWN BY : CHECKED BY : Author Checker SCALE : 1/4" = 1'-0" PROJECT : 22202CMMUB / 3021 ISSUE FOR: Issued for Revised Development Permit ISSUE DATE: 2024 11 07 REV. NO. SHEET NO. D2.8



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